



## Heritage Impact Assessment for Revitalization of Haw Par Mansion into Haw Par Music Farm

December 2014

Haw Par Music Foundation Limited

# HERITAGE IMPACT ASSESSMENT ON HAW PAR MANSION

December 2014

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# INTRODUCTION

## 1.1 Background

The Advisory Committee on Revitalization of Historic Buildings (Advisory Committee) has completed assessment of the proposals submitted for revitalizing the 4 historic buildings under Batch III of the Revitalizing Historic Buildings Through Partnership Scheme (Revitalization Scheme). The Secretary for Development has accepted the Advisory Committee's recommendation and given the approval-in-principle to the selected non-profit-making organization in February 2013.

The selected organization for Haw Par Mansion at Tai Hang is Haw Par Music Foundation Ltd. Haw Par Mansion will be transformed into Haw Par Music Farm - a place for music education.

Haw Par Mansion was accorded as Grade I Historic Building by Antiquity and Advisory Board in December 2009. Following the recommendation of Chief Executive in the 2007/2008 Policy Address and the corresponding Technical Circular (Works) No. 6/2009 of Development Bureau, in order to fully implement heritage conservation, it is required that all public works projects involving historic built heritages and sites to undergo Heritage Impact Assessment (HIA).

The aim of this HIA report is to assess the impacts on the historic fabrics of Haw Par Mansion arising from the implementation of the proposed project so that adverse impacts could be avoided or minimized with appropriate mitigation measures.

## 1.2 Site particulars

Address	15A Tai Hang Road
Historic designation	Grade I
Completion year	1936
Original use	Residential use
Current use	Vacant
Zoning	Main Site – “Other Specified Uses” annotated “Residential Development with Historical Site Preserved In-situ” (“OU(RDHSP)”) Ancillary Site – partly “Road”, partly “OU(RDHSP)” and partly “Green Belt” (“GB”)
No. of storey	4 storeys (roof terrace floor inclusive)
Site area	Main Site - approximately 2,030 m <sup>2</sup> Ancillary Site - approximately 1,290 m <sup>2</sup>



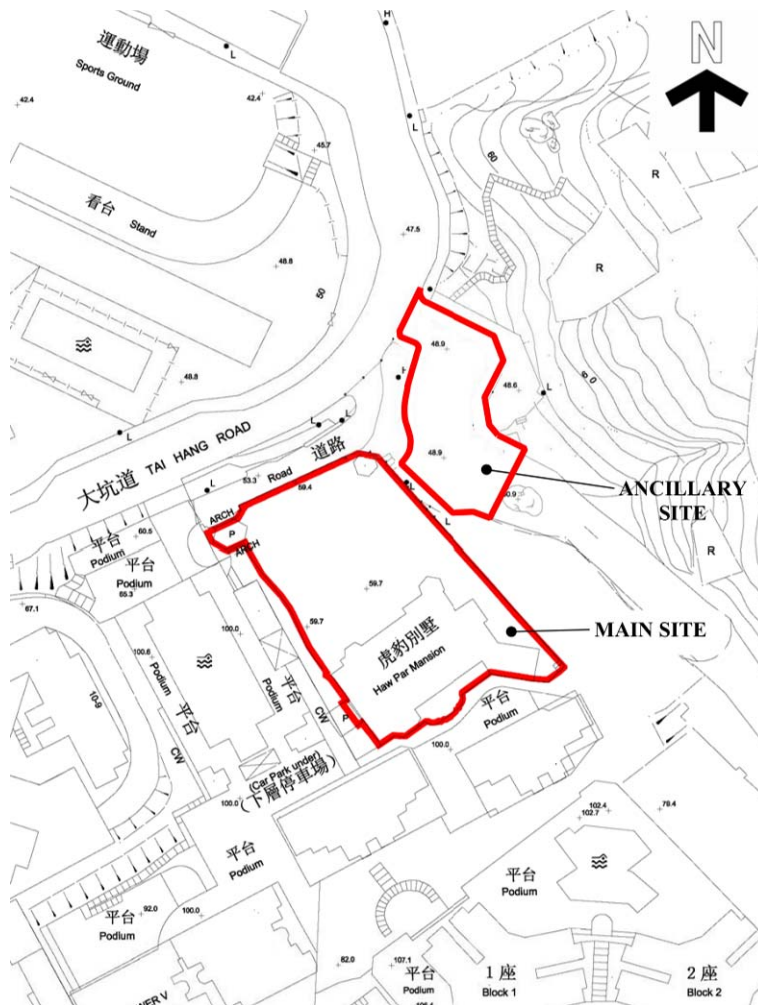


Fig. 1. Site map of Haw Par Mansion. (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, survey sheet no.: 11-SW-11A (partial).)



Fig. 2. External view of Haw Par Mansion.

## 1.3 Methodology

### 1.3.1 Part I – baseline study

The conservation process adopted for part I generally follows the Burra Charter Process<sup>1</sup> and James Kerr's model of Conservation Plan<sup>2</sup>. Research, analysis, survey, and investigation, collectively known as conservation-based research and analysis is carried out to understand the significance of the building and its landscape, thus inform decisions about repair, alteration, use and management.<sup>3</sup> The context and the essence of Haw Par Mansion will be understood through a multi-disciplinary research, which helps to determine its cultural significance and establish the Statement of Significance.

### 1.3.2 Part II – heritage impact assessment

The heritage impact assessment study generally follows the Heritage Impact Assessment Guidelines prepared by the Antiquities and Monuments Office<sup>4</sup>, James Kerr's Heritage impact statement as introduced in his model of Conservation Plan<sup>5</sup>, and Heritage Impact Statements – Guidelines prepared by the Australian Heritage Council.<sup>6</sup>

The baseline study mentioned above provides a general guide to the retention of the heritage values. The proposal to convert the historic place to compatible uses will be examined by studying its impact on the assessed significance of the place relating to the conservation policies established. Affected parts and areas of the place will be identified, together with any statutory and non-statutory requirements. Direct and indirect impacts and the visual impacts on the built heritage and surrounding landscape and context will be clearly stated. The extent and the ways in which heritage values of the place are affected by the proposal will be evaluated, with the identified heritage impacts classified into different levels. Mitigation measures will be recommended for acceptance, conditional acceptance on modification, or rejection of the proposal. This includes recommendation of mitigation actions to reduce the adverse impact of the proposal on the significance of the historic place and help to improve the design in the design process.

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<sup>1</sup> Australia ICOMOS, *The Burra Charter*, 1999, p. 10.

<sup>2</sup> Kerr, J.S. *Conservation Plan*. National Trust of Australia (NSW), 7<sup>th</sup> edition, 2013. Retrieved on 9 April 2013 under Australia ICOMOS, website: <http://australia.icomos.org/publications/the-conservation-plan/>

<sup>3</sup> Kate Clark, *Informed Conservation: Understanding Historic Buildings and Their Landscapes for Conservation*, London, English Heritage, 2001, p.9.

<sup>4</sup> Development Bureau, *Technical Circular (Works) No. 6/2009 – Heritage Impact Assessment Mechanism for Capital Works Projects*, 2009.

<sup>5</sup> Kerr, J.S. *Conservation Plan*. National Trust of Australia (NSW), 6<sup>th</sup> edition, 2004, pp. 42-43 and pp. 62-63.

<sup>6</sup> See *Heritage Information Series: Heritage Impact Statements Guidelines*. Retrieved on 4 March 2013 under Heritage Council (Victoria), website: [http://www.dpcd.vic.gov.au/\\_\\_data/assets/word\\_doc/0004/61789/Heritage\\_Impact\\_Statement.doc](http://www.dpcd.vic.gov.au/__data/assets/word_doc/0004/61789/Heritage_Impact_Statement.doc). See also *Statements of Heritage Impact*. Retrieved on 4 March 2013 under Heritage Council (NSW), website: <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/hmstatementsofhi.pdf>.

# 2

## SIGNIFICANCE

### 2.1 Historic place

#### 2.1.1 Tai Hang Village

Before the British occupied the Hong Kong Island in 1841, Tai Hang was only a large catchment area upstream created a significant amount of discharge which gave Tai Hang its name, literally meaning a big nullah. When the British claimed Hong Kong Island, there were already twenty villages at different parts of the Island.<sup>7</sup> While most of them were on the Southern side, eight of them inhabited the North, including Hung Heung Lo 紅香爐, Soo Kun Po 掃桿埔, Wong Nei Chung 黃泥涌, Shau Kei Wan 筲箕灣, Kwan Tai Loo 群帶路, Sai Wan 西灣, Shek Tong Tsui 石塘咀 and A Kung Ngam 亞公岩.<sup>8</sup> The Hong Kong Gazette published on 15th May, 1841, documented the villages' population in the early colonial time, Hung Heung Lo 紅香爐 had a population of 50 people. Dr. Joseph S.P. Ting believed that the Tai Hang Village was counted in as part of Hung Heung Lo 紅香爐 in the 1841 census.<sup>9</sup> Located to the southeast of Causeway Bay, Tai Hang Village was mainly inhabited by Wong's, Ip's and Li's families.<sup>10</sup> Apart from farming and fishing, villagers relied their living on laundry work. The area near Haw Par Mansion was only a hilly and undeveloped place when the British came to Hong Kong in 1841.

Cartographer Lieutenant Collinson made remarks on the area around Tai Hang during his cartography trip in 1845, according to the map, streams flowed down the steep cliff faces from the surrounding hills, through a waterway into the sea, on the two sides of the streams were paddy fields.<sup>11</sup> (Fig. 3) Map of 1859 also described the area of Tai Hang as a "Paddy Field". (Fig. 4)

The earliest official record of Tai Hang is found in an education report in 1888. According to the report, a government school was opened for the Chinese in Tai Hang Village and 38 students studied in the

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<sup>7</sup> Cameron, Nigel, *An Illustrated History of Hong Kong*. Hong Kong: Oxford University Press, 1991. p. 4.

<sup>8</sup> Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs, Hong Kong*, Hong Kong Museum of History, 1999, p. 9.

<sup>9</sup> Dr. Joseph S.P. Ting, 紅香爐與紅香爐天后廟 (1999), under Special Articles. Retrieved on 12th March, 2014, from Hong Kong Museum of History, Website: [http://www.lcsd.gov.hk/CE/Museum/History/zh\\_TW/web/mh/publications/spa\\_pspecial\\_06\\_01.html](http://www.lcsd.gov.hk/CE/Museum/History/zh_TW/web/mh/publications/spa_pspecial_06_01.html).

<sup>10</sup> Rao Jiucui 饒玖才, *Xianggang de diming yu difang lishi* 香港的地名與地方歷史(上)-港島與九龍 [Place names in Hong Kong and local history(I) – Hong Kong Island and Kowloon]. Hong Kong: Cosmos Books, 2011, p. 101.

<sup>11</sup> Chung Po Yin, *Shangcheng gushi : Tongluowan bainian bianqian* 商城故事: 銅鑼灣百年變遷 [The Story of Commercial City – One Hundred Year of change in Tung Lo Wan], Hong Kong, Chung Hwa Book Co, 2009, p. 39.

school.<sup>12</sup> In 1909, another school called *Hung Shing Yi Hok* 孔聖義學 [Confucius free school for the poor] was funded by generous local inhabitants and eminent Chinese community leader. By 1911, the population of Tai Hang reached 1,574.<sup>13</sup> Some village houses built in the late 19th century can still be found in Tai Hang at present.

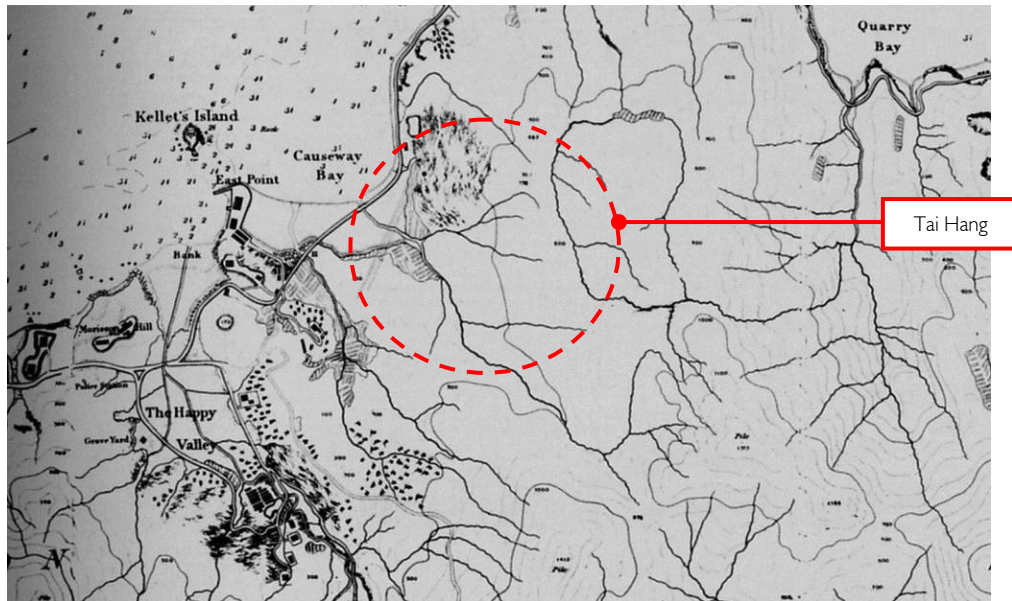


Fig. 3. Map of Tai Hang, 1845.  
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, ref. no.: HE-4(partial).)

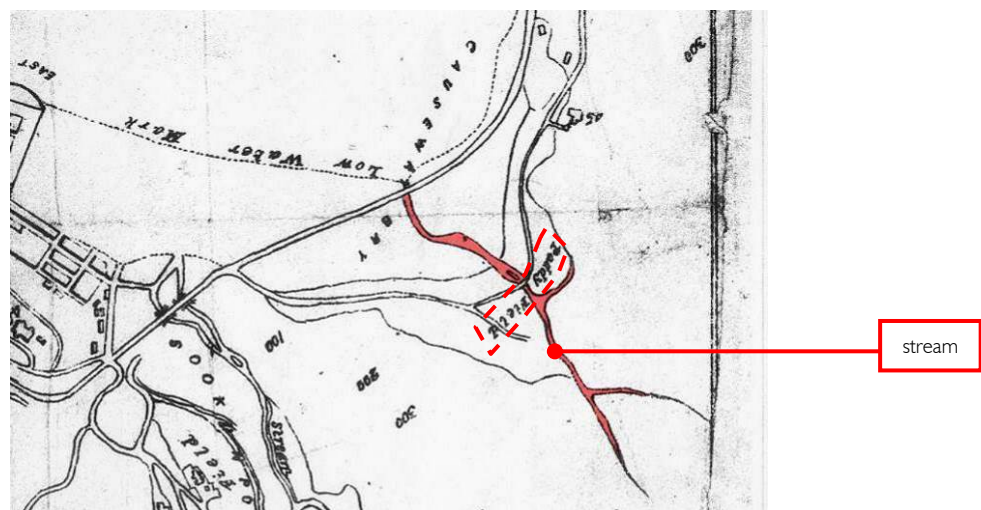


Fig. 4. Map of 1859 showing words "paddy field" are marked with a stream in Tai Hang area.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HD33.(partial).)

<sup>12</sup> See *The Education Report for 1888, Papers Laid Before the Legislative Council of Hongkong 1889* (1996). Retrieved on 12th March, 2014, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong Web Site: <http://sunzi.lib.hku.hk/hkgro/view/s1889/1233.pdf>, p. 109.

<sup>13</sup> James Hayes, "Visit to Tung Lin Kok Yuen, Tam Kung Temple, Happy Valley, and Tin Hau temple, Causeway Bay, Saturday, 7<sup>th</sup> November 1970," *JHKBRAS* Vol. 11 (1971), p. 195-197.





Fig. 5. Tai Hang Village, 1920s.  
(from 大坑今昔 *Dakeng jinxi* [The Present and the Past of Tai Hang], *Apple Daily*, 12th August, 2013.)

#### 2.1.1.1 Temples

Because of the frequent floods, temples were built for the protection of the villagers to ensure prosperity of the farming and fishing villages. This resulted in the construction of Tin Hau Temple 天后廟 and Lin Fa Temple 蓮花宮 along the seashore of Tai Hang during Qing Dynasty. The temples are the physical evidence of human activities in Tai Hang in the late 18th century.

Dedicated to Tin Hau 天后, the Tin Hau Temple in Tin Hau Temple Road was probably built by Tai family in the early 18th century. It is said that members of Tai family found a statue of Tin Hau in the rocks near the shore. They then erected a shelter for worshipping it and subsequently built a proper building to house the image of Tin Hau 天后. A bronze bell cast in the 23rd year of Qianlong 乾隆 era of the Qing Dynasty (1758) is found in the temple, suggesting that the building was founded in 1758. (Fig. 5)

Lin Fa Temple 蓮花宮 was built on an octagonal base which measures more than ten feet tall from ground. It was once a private temple owned by Tsang family<sup>14</sup>, and dedicated to the worship of Kwun Yam 觀音. According to the bronze bell dated to the 3rd year of Tongzhi 同治 era of the Qing Dynasty (1864), the temple's history could be traced back to 1864.<sup>15</sup> The temple is designed with two-halls. The front hall sits on a half-octagonal plan on a platform, resembling a lotus rising from the water, which is a common motif linked to the deity, Kwun Yam 觀音.<sup>16</sup> (Fig. 6)

An old map of 1887 shows the locations of the two temples. "Chinese Joss House" marked on the map is likely to be referring to Tin Hau Temple, while Lin Fa Temple was marked along Causeway Bay Road. (Fig. 7)

<sup>14</sup> Centre for Architectural Heritage Research. *100 Traditional Chinese Buildings in Hong Kong*. Hong Kong, Leisure and Cultural Services Department, 2009, p. 184.

<sup>15</sup> *Ibid.*, p. 184.

<sup>16</sup> *Ibid.*, p. 184.

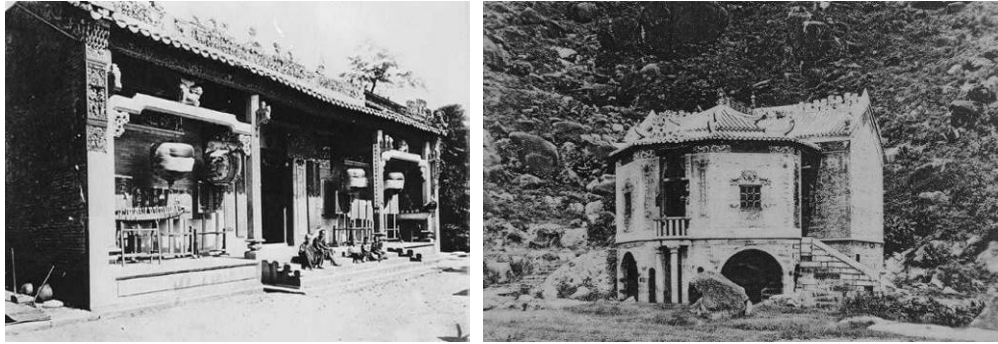


Fig. 6. Tin Hau Temple, at Causeway Bay, c. 1880. (left)  
(from John Warner, *Fragrant harbour; early photographs of Hong Kong*, Hong Kong, John Warner Publications, 1976, p. 33.)

Fig. 7. Lin Fa Kung that is still standing off Tai Hang Road in Hong Kong, c. late 1860s – early 1870s. (right)  
(from *Picturing Hong Kong Photography 1855-1910*, New York, Asia Society Galleries, c. 1997, p. 71.)

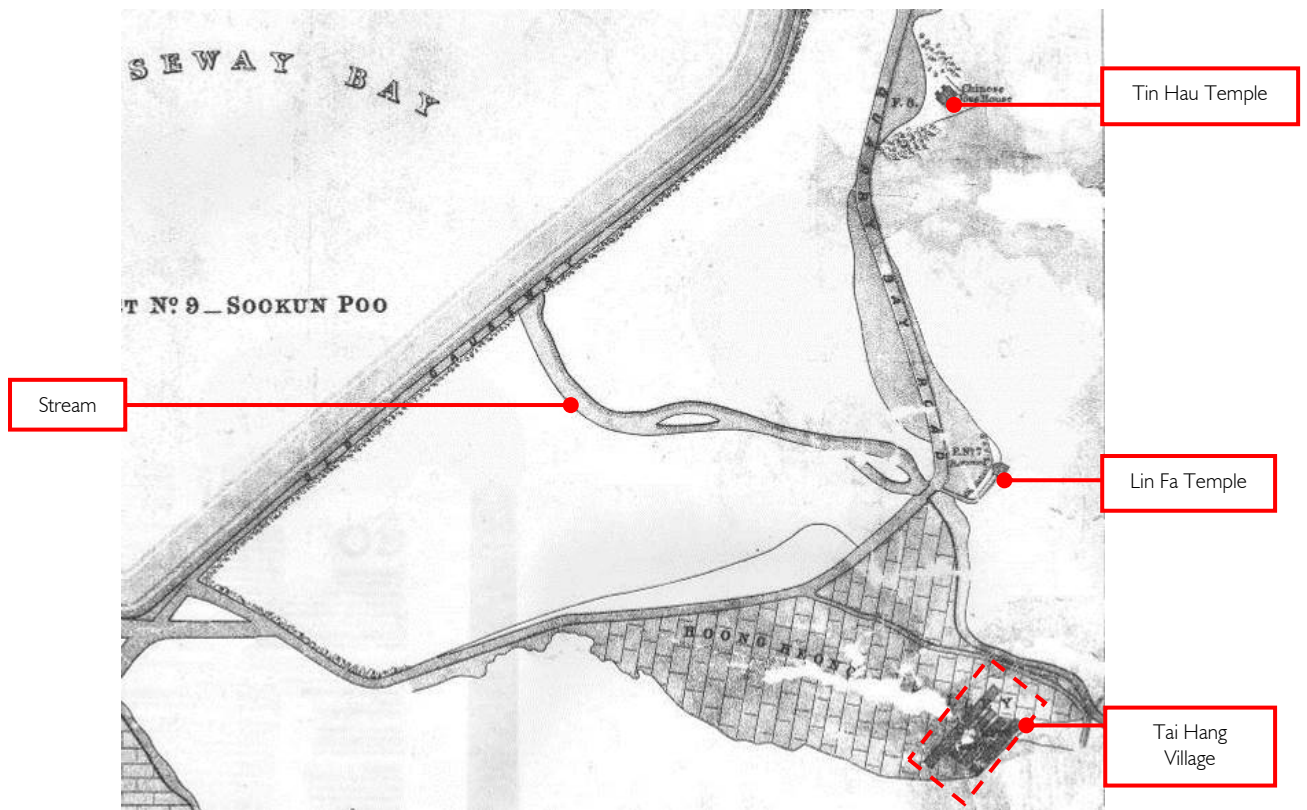


Fig. 8. Village is found in Hoong Heong Lo Valley on the old map of 1887.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HG28-6(partial).)



### 2.1.1.2 Stream along Tai Hang area - Wun Sha Kai 浣紗溪 [Cotton Washing Stream]

In the late 19th century, women carried out family-scaled cotton industries in Tai Hang. Wooden textile machines were used to weave clothes which had supplied families around the city. They used the stream water from the hills to bleach and wash the dyed cotton, thus Tai Hang was given the name *Wun Sha Kai* 浣紗溪 [Cotton Washing Stream].<sup>17</sup>

A petition recorded in May, 1893, also documented these washermen that used the public streams in the vicinity of Tai Hang Village, it reads,

Petition – A petition – which had been circulated to Members – from 16 Washermen now using the public streams in the vicinity of Tai Hang village was laid on the table, and the minutes on the circulating cover read.<sup>18</sup>

These coarse cotton produce were gradually replaced by cotton produced by machines<sup>19</sup>, but the street name remained as the area was developed, where the stream once flowed through the heart of Tai Hang Village, is now known as Wun Sha Street 浣紗街. (Fig. 9) The stream was channelized into a nullah in the late 19th century and part of the nullah was converted to underground drainage in the 1960s.

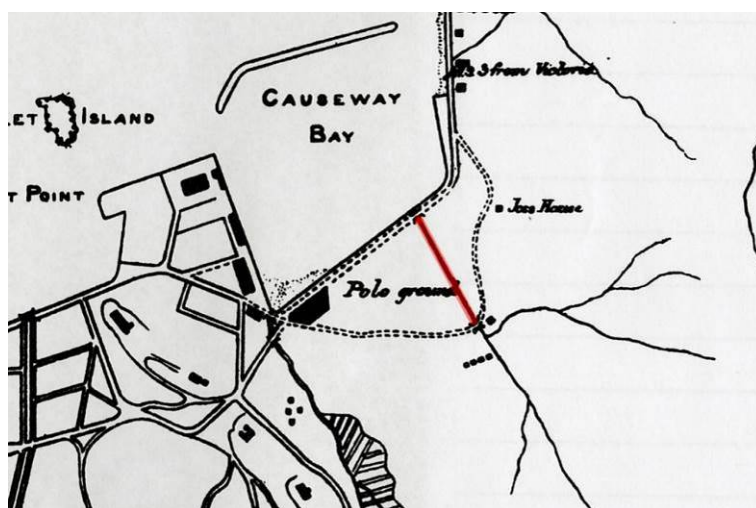


Fig. 9. Nullah in Tai Hang on the map of 1895.  
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, ref. no.: HE-1-1(partial).)

<sup>17</sup> Rao Jiucai 饒玖才, *Xianggang de diming yu difang lishi* 香港的地名與地方歷史(上)-港島與九龍 [Place names in Hong Kong and local history(I) – Hong Kong Island and Kowloon]. Hong Kong: Cosmos Books, 2011, p. 101.

<sup>18</sup> See *The Hong Kong Government Gazette*, 27<sup>th</sup> May, 1893. Retrieved 20<sup>th</sup> March, 2014, under The University of Hong Kong, Website: <http://sunzi.lib.hku.hk/hkgro/index.jsp>.

<sup>19</sup> Rao Jiucai 饒玖才, *Xianggang de diming yu difang lishi* 香港的地名與地方歷史(上)-港島與九龍 [Place names in Hong Kong and local history(I) – Hong Kong Island and Kowloon]. Hong Kong: Cosmos Books, 2011, p. 101.



Fig. 10. *Wun Sha Kai* 洗紗溪 [Cotton Washing Stream] in Tai Hang.  
(from 大坑變暗渠趕快走一回 *Dakeng bian anqu gankuai zouyihui* [The stream became  
Nullah, Walk quickly once], the Sun, 23rd November, 2009.)



Fig. 11. Wun Sha Street, 1940s-60s.  
(from Review33. Retrieved 20<sup>th</sup> March, 2014, Website:  
[http://www.review33.com/m/forum\\_msg.php?db=3&tstart=&s=&topic=9309061411253](http://www.review33.com/m/forum_msg.php?db=3&tstart=&s=&topic=9309061411253&tstart=715&sort=1&number=.)  
&tstart=715&sort=1&number=.)

## 2.1.2 Development under the colonial era

### 2.1.2.1 New roads and streets

In the beginning of the 20th century, the urban development followed the development of tramway on the Northern part of Hong Kong Island. New streets and roads, including School Street 書館街, First Lane 第一巷, King Street 京街, Second Street 第二巷, Shepherd Street 施弼街, Third Street 第三巷, Cooper Street 谷柏街 (now known as Brown Street 布朗街), Ormsby Street 安庶庇街 and Back Street 後街 (now known as Sun Chun Street 新村街) were built in Tai Tang. The new urban planning included regular land lots, Tai Hang gradually moved away from the agricultural past. (Fig. 12) Soon after the new roads and streets were completed, European residential houses were built in this new district. (Fig. 13 - Fig. 14) Nowadays, residential buildings that were built in the early 20th century can still be found in Tai Hang.

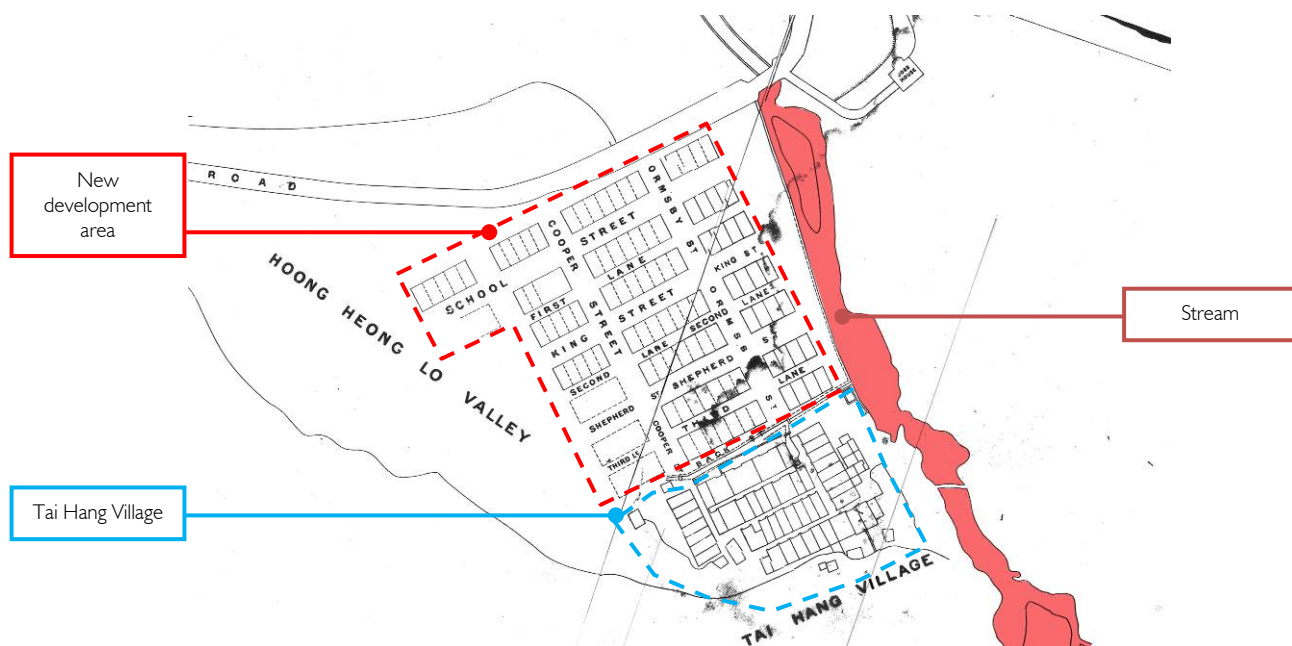


Fig. 12. Tai Hang Village and new development area, c. 1901.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HH28 (partial))



Fig. 13. New residential buildings along new roads and streets.  
(from the Sun, 23rd November, 2009.)



Fig. 14. New residential buildings along new roads and streets, 1938.  
(from 大坑今昔 *Dakeng jinxi* [The Present and the Past of Tai Hang], *Apple Daily*, 12th August, 2013.)



### 2.1.2.2 Tramway

During the early colonial days, travelling around northern part of Hong Kong Island relied mainly on horse carriages, sedan chairs and rickshaws. To connect the northern parts of the Island, six tram lines were proposed by the government in 1881.<sup>20</sup> The Peak Tram was the first to be built to connect the Peak and Central. Other lines did not come into service until 1904. Originating in Kennedy Town, trams travelled Sheung Wan, Central, Wan Chai, Causeway Bay and Wong Nai Chung. The tramway was extended to Shau Kei Wan and passed through Tai Hang in 1906. (Fig. 15)



Fig. 15. A tram on Causeway Road, c.1900.  
(from Cheng Po Hung 鄭寶鴻, Early Hong Kong Tramways, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2005, p. 173.)

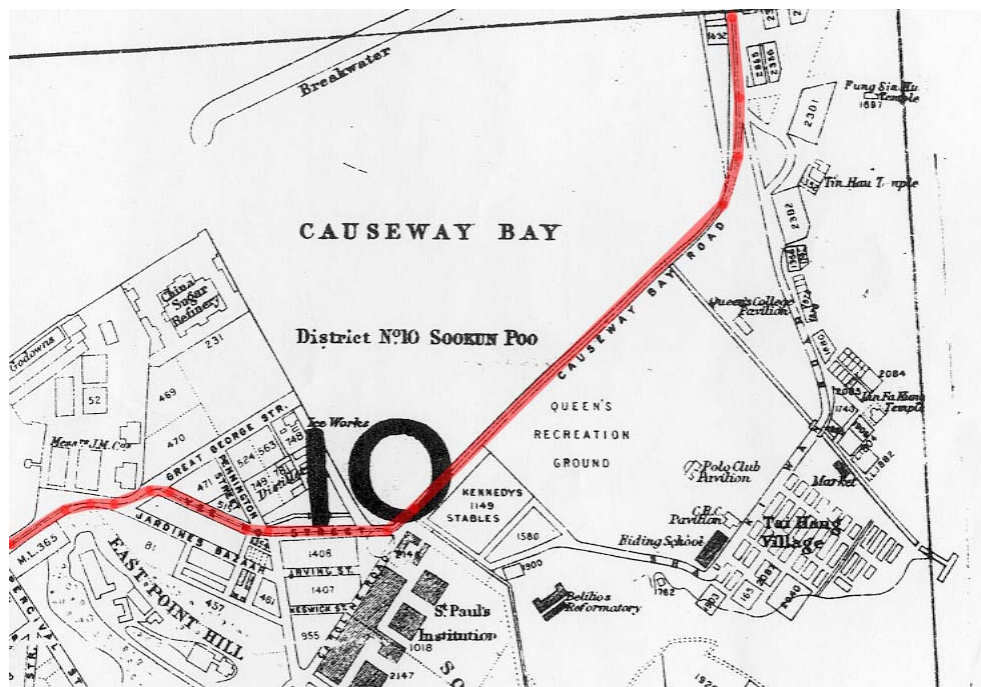


Fig. 16. Map Showing the tramway in Tai Hang, 1922.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HD34(partial).)

<sup>20</sup> E.J. Eitel. Europe in China, The History of Hong Kong. Cheng-Wen Publishing Company, Taipei, 1968. p.531

### 2.1.2.3 Recreation area

In the late 1880s and early 1890s, a polo ground was built between the area at the present day Causeway Road and Tung Lo Wan Road for playing the game of polo on horseback. (Fig. 17 - Fig. 18)

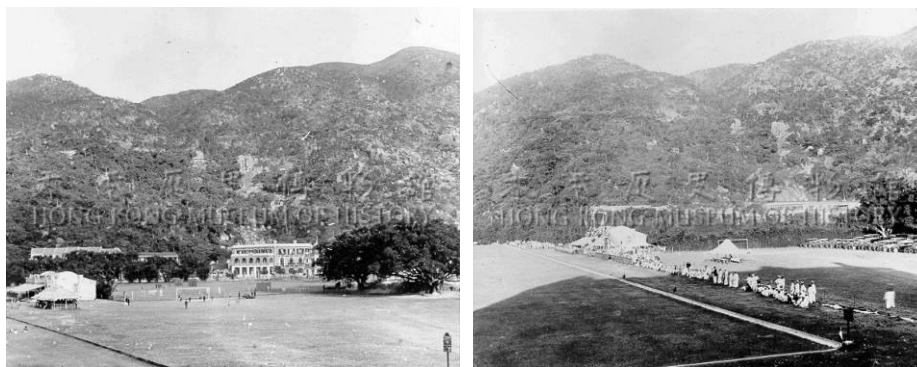


Fig. 17. Polo Ground in Tai Hang, c. 1920.  
(from Hong Kong Museum of History, reference no. P1969.177 & P1969.176.)

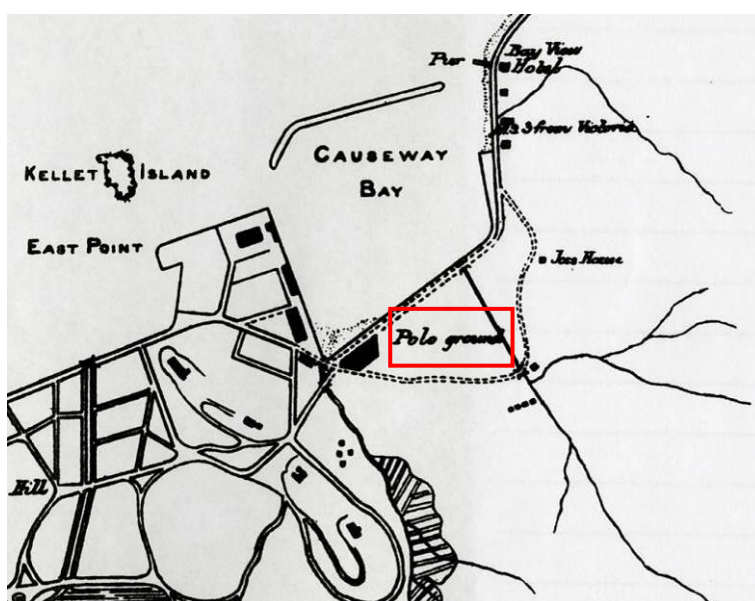


Fig. 18. Map of Tai Hang, 1895.  
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, ref. no.: HE-1-1(partial).)

In 1898, a piece of land at Causeway Bay was reserved for the purpose of a Public Recreation Ground. The area was bounded on the north by the Causeway Bay Road, on the south and west by the Quarry Bay Road and Kennedy's Stables and on the east by the Nullah.<sup>21</sup> The recreation ground was named as the Queen's Recreation Ground to commemorate the 60th year of the reign of Queen Victoria. Football matches, baseball matches and polo games were once held on the ground by different clubs and organizations, including Polo Club, Queen's College and Victoria Recreation Club in the early 20th century. On the map of 1922, several pavilions, including Polo Club Pavilion, Chinese Recreation Club Pavilion and Riding School can be found on Queen's Recreation Ground. (Fig. 19)

<sup>21</sup> See Reports of the Meetings of the Legislative Council, Session 1898, 25 July, 1898 (1996). Retrieved May 6, 2014, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi.lib.hku.hk/hkgro/view/h1898/3287.pdf>.

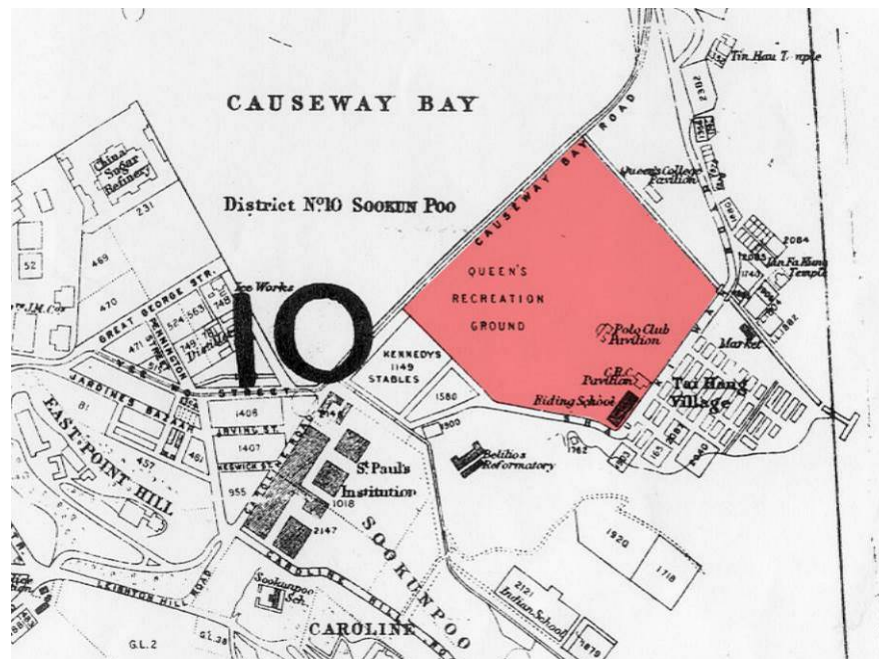


Fig. 19. The Queen's Recreation Ground, 1922.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR  
Government, acc. no.: HD34(partial).)

#### 2.1.2.4 Tai Hang Road and low density residential area

After the British occupation of Hong Kong in 1842, the Peak and Mid-Level began to be occupied by foreign residents in order to escape the heat at the foot of Victoria Peak during the summer months. In the late 19th century, plague epidemic was broken in Tai Ping Shan District. In order to preserve the Peak area as a healthy place, the Hong Kong Government enacted "an ordinance for the reservation of a European District in the City of Victoria" and "Hill District Reservation" in 1888 and 1904 respectively.<sup>22</sup> The Central district between Wellington Street and Caine Road was designated as European District where Chinese tenement house was not allowed to be built.<sup>23</sup> The Peak area was also reserved as a place of residence for persons other than Chinese.<sup>24</sup> Therefore, many well-off Chinese families built their luxurious residences in other mid-level area, such as Wan Chai, Sheung Wan and Happy Valley.

A new road was constructed on the hillside of Tai Hang Valley between 1922 and 1923. (Fig. 20 - Fig. 21) The road commenced at Shaukiwan Road in Tai Hang and joined Bowen Road at Wan Chai.<sup>25</sup> It was

<sup>22</sup> See *Report of the Meeting on 19-Apr, 1904*(1996). Retrieved January 12, 2006, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong Web Site: <http://sunzi1.lib.hku.hk/hkgro/index.jsp>, p. 1.

<sup>23</sup> See *An Ordinance for the reservation of a European District in the City of Victoria, The Hongkong Government Gazette, 31<sup>st</sup> March, 1888.* (1996). Retrieved July 26, 2011, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1888/660910.pdf>.

<sup>24</sup> See *An Ordinance for the reservation of a Residential Area in the Hill District, The Hongkong Government Gazette, 31<sup>st</sup> March, 1904.* (1996). Retrieved July 26, 2011, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1904/485959.pdf>.

<sup>25</sup> See "Report of the Director of Public Works for the Year 1923"(1996). Retrieved 21st February, 2014, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/a1923/513.pdf>, Q. 81.



named as “Tai Hang Road” and gazette on 13th February, 1931.<sup>26</sup> Soon after the completion of Tai Hang Road, the area around the road instantly became a popular area for the middle and upper classes upon completion of transportation links. Low density residential house, such as Haw Par Mansion, Wang Fung Terrace and Nos. 2-4 Li Kwan Avenue were built in the 1930s.

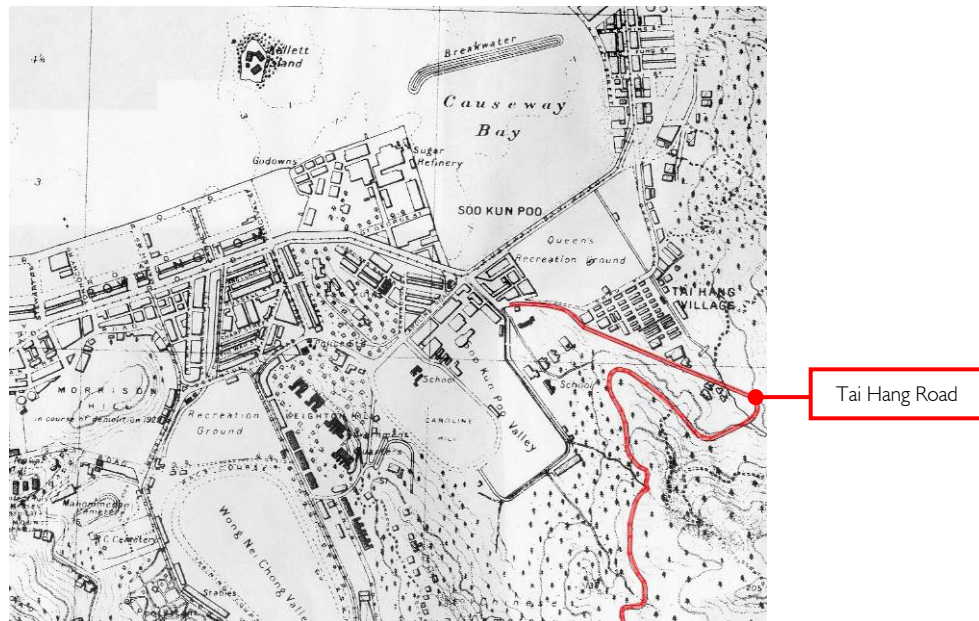


Fig. 20. Tai Hang Road, 1930-45.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HB19.)



Fig. 21. Tai Hang Road, c. 1934-1937.  
(from Tai Hang Road. Retrieved 21st February, 2014, from Multimedia Information System under Hong Kong Public Libraries, Leisure Cultural Services Department, Web Site: <https://mmis.hkpl.gov.hk/home>.)

<sup>26</sup> See The Hong Kong Government Gazette, February 13, 1931(1996). Retrieved 21st February, 2014, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong Web Site: <http://sunzi.lib.hku.hk/hkgro/view/g1931/617916.pdf>.

#### 2.1.2.5 Squatter Houses in Tai Hang (1950s)

After the Japanese Occupation, a large number of immigrants flooded into Hong Kong due to the civil war in China. The population of Hong Kong rocketed from 600,000 to 2.1 million between 1945 and 1950. Large number of squatter settlements built of iron sheets and wooden planks scattered on the urban periphery in Hong Kong. One of these squatter settlements was Tai Hang. These houses were built illegally with wood and metal scraps. The middle-class villas and squatter houses were located nearby, but represented two juxtaposing worlds in the society at that time. (Fig. 22)

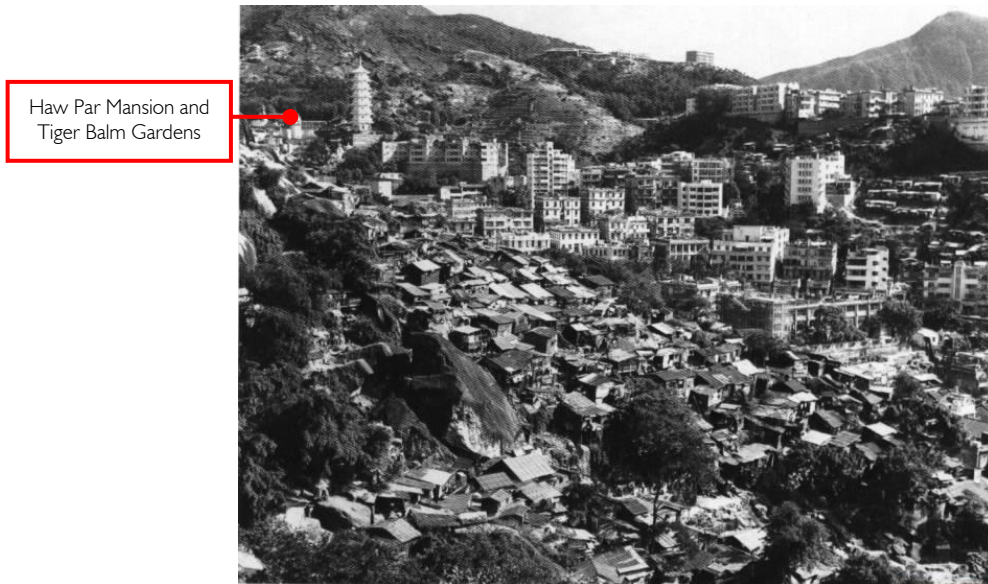


Fig. 22. Mixture of different types of residents within the same area in the post-war period.  
(from Chung Po Yin, *Shangcheng gushi - Tongluowan bainian bianqian* 商城故事 - 銅鑼灣百年變遷 [The story of commercial city – A century change of Causeway Bay], Chung Hwa Book Co., 2009, pp. 148-149.)

#### 2.1.2.6 Reclamation

Reclamations were carried out along the Tai Hang shoreline in 1950s. The reclamation created a large piece of land for recreational use. (Fig. 23 - Fig. 25) Named after the statue of Queen Victoria, Victoria Park was opened on the newly reclaimed area in 1957.







Fig. 25. Victoria Park, 1968.  
(from Victoria Park. Retrieved 13th May, 2014, from Multimedia Information System under  
Hong Kong Public Libraries, Leisure Cultural Services Department, Web Site:  
<https://mmis.hkpl.gov.hk/home>.)

#### 2.1.2.7 Public facilities built in the 1950s-60s

In the 1960s, two schools, True Light Middle School of Hong Kong and Li Sing Tai Hang School were established in Tai Hang. Originally located at 26 Caine Road in Central, True Light Middle School moved to Tai Hang Road in 1951. The new school building accommodated students from kindergarten and the secondary school levels.<sup>27</sup> Li Sing Tai Hang School was founded by Tai Hang Residents' Welfare Association at Wun Sha Street in 1958 to provide education for the local community.

In the late 1960s, Hong Kong Housing Society proposed to remove squatter areas near Lin Fa Temple in Tai Hang and build a public housing estate. The squatter houses were cleared and all residents were relocated to Shek Lei Resettlement Estate in Kwai Chung. The public housing estate, Lai Tak Tsuen was completed in 1975-1976 which consisted of three buildings with 2,677 flats.

<sup>27</sup> See History. Retrieved 2nd April, 2014, from True Light Middle School of Hong Kong, Web Site: <http://www.tlmshk.edu.hk/about4.php>.

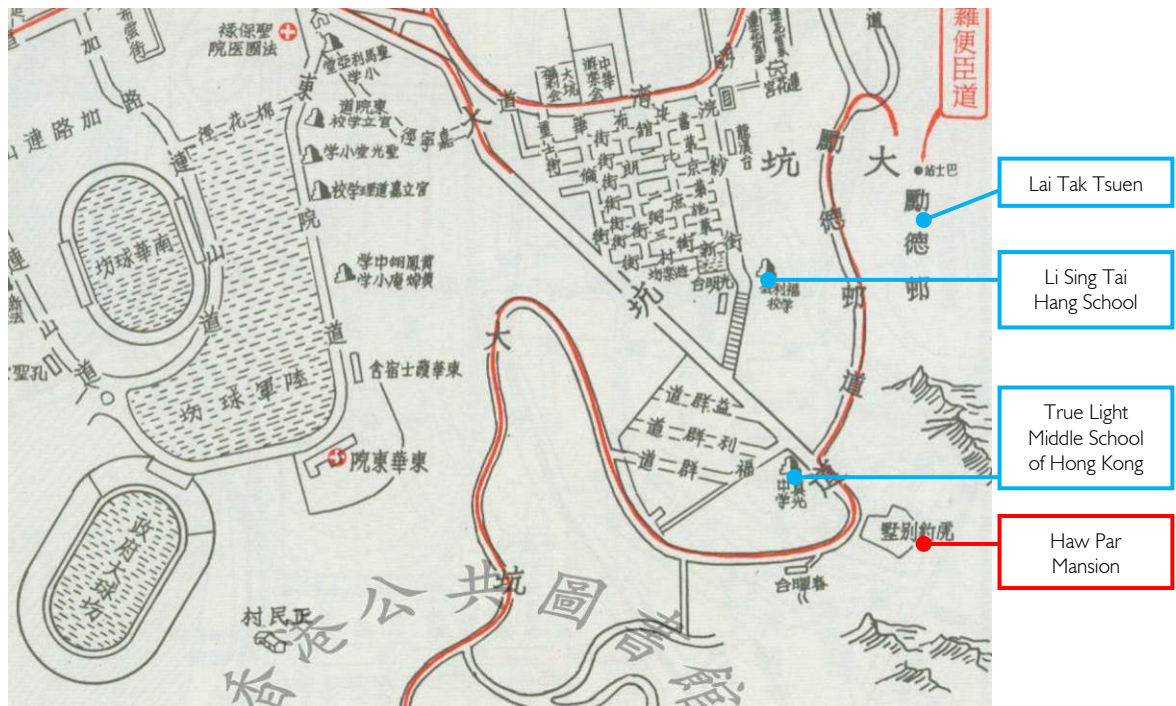


Fig. 26. Map of 1967 showing the context of Haw Par Mansion.  
(from *Hong Kong Past Yearbook*, Hong Kong, Overseas Chinese Daily News, 1967.)

## 2.2 The context of Haw Par Mansion

### 2.2.1 The Construction of Haw Par Mansion and Tiger Balm Garden (1933-1936)

Tai Hang Road became a popular area for the well-off families upon improvement of transportation links. One of the most famous villas in the area was the Haw Par Mansion. Constructed in 1933-1936, the mansion was the home for Aw Boon Haw 胡文虎's family. Aw Boon Haw was a well-known entrepreneur for introducing Tiger Balm in Asia. As one of the Tiger Balm factories was situated in Hong Kong, Aw Boon Haw often traveled to Hong Kong on business with his second wife, Tan Kyi Kyi 陳金枝. Tan Kyi Kyi adored the atmosphere of Hong Kong, Aw Boon Haw thus built a mansion with a garden, known as Haw Par Mansion and Tiger Balm Garden for Tan Kyi Kyi in Hong Kong.

Haw Par Mansion was located at Inland Lot No. 3564. This lot was sold to Aw Boon Haw by Public Auction on 6th June, 1933 at \$26,860, containing about 53720 square feet.<sup>28</sup> (Fig. 27) Five piece of land were leased to Aw Boon Haw and his company as an extension of Haw Par Mansion during 1935 and 1939. The details are as follows,

<sup>28</sup>. I.L. No. 3564 – Application from Mr. H.M.Siu on behalf of a client to purchase an area south of I.L. 2452, Tai Hang Road, from Hong Kong Public Records Office, Reference File 58-I-175(23).

Year of Transaction	Lot No.	Square feet	Amount	Owner
1935	Extension to I.L. 3564	6,480	\$3,240	Aw Boon Haw <sup>29</sup>
1936	Extension to I.L. 3564	4,000	\$2,000	Aw Boon Haw <sup>30</sup>
1938	I.L.5330	26,700	\$13,350	Haw Par Brothers Ltd. <sup>31</sup>
1939	Extension to I.L.5330	4,000	\$2,000	Haw Par Brothers Ltd. <sup>32</sup>
1939	I.L. 5710	55,370	\$27,685	Haw Par Brothers Ltd. <sup>33</sup>

**PUBLIC WORKS DEPARTMENT.**

**No. S. 201.**—It is hereby notified that the following Sale of Crown Land by Public Auction, will be held at the Offices of the Public Works Department on Tuesday, the 6th day of June, 1933, at 3 p.m.

Full Particulars and Conditions may be obtained at this Office.

**PARTICULARS OF THE LOT.**

No. of Sale.	Registry No.	Locality.	Boundary Measurements.				Contents in Sq. feet.	Annual Rent.	Upset Price.
			N.	S.	E.	W.			
			feet.	feet.	feet.	feet.		\$	\$
I	Inland Lot No. 3564.	Tai Hang Road, South of Inland Lot No. 2452.	As per sale plan.				About 53,720	616	26,860

The Purchaser of the Lot will also have to pay the sum of \$40 for boundary stones required to define the Lot and the prescribed fee for the Crown Lease.

A. G. W. TICKLE,  
Director of Public Works.

19th May, 1933.

Fig. 27. The notice of public auction of Inland Lot No. 3564 announced in Government Gazette, 19th May, 1933.

(See "Land Sale-Inland Lot No. 3564, Tai Hang Road, South of Inland Lot No. 2452, GA 1933 (suppl) no. 201"(1996). Retrieved 21st February, 2014, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong Web Site: <http://sunzi.lib.hku.hk/hkgro/view/G1933/202588.pdf>.)

The three-storey mansion was completed in 1936<sup>34</sup> at a cost of 3.27 million US dollars.<sup>35</sup> Although the mansion was built for Aw Boon Haw's family only, it was named Haw Par Mansion after him and his

<sup>29</sup> I.L. No. 3564 – Application from Mr. H.M.Siu on behalf of a client to purchase an area south of I.L. 2452, Tai Hang Road, from Hong Kong Public Records Office, Reference File 58-1-175(23).

<sup>30</sup> I.L. No. 3564 – Application from Mr. H.M.Siu on behalf of a client to purchase an area south of I.L. 2452, Tai Hang Road, from Hong Kong Public Records Office, Reference File 58-1-175(23).

<sup>31</sup> I. L. No. 5330 - Sale of an area adjoining I.L. No. 3564, Tai Hang Road to Messrs. Haw Par Brothers Limited, from Hong Kong Public Records Office, Reference File 58-1-186(34).

<sup>32</sup> I. L. No. 5330 - Sale of an area adjoining I.L. No. 3564, Tai Hang Road to Messrs. Haw Par Brothers Limited, from Hong Kong Public Records Office, Reference File 58-1-186(34).

<sup>33</sup> I.L. 5710, Application for an area as an extension to I.L.s. 3564 & 5330, from Hong Kong Public Records Office, Reference File 58-1-188(35).



brother's names, Aw Boon Haw and Aw Boon Par 胡文豹 for pledging their loyalty. The garden, known as Tiger Balm Garden was also completed in the same year.<sup>36</sup>

The design of Tiger Balm Garden was drawn from poetry and painting for inspiration. Bridges, pavilions, galleries and a white pagoda were found in the garden. The whole garden was decorated with surreal statuary, artificial caves and numerous life sized tableaux depicting Chinese Folklore, Buddhist and Daoist stories. The garden also featured boulders and rocks resembling animal forms. It is said that Aw Boon Haw once kept a private zoo with the snakes, leopards and tiger which were caged behind the mansion. After he got rid of them, he made these boulders and rocks to replace the real animals.<sup>37</sup>

An inauguration ceremony was held on 21st July 1936.<sup>38</sup> Thousands of guests were invited to the ceremony, including Sir Andrew Caldecott, the 19th Governor of Hong Kong, Norman Smith, the colonial administrator, Sir Robert Kotewall, Sir Chow Shou-son, Sir Tam Ngar-tse, Mr. Tam Woon Tong and Alfred Morris...etc.

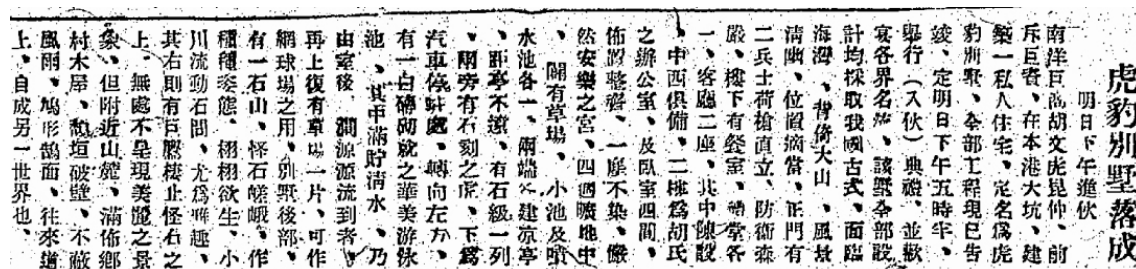


Fig. 28. The news of completion of Haw Par Mansion on 20th July, 1936.  
(from Industrial and Commercial Daily Press, 20th July, 1936.)

<sup>34</sup> The news of completion of Haw Par Mansion on 20th July, 1936, from Industrial and Commercial Daily Press, 20th July, 1936.)

<sup>35</sup> Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 43.

<sup>36</sup> The news of completion of Haw Par Mansion on 20th July, 1936, from Industrial and Commercial Daily Press, 20th July, 1936.)

<sup>37</sup> *Ibid.*, p. 61.

<sup>38</sup> Industrial and Commercial Daily Press, 20th July, 1936.

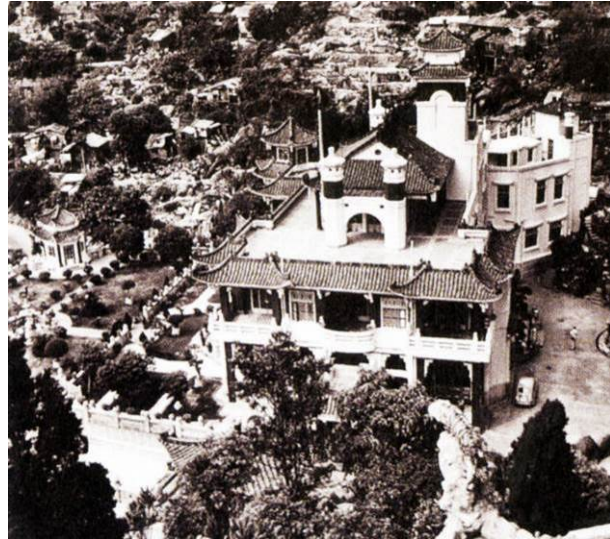


Fig. 29. Haw Par Mansion and its private Garden, the late 1940s.  
 (from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 49.)

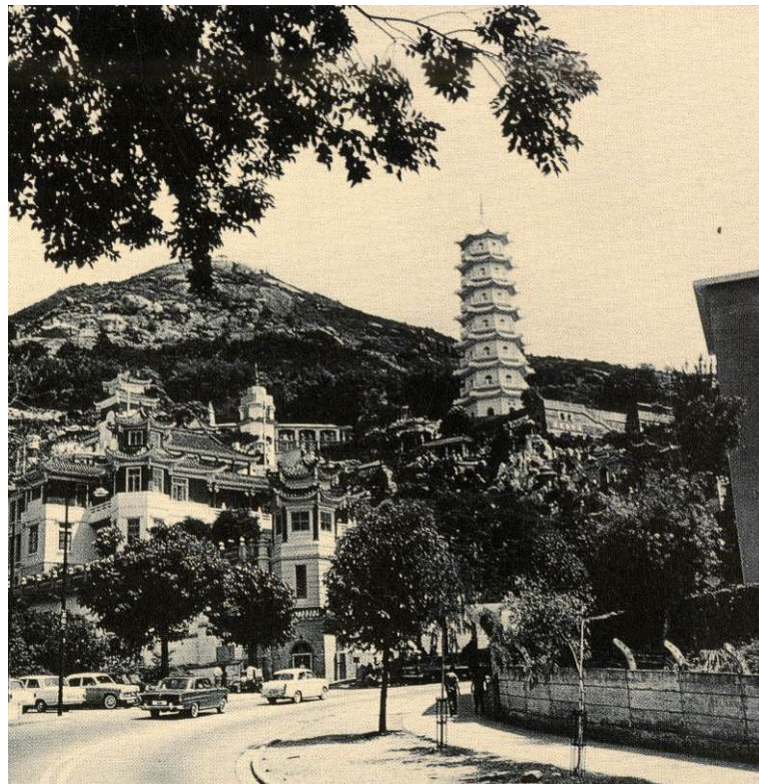


Fig. 30. Haw Par Mansion and Tiger Balm Garden, viewed from Tai Hang Road, c. 1952.  
 (from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 41.)

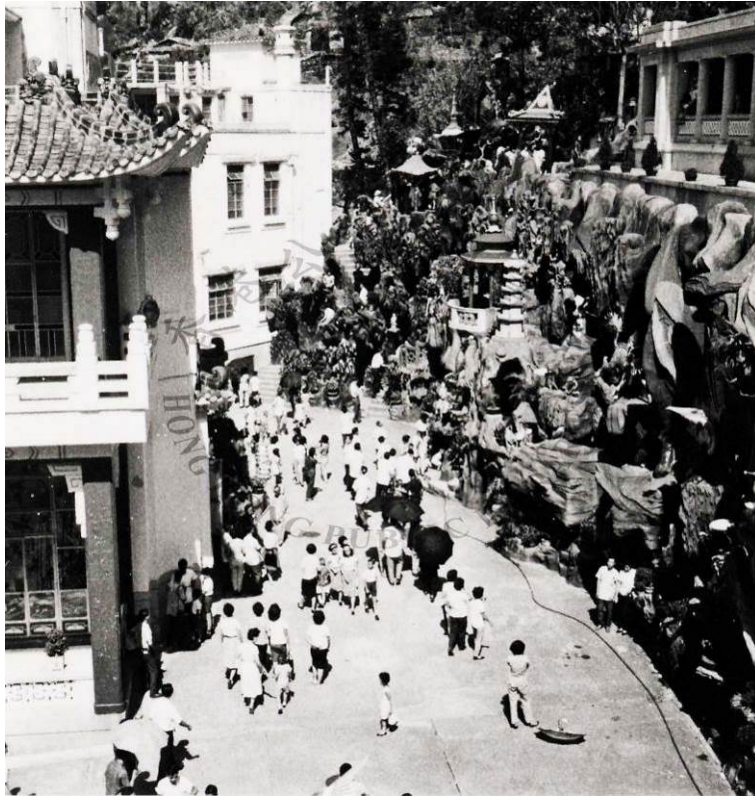


Fig. 31. Tiger Palm Garden was opened to public, 1962.  
(from Tiger Palm Garden. Retrieved 21st February, 2014, from Multimedia Information System under Hong Kong Public Libraries, Leisure Cultural Services Department, Web Site: <https://mmis.hkpl.gov.hk/web/guest>.)





Fig. 32. Bird eye view map of Haw Par Mansion.  
(from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 105.)





Fig. 33. The retaining wall with decorated with surreal statuary in Tiger Balm Garden.  
(from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 83.)

## 2.2.2 Aw Boon Haw 胡文虎 and Aw Boon Par 胡文豹

Aw Boon Haw, the owner of the Haw Par Mansion, was born in a family of Hakka descent that resided in Rangoon, Burma 緬甸仰光. His father, Aw Chi Kim 胡子欽 originated from Amoy, Fujian Province and left for Rangoon for seeking better life. In 1870, he opened a small herbal shop, known as Eng Aun Tong 永安堂 [the Hall of Everlasting Place] in Yangon.<sup>39</sup> Aw Boon Haw, born in 1882, was educated in China, while Aw Boon Par, born in 1888, studied in Burma. (Fig. 34)

When Aw Chi Kim passed away in 1909, Aw Boon Haw and Aw Boon Par succeeded their father's business. They perfected their late father's recipe and produced Ban Kim Ewe 萬金油 [Ten Thousand Golden Oils] which can relieve the body aches and pains of its users. They changed the name of ointment to Tiger Balm 虎標 that was appealed to the multi-ethnic Rangoon market.<sup>40</sup> (Fig. 35) In 1918, the Aw family became the richest Chinese family in Rangoon.

As their business grew, they opened branch offices in Southeast Asia, including Guangzhou, Hong Kong, Taiwan and Indonesia. In 1926, they set up headquarters office and also settled their families in Singapore.<sup>41</sup> After settling down their headquarters in Singapore, Aw Boon Haw established a newspaper empire in the Southeast Asia. He founded Sin Chew Daily 星洲日報 in Singapore, Sing Tao Daily 星島日報 in Hong Kong and Sing Pin Daily 星檳日報 in Malaysia in 1929, 1938 and 1939 respectively and became a powerful voice for the Chinese community.

<sup>39</sup> Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 20.

<sup>40</sup> Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 21.

<sup>41</sup> Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 23.



Fig. 34. Aw Boon Haw (right) and Aw Boon Par (left), c. 1915.  
(from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 25.)



Fig. 35. The coloured label sealed the package of Tiger Balm 虎標.  
(from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 27.)

### 2.2.3 Houses of Aw's family

When they moved to Singapore, Aw Boon Haw had three wives and three children while Aw Boon Par had two wives and three children. They built four houses to accommodate their families in Singapore. The first property they purchased in Singapore was Number 2 Tanglin Road. As the house was too small, Aw Boon Haw bought another property, namely the white house at Number 3 Nassim Road. (Fig. 36) At this house, he built his first garden and made simple rock formations constructed and placed statuary animals in the garden. At every Chinese New Year, Aw Boon Haw would open the house to the public on a daily basis, the house thus known as the Jade House and became a popular tourist spot in Singapore. However, these two houses still could not accommodate the growing families. They purchased a house, later know as Haw Par Villa close to the city, on Pasir Panjang Road on Singapore's southwest coast. In 1936 and 1937, Aw Boon Haw built two more mansions, Haw Par Mansion in Hong Kong and Haw Par Villa in Singapore. Haw Par



Mansion was mainly occupied by Aw Boon Haw and his second wife, Tan Kyi Kyi, while Haw Par Villa was the residence of Aw Boon Par and his family. (Fig. 37-Fig. 38)



Fig. 36. Aw's family's second house (The Jade House) in Singapore. (left)



Fig. 37. Aw's family's fourth house (Haw Par Villa) in Singapore. (right)



Fig. 38. Aw Boon Haw and his third son, Aw Hoe 胡好 in Haw Par Mansion.  
(from Chung Po Yin, *Shangcheng gushi - Tongluowan bainian bianqian* 商城故事 - 銅鑼灣百年變遷 [The story of commercial city – A century change of Causeway Bay], Chung Hwa Book Co., 2009, p. 237.)

During the Japanese Occupation, Aw Boon Haw was arrested and imprisoned by the Japanese in The Peninsula Hong Kong. Meanwhile, Aw Boon Par escaped to Burma with his third wife, Teo Hong Yin 張鳳英, his son Aw Cheng Taik 胡清德, Aw Boon Haw's first wife Tay Piang Hong 鄭炳鳳, second wife Tan Kyi Kyi, Aw It Haw 胡一虎 and Aw Sian (Sally Aw) 胡仙, while other family members still stayed in Singapore. Later, Aw Boon Haw was released and subsequently continued his business in Hong Kong and Southern Asia. Aw Boon Par passed away in Burma at the age of 60 in 1944.

In 1946, Aw Boon Haw proposed to build a retirement mansion in Yongding 永定 County, Fujian. The construction work was begun in 1946. Unfortunately, Aw Boon Haw broke the relationship with the People's Republic of China, all of his holdings in China was seized. The project was forced to be ceased. The descendant of Aw Boon Haw, Ms. Sally Aw retrieved the site in 1989. The construction work resumed and the house was completed in 1994. Ms. Sally Aw subsequently donated the house to the government of Yongding County to be a museum and community centre. (Fig. 39)



Fig. 39. Haw Par Mansion in Fujian.  
(from Old Village in Zhongchuan, under myVacation. Retrieved 6th March, 2014, Website:  
[http://www.myvacation.cn/zijia/jingdian/jd\\_2189.html](http://www.myvacation.cn/zijia/jingdian/jd_2189.html).)

In 1954, Aw Boon Haw passed away in Hong Kong at the age of 72 and the ownership of Haw Par Mansion and Tiger Balm Garden were passed to Haw Par Brothers International, which was controlled by the Aw family members. Tan Kyi Kyi and his adopted daughter, Aw Sian still lived in the mansion thereafter. In 1956, they built a Spirit Bones Pagoda in the garden to house the ashes of Aw Boon Haw.

In 1961 and 1978, Haw Par Brothers International once tried to sell Haw Par Mansion and Tiger Balm Garden. However, it was protested by Tan Kyi Kyi and Aw Sian. They succeeded in saving the garden in 1961, but failed to stop the selling of a piece of land on the hillside behind the mansion in 1978.<sup>42</sup> The piece of land that was sold in 1978 was used to build a residential estate, Ronsdale Garden 龍華花園.



Fig. 40. Spirit Bones Pagoda.  
(from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 97.)

<sup>42</sup> Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 97.



#### 2.2.4 The redevelopment of the Tiger Balm Garden and the revitalisation of the Haw Par Mansion

In 1985, the garden was renamed as Aw Boon Haw Garden to celebrate the golden anniversary of the garden. The Aw family proposed the garden to be designated as a monument; however, it was declined by the Hong Kong Tourist Association. In the following year, the management and ownership of the garden was taken by the Aw Boon Haw Foundation Limited, which was established by Aw Sian.

In 1994, Tan Kyi Kyi passed away at the age of 91. In 2000, Aw Sian sold Tiger Balm Garden to an estate developer. In order to preserve Haw Par Mansion, the Government reached an agreement with the developer. Tiger Balm Garden was demolished to make way for the construction of a residential complex, Legend, with only the mansion and its private garden are preserved and passed to the Government since 2001. The mansion was accorded Grade I historic building in 2009. In 2011, Haw Par Mansion was included in the third batch of historic buildings under the Revitalising Historic Buildings Through Partnership Scheme.

2.2.5 Timeline

- Haw Par Mansion
- Aw's family
- Tai Hang
- Hong Kong and Mainland

**1758**  
Tin Hau Temple was built by Tai family in Tai Hang.



**1841**  
The Hong Kong Gazette documented the villages' population of Hong Kong Island in the early colonial time. Hung Heung Lo 紅香爐 had a population of 50 people.

**1841**  
A flag raising ceremony, which marked the official British takeover of Hong Kong Island, was conducted by the British Navy in Possession Point, a small hill at the present-day Hollywood Road Park.

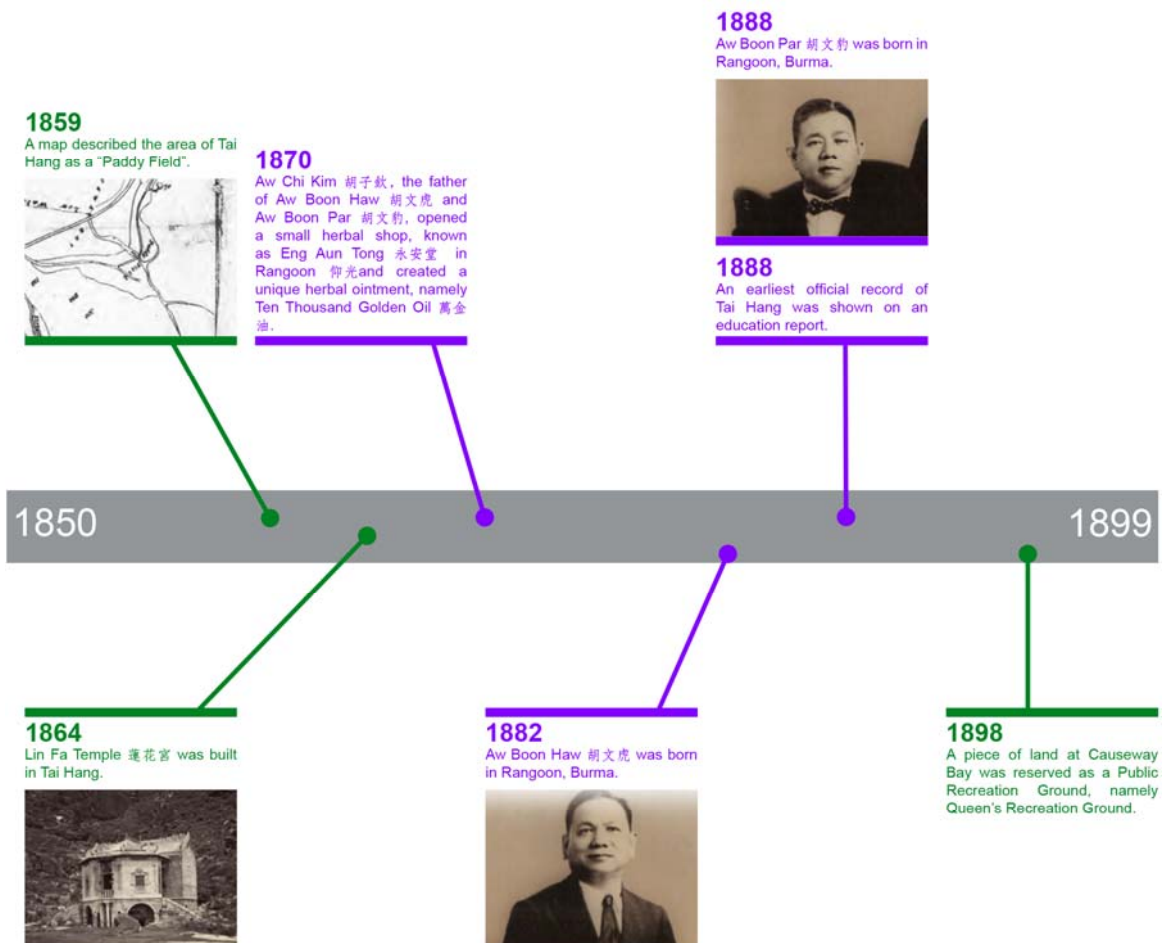


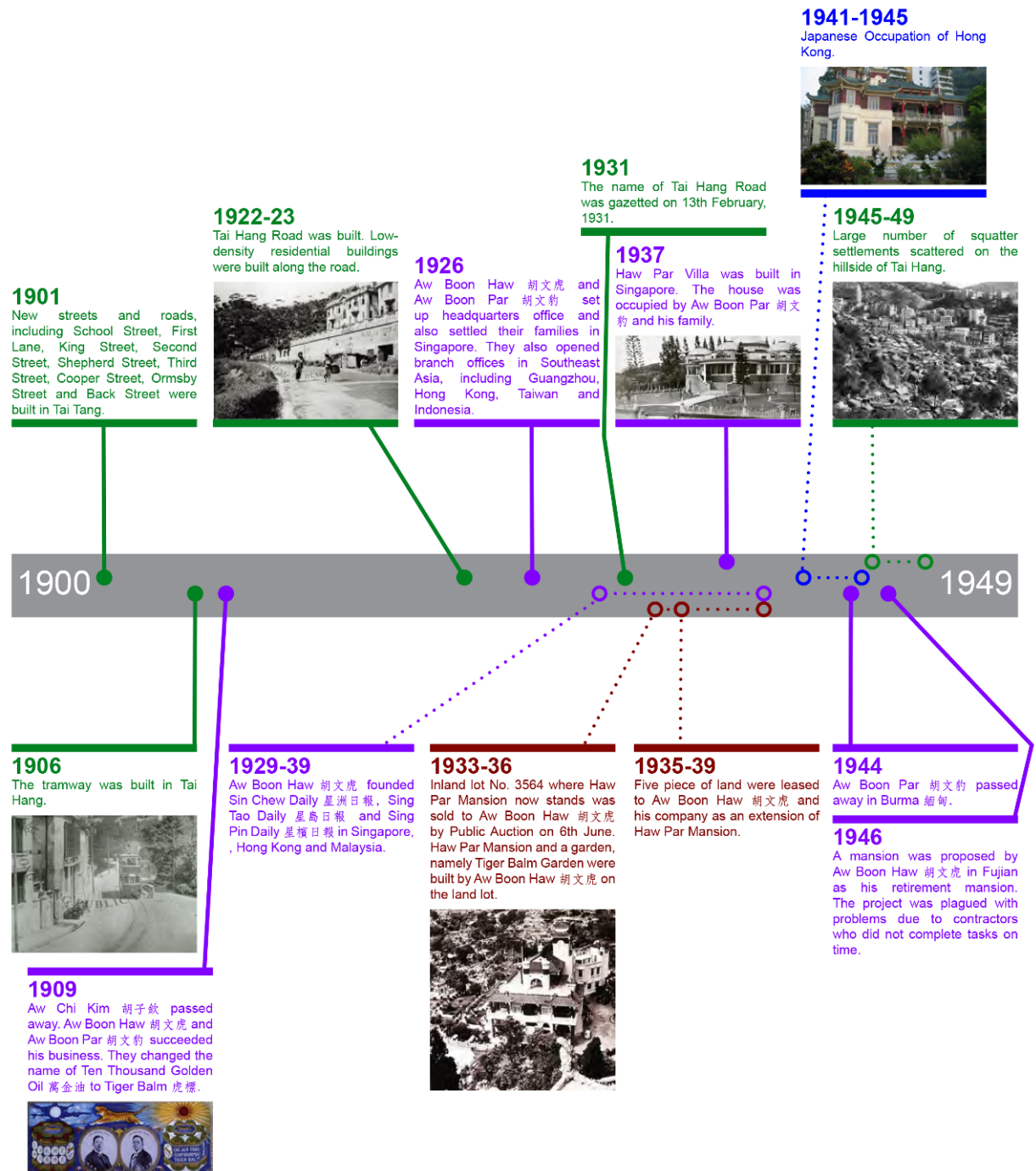
**1845**  
Cartographer Lieutenant Collinson made remarks on the area around Tai hang.

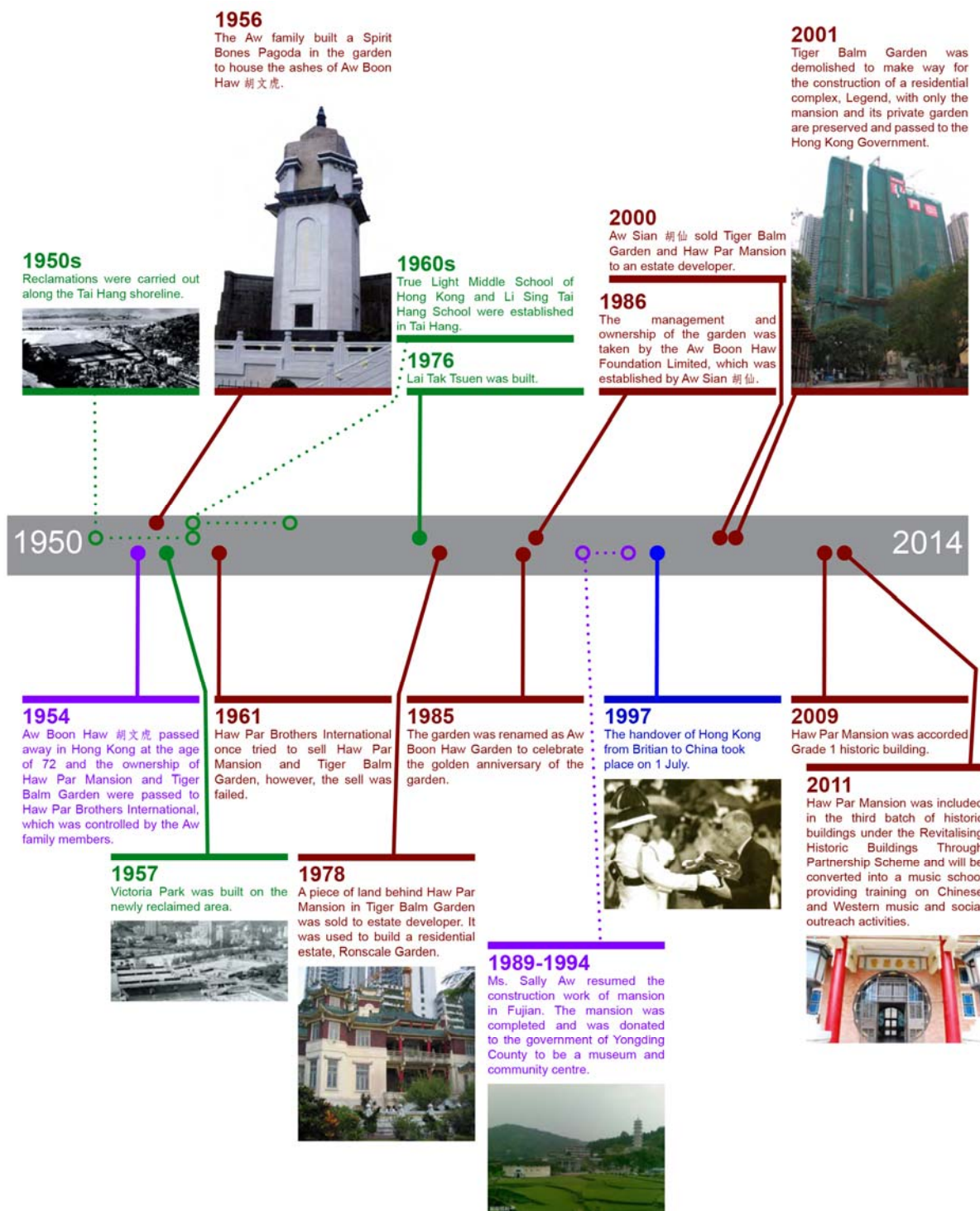


**1843**  
The Colonial Government gazetted the name of the new possession as "the Colony of Hongkong" and the name of the city as "Victoria".











## 2.3 Architectural description

### 2.3.1 The site

The site Aw Boon Haw purchased for the Haw Par Mansion in Hong Kong was a steep rocky lot on Tai Hang Road. He had picked a lot on the mid-levels of the city, where it had “an unobstructed view of the harbor and Kowloon”.<sup>43</sup> The Main Site is built on an elevated platform comprises the Mansion and its Private Garden. The Ancillary Site adjacent to the Main Site was formerly a car-park.

### 2.3.2 The Private Garden

The Private Garden facing the northwest façade of the Haw Par Mansion is a ‘formal’ garden placed along the central axis of the building, which is designed based on geometry and rectilinear lines with a water fountain featured in the centre point. The Private Garden has two tiers. The lower tier is accessible through the spiral staircase from the Tai Hang Road level at the corner tower, where a Chinese pavilion-styled structure is featured on top. Another Chinese pavilion is found at the northwest corner, while the water fountain is featured at the centre. The upper tier is either accessible from the Mansion through two flights of stairs, or from a side garden gate from the passage area. (Fig. 41)



Fig. 41. The Private Garden.

### 2.3.3 The Mansion

The Mansion is a two-storey building with a basement for the storeroom, kitchen, and servants’ quarters. (Fig. 42) The servants’ quarters is also found in the annex at the rear on all the other upper-ground floors. The ground floor was mainly designed for entertainment with sitting room, dining room, game room, music room and study room. Located at the centre of the floor, the sitting room is the focus of the interior where two large moon-gates with stained glass featuring tigers are found, of which the glasswork was commissioned and created by an Italian artist. (Fig. 43) The first floor was a more private area where bedrooms were

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<sup>43</sup> Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire’s Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, p. 42.

located. On the roof terrace of the main block is a penthouse formerly used for praying and meditation of the family, a hexagonal pavilion, and a pagoda-like structure acting as a tower for the water tank, which greatly enriched the roof line of the Mansion. Please refer to Appendix I for the existing layout plans.

Externally, prominent features borrowing from traditional Chinese architecture could be found, such as the flying eaves, *dougong* bracket sets, moon-gates, red columns, green glazed tiled roofs, and ridge decorations such as *Chiwen* 鸱吻 and precious pearl. Internally, the spatial planning adopted a rather westernized approach with a roughly symmetrical layout, having an entrance porch on the southwest elevation and a Palladian staircase on the northwest elevation towards the Private Garden. The interior furnishing is also westernized with the adoption of fireplaces, picture rails, stained glass windows and doors, and cabinets with Art Deco influence, etc. Decorative mouldings are gilded with gold, while murals are found showing Indian and Burmese influence.

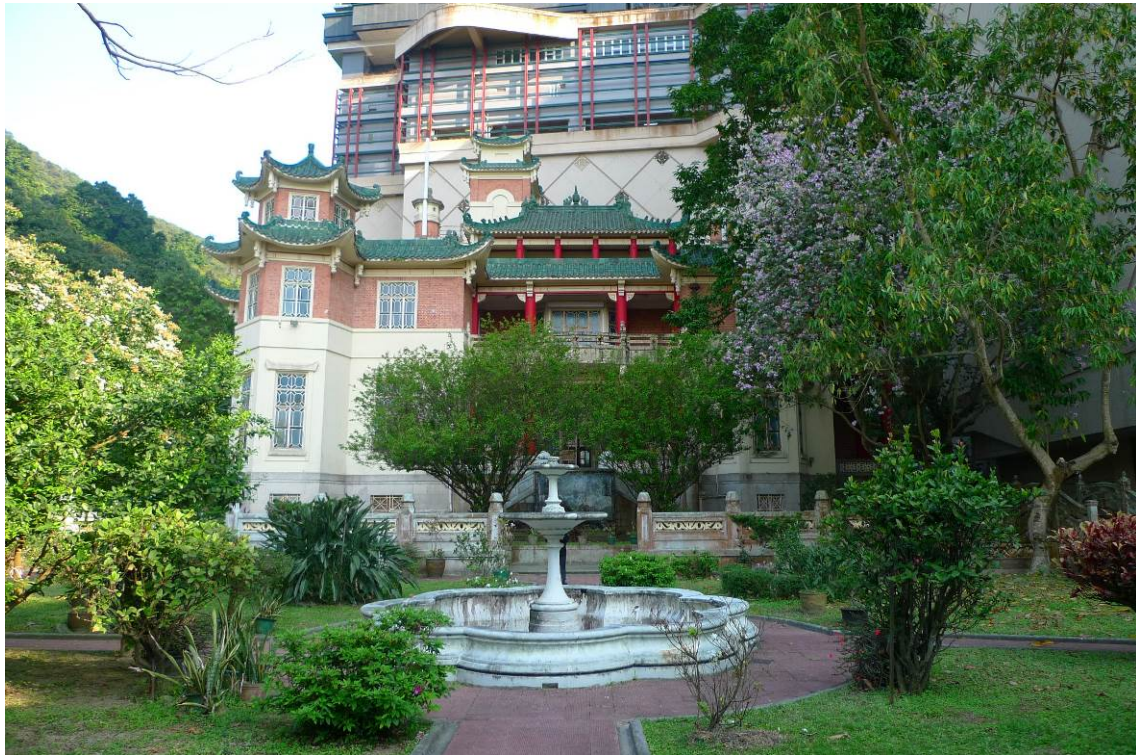


Fig. 42. Front façade of the Haw Par Mansion.





Fig. 43. The sitting room looking toward the moon-gate (left) and tigers on the stained glass of the moon-gate (right)  
(from Judith Brandel, *Tiger Balm Gardens: a Chinese Billionaire's Fantasy Environments*, Hong Kong, Aw Boon Foundation, 1998, pp. 50-51.)

#### 2.3.4 Chinese Eclectic style

Haw Par Mansion is built in the Chinese Eclectic style, featuring an adoption of Western construction method, which is a reinforced concrete frame structure, and decorated with architectural features borrowed from traditional Chinese architecture. The spatial planning is however of a more Western design, roughly symmetrical with the addition of porches, Palladian staircase and fireplaces, not to mention the European 'formal' garden facing the northwest façade.

### 2.4 Heritage values

The Haw Par Mansion at No. 15 Tai Hang Road, Tai Hang was originally built along with the renowned Tiger Balm Garden, a garden purposely built for the Chinese for free so as to promote the product of Tiger Balm when there was no public park or recreation facility available for the Chinese in Hong Kong in the 1930s. The owner, Aw Boon Haw was a Burmese Chinese prominent entrepreneur and philanthropist with his product, Tiger Balm very popular in the Southeast Asia. The Haw Par Mansion is one of the three mansions of the Aw's in the world. Subsequent to the sale of the last lot of Tiger Balm Garden in 2000, the Haw Par Mansion became the only physical trace of the garden which was significant in the social context of Hong Kong from the 1930s-1990s.

Haw Par Mansion is a reinforced concrete building of four storeys high including the roof terrace. It comprises a main block and a servants' quarters. The ground floor of the main block was mainly used for entertainment and leisure purpose, while the first floor was a more private area where bedrooms were located. The penthouse on the roof terrace was once served as a Buddhist temple for prayer and meditation. The Mansion adopted the Chinese Eclectic style which has a strong association with the social background in the 1920s-1930s. It was the time when the social status of Chinese businessmen began to rise in Hong Kong,

who determined to build their residences with prominent Chinese architectural features to pay their patriot towards their own country. The style features the adoption of Chinese architectural features for its Chinese appearance, and Western spatial planning and construction method. The garden at the front of Haw Par Mansion is a Western styled garden with Chinese garden structure such as the pavilion, corner tower structure and small bridge, which also demonstrated the essence of the style. The Mansion with its private garden is one of the few surviving examples of such style in Hong Kong.

The luxurious Mansion with its considerable scale, well-thought spatial configuration, and its rich in architectural decoration especially for its interior, is one of the best examples of a well-off family's house in Hong Kong. Throughout the years, there was little change to the Mansion and it is found with high level of authenticity.

## 2.5 Character Defining Elements

### 2.5.1 Selection criteria

*Character-defining elements* means the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place, and which must be retained in order to preserve its heritage value.<sup>44</sup> The selection of the Character Defining Elements is based on the cultural significance of the Haw Par Mansion derived from the previous chapter, which includes contextual significance, historic significance, architectural and aesthetic significance, and social significance.

### 2.5.2 Level of significance – definition of terms<sup>45</sup>

Levels of Significance	Meaning
High	Elements which make a major contribution to the overall significance of the place. Spaces, elements or fabric originally of substantial intrinsic quality, and exhibit high degree of intactness and quality, though minor alterations or degradation may be evident.
Moderate	Elements which make a moderate contribution to the overall significance of the place. Spaces, elements or fabric originally of some intrinsic quality, and may have undergone minor or extensive alteration or degradation.
Low	Elements which make a minor contribution to the overall significance of the place. Spaces, elements or fabric originally of little intrinsic quality, and may have undergone alteration or degradation. Original spaces, elements or fabrics of some quality, which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive.
Neutral	Items which are of little consequence in terms of understanding or appreciating the site and its developments, without being actually intrusive
intrusive	Items which are visually intrusive or which obscure the understanding of significant elements of the site, and may be identified for removal

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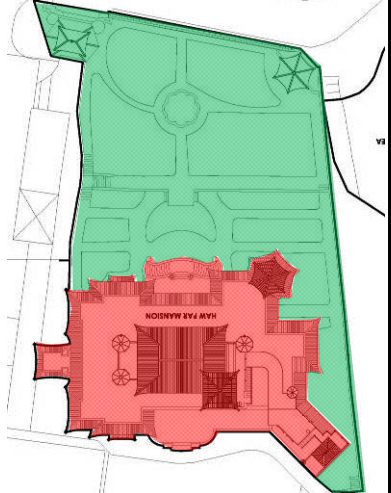
<sup>44</sup> Definition extracted from *Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada, 2003.

<sup>45</sup> The definition of terms is developed based on James Semple Kerr, *Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*, National Trust, 2004.

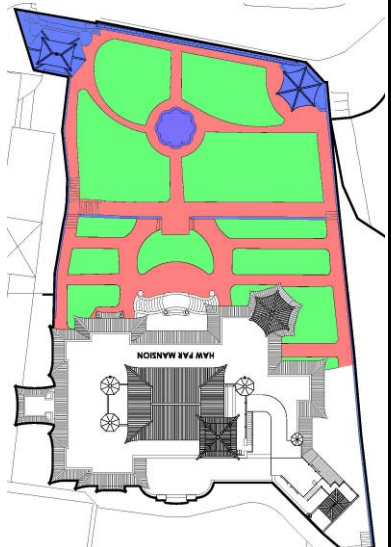




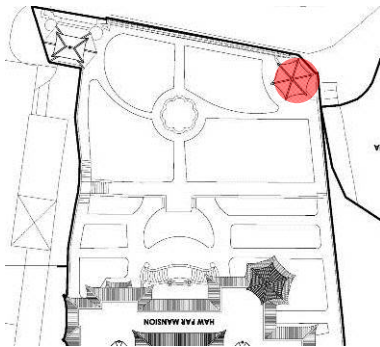


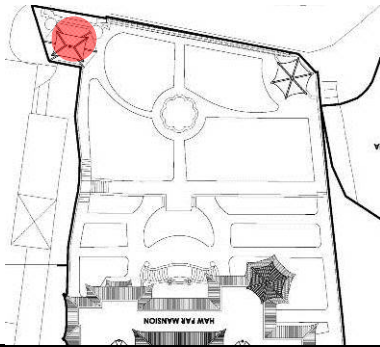

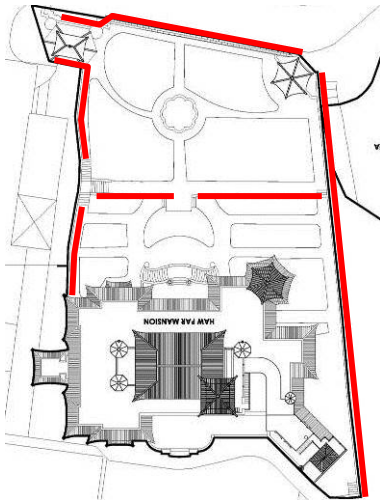

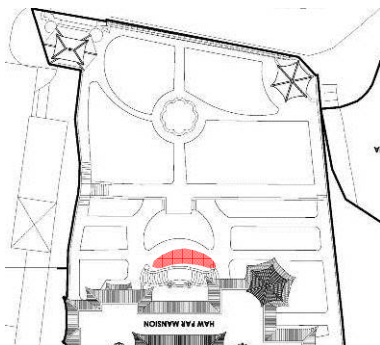
## 2.6 List of Character Defining Elements


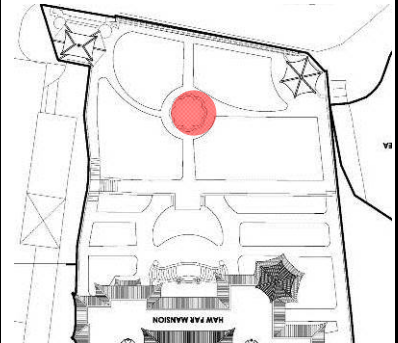

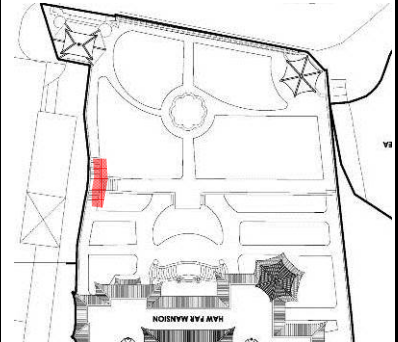

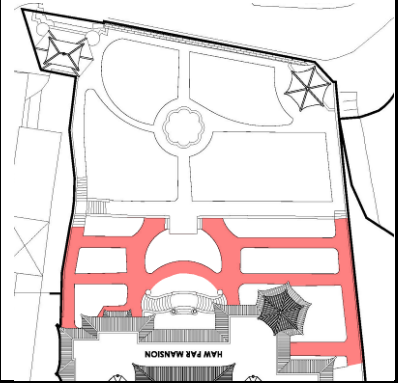

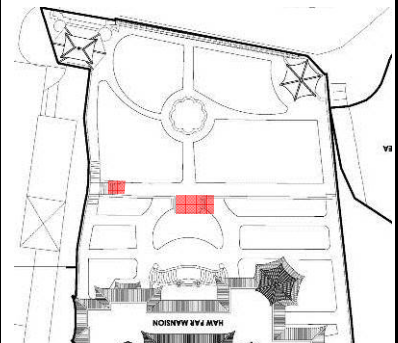
### 2.6.1 Setting and context

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
S-1	Integrity of the site and spatial organization	High		


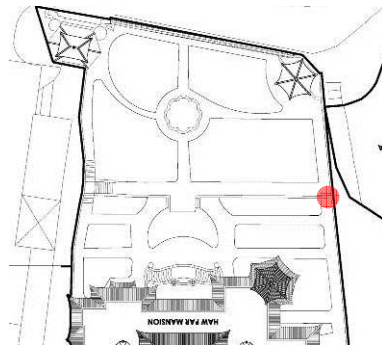

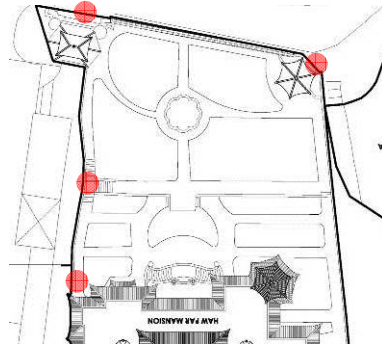

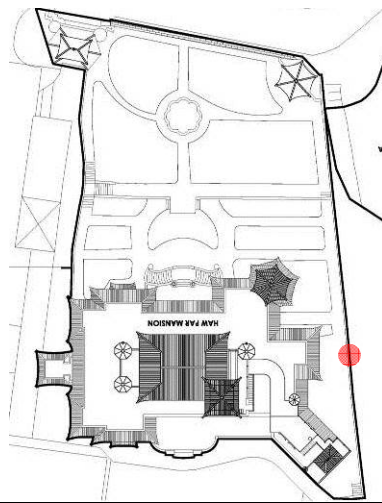

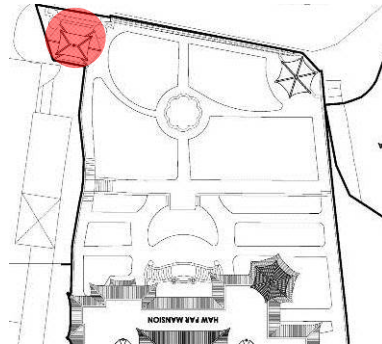
### 2.6.2 Private Garden


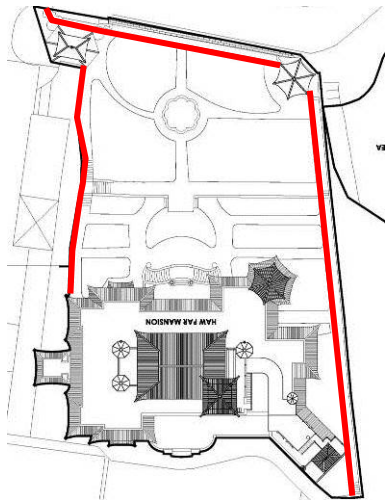

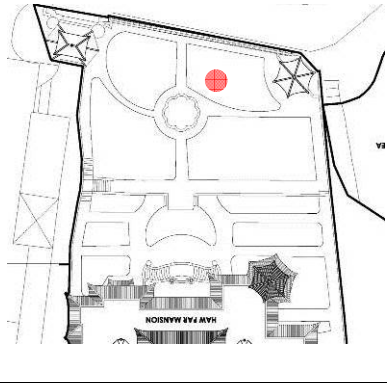

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
P-1	The setting and layout of the Garden	High		

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
P-2	<b>Corner Tower</b> - including the granite base, the columns and beams, decorative plasterworks, internal spiral staircase, metal-framed window and painted glass door	High	 	
P-3	<b>Pavilion</b> - with Chinese tiled roofs and original red-painted plaster columns	High	 	
P-4	<b>Low boundary fence walls</b> - with decorative balustrades and posts with Shanghai plaster finish	High		
P-5	<b>Pond</b> - with a stone sculpture projected from the front face of the Palladian Staircase inscribed with mural painting	High		

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
P-6	Fountain	High		
P-7	Arched walkway with main garden gate below with Shanghai plaster finish	High		
P-8	Patterned and plain mosaic tiled floor	High		
P-9	Granite steps and landing	High		






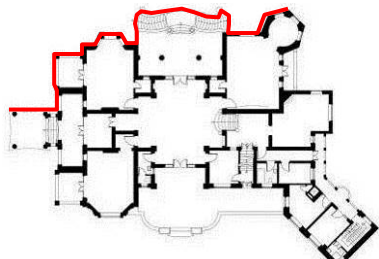

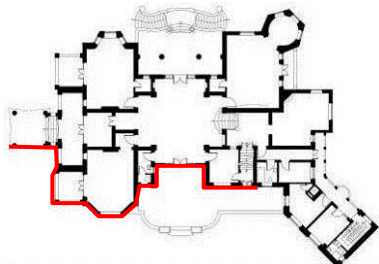
No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
P-10	Steps connecting upper tier to lower tier	Moderate		
P-11	Ornamented metal gates	High		
P-12	Side metal gate	Moderate		
P-13	Granite entrance portal under the Pavilion	High		


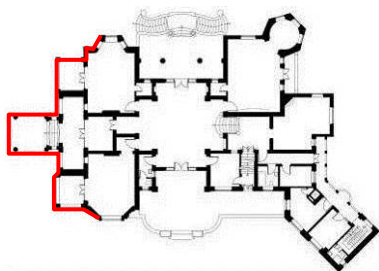

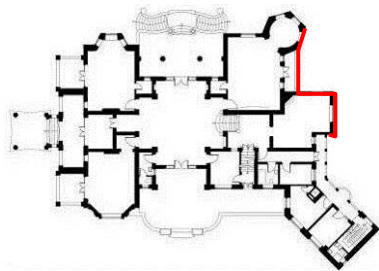

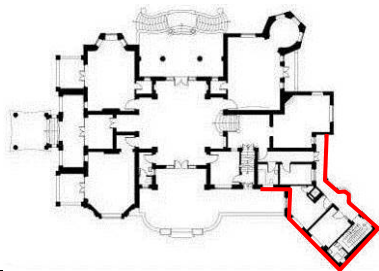

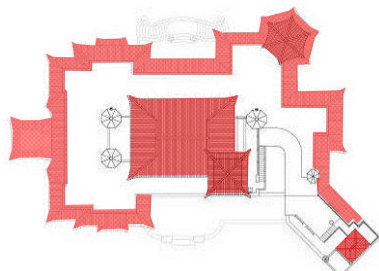
No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
P-14	<b>External retaining walls</b> - with pattern and finished with plaster including Shanghai plaster	Moderate		
P-15	<b>Sculptures</b>	High		
P-16	<b>Figurines salvaged from the demolished Tiger Balm Garden</b>	High		N.A.


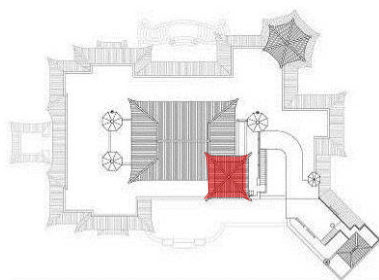

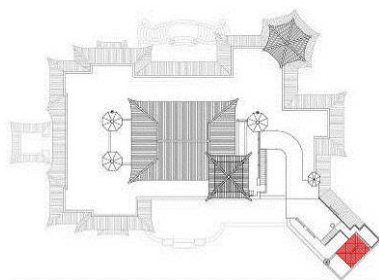

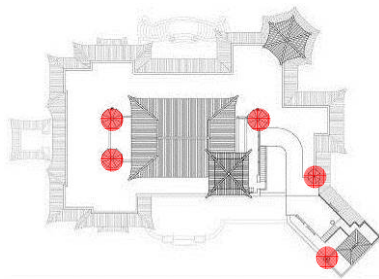

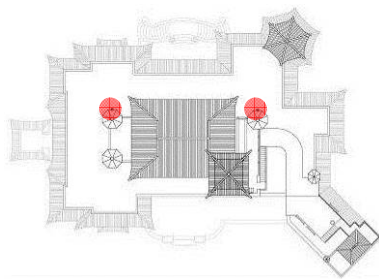

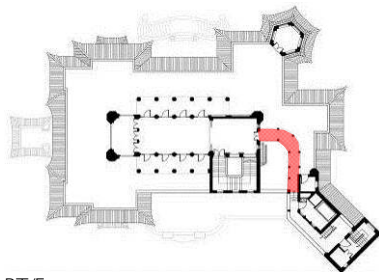
### 2.6.3 Main Building and the Annex Block - Exterior

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
E-1	<b>Building mass</b>	High		


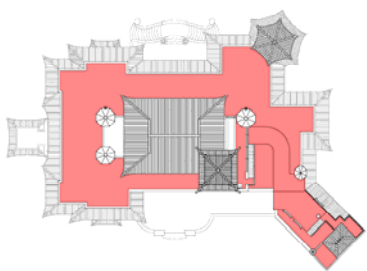

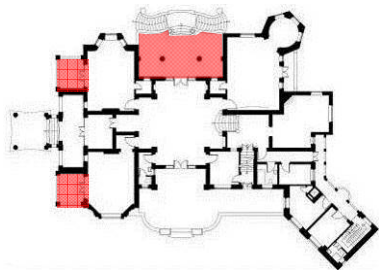



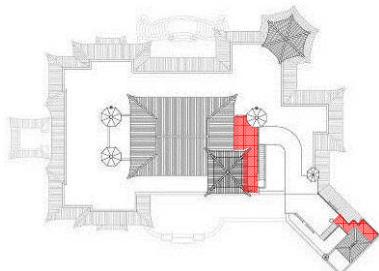



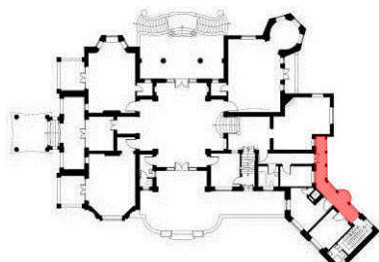
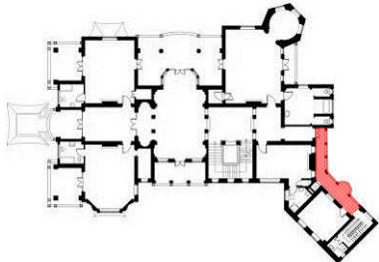

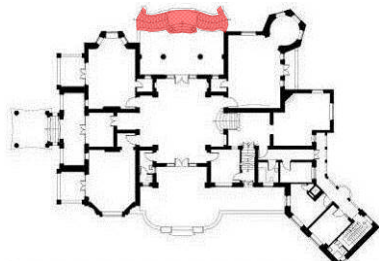

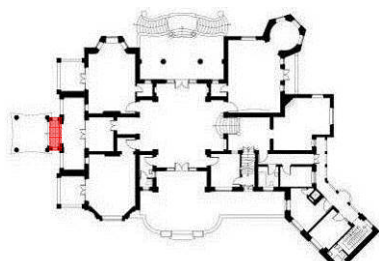

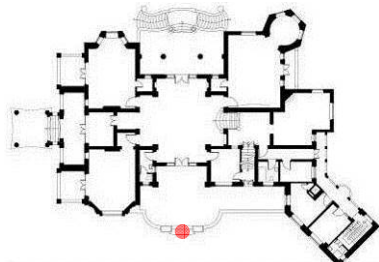
No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
E-2	<b>Building façades</b> - including granite base, fair-faced red brick walls and walls with plasterworks, architectural features such as columns with featured plinths, brackets, lintels, mouldings, overhangs, window heads and sills, verandahs, entrance porch and the like etc.		 	
	Northwest façade	High		
	Southeast façade	Moderate		

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
	Southwest façade	High		
	Northeast façade	High		
	Elevations of Servants' quarters	Moderate		
E-3	Roofs with Chinese glazed ceramic roof tiles and decorations	High		 R/F


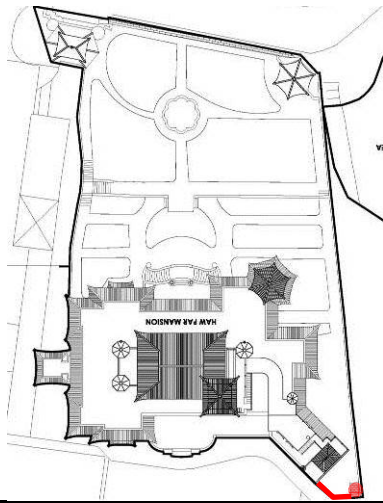

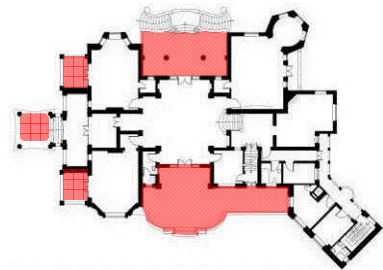
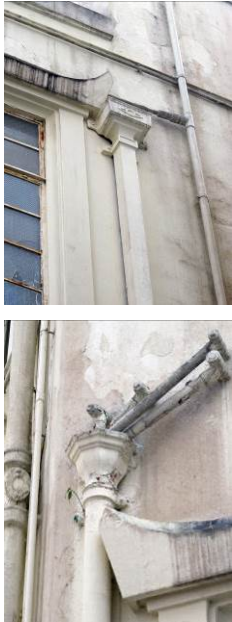
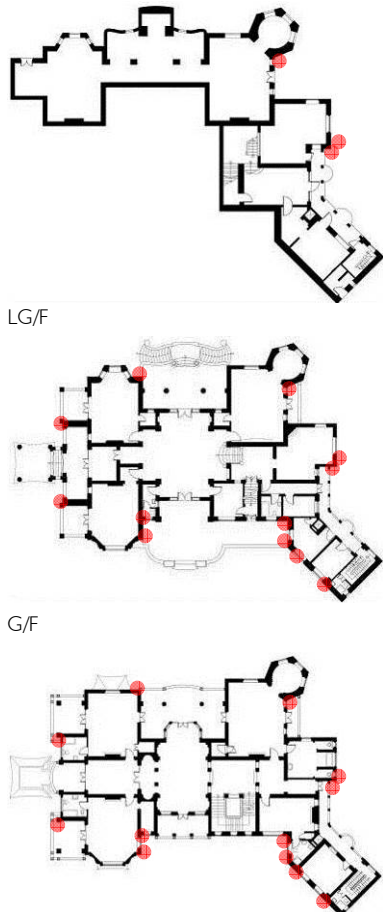
No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
E-4	Water Tank – main block	High		 R/F
	Water Tank – servants' quarters	Moderate		 R/F
E-5	Chimney stacks	High		 R/F
E-6	Decorative poles at roof	High		 R/F
E-7	Covered walkway at RT/F including the columns	Moderate		 RT/F


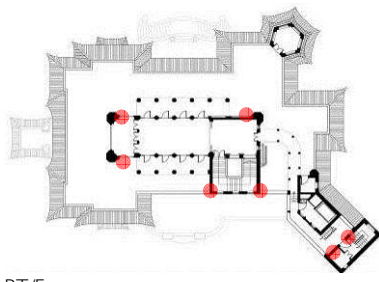

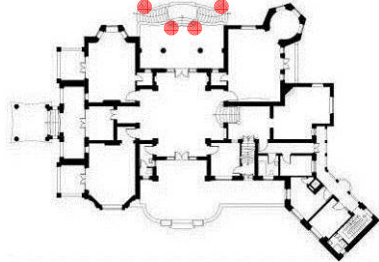

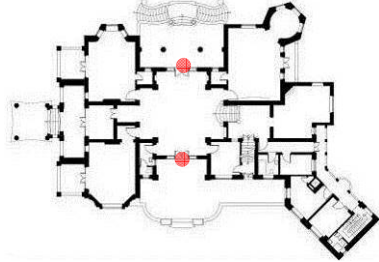


No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
E-8	Flat roof	Moderate		 RT/F
E-9	Balconies and verandahs with decorative grille design in Shanghai plaster finish (Type A)	High		 G/F
E-10	Balconies and verandahs with horizontal bands design in paint finish (Type B)	High		 G/F I/F
E-11	Balustrades with circular hollow section metal rails (Type C)	Low		 R/F


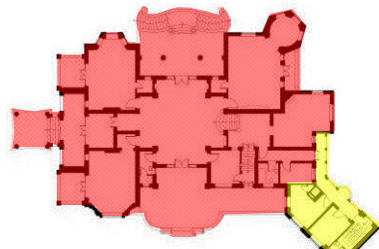

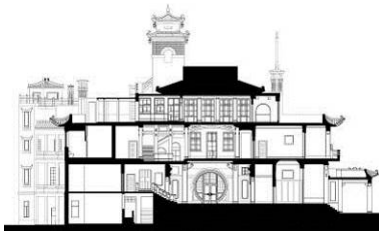
No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
E-12	Corridors with horizontal bands design in paint finish at servants' quarters	Moderate		 G/F  I/F
E-13	Palladian staircase supported by fair-faced granite retaining wall and decorative balustrades in Shanghai plaster finish	High		 G/F
E-14	Entrance steps	High		
E-15	Granite steps to the southeast terrace of the Mansion	High		


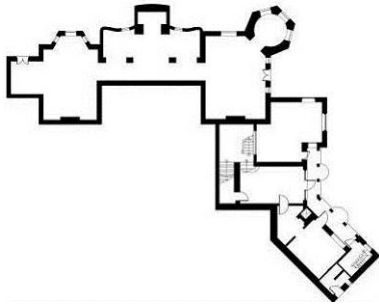
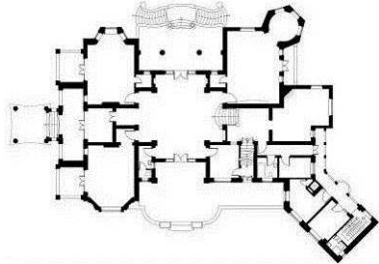
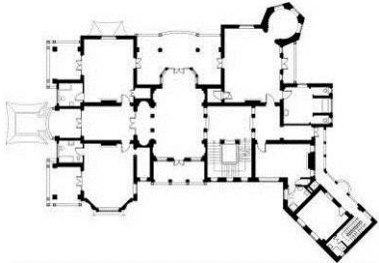
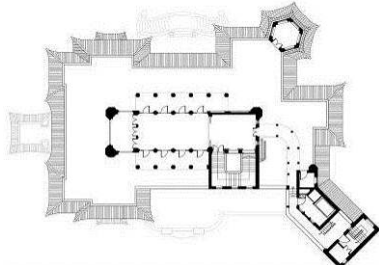

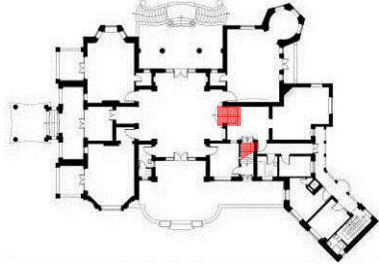



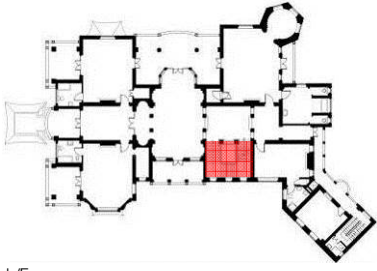
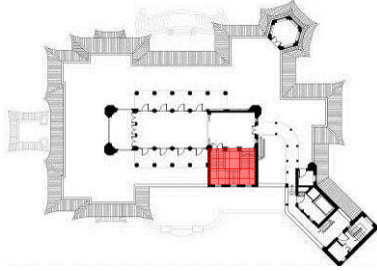

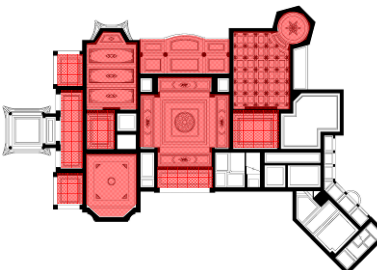
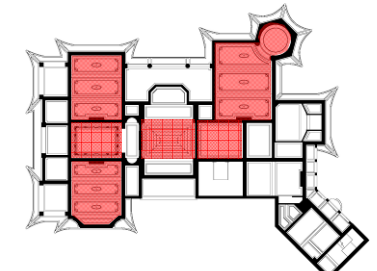

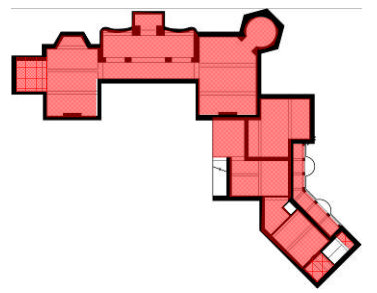
No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
E-16	Steps, landing, fence wall and retaining wall at the east corner of the Mansion	High		
E-17	Patterned mosaic floor tiles	High		 G/F
E-18	Cast iron downpipes	High		 LG/F G/F G/F

No.	CDE of Haw Par Mansion	Level of significance	Photo	Location plan
				I/F  RT/F
E-19	Antique lanterns	High		 G/F
E-20	Inscriptions	High		 G/F


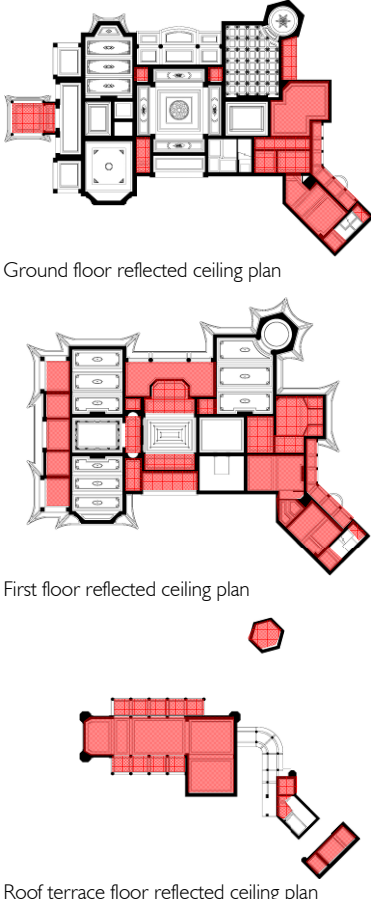

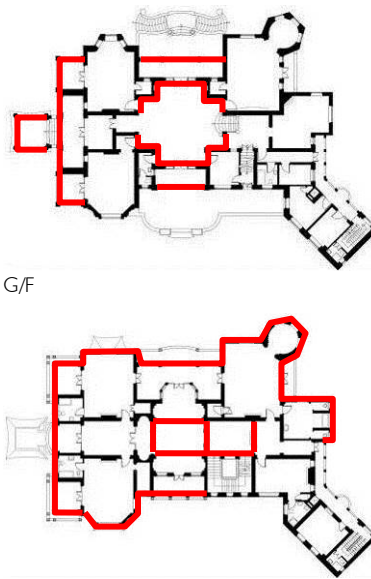
#### 2.6.4 Main Building and the Annex Block - Interior

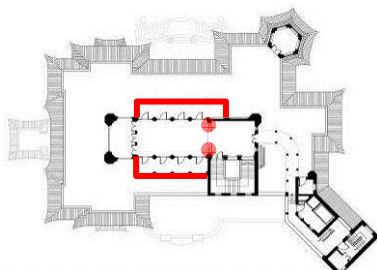

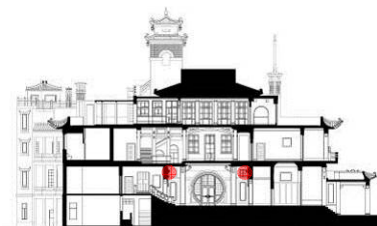

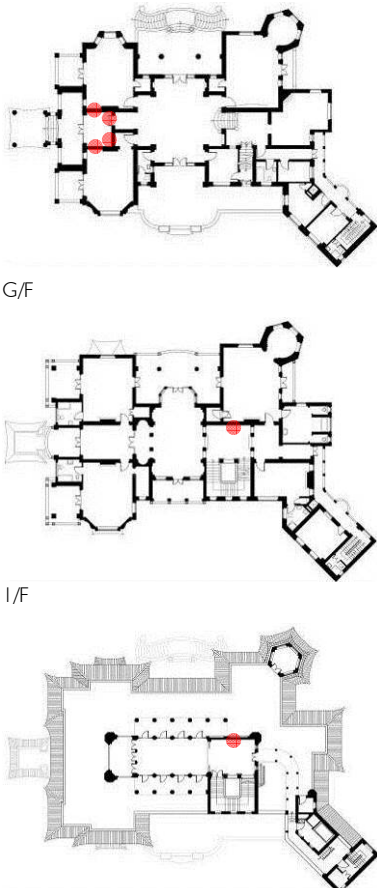
No.	CDE of Haw Par Mansion		Photo	Location plan
I-1	General spatial organization	High		
I-2	Building structure	High		


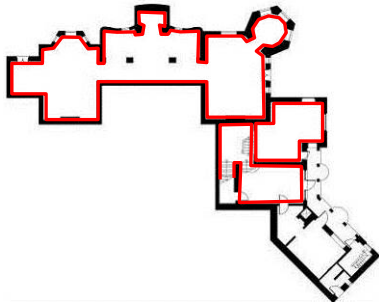
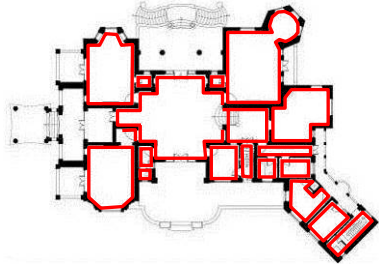
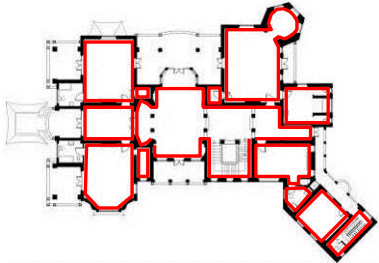
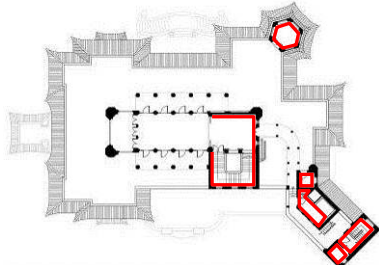

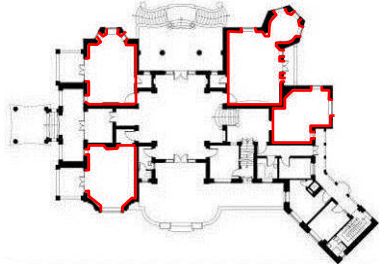
No.	CDE of Haw Par Mansion		Photo	Location plan
I-3	Original building layout – Main block	High		
	Original building layout – servant's quarters	Moderate		<p>LG/F</p>  <p>G/F</p>  <p>I/F</p>  <p>RT/F</p>
I-4	Hardwood staircases	High		 <p>G/F</p>

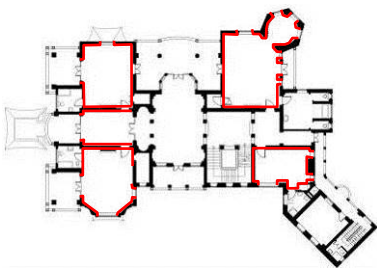

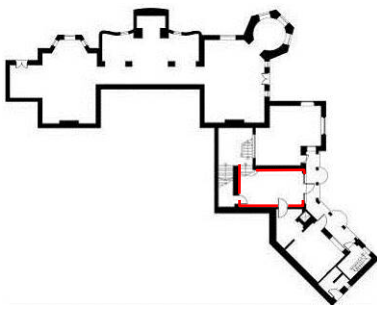
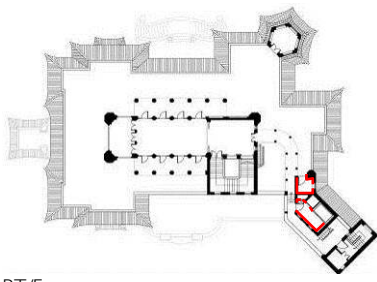

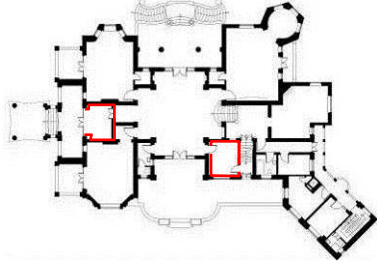

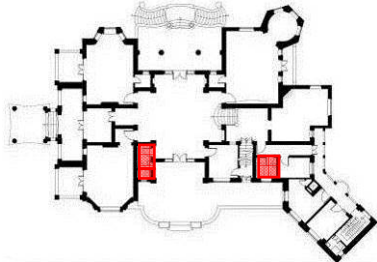
No.	CDE of Haw Par Mansion		Photo	Location plan
				 I/F  RT/F
I-5	Decorative ceiling plaster works	High		 Ground floor reflected ceiling plan  First floor reflected ceiling plan
I-6	Ceiling with moulded cornice	Moderate		 Lower ground floor reflected ceiling plan



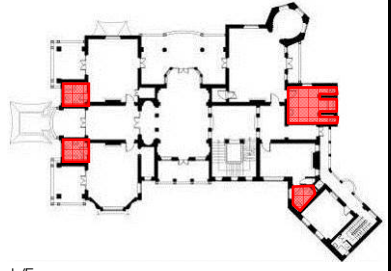

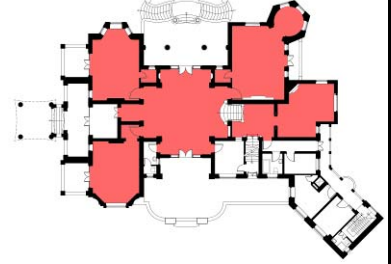
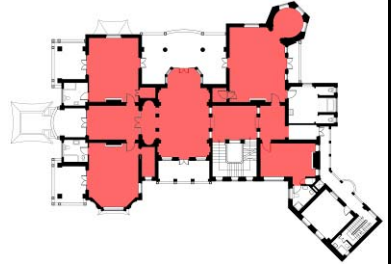
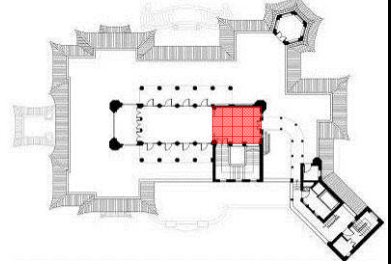

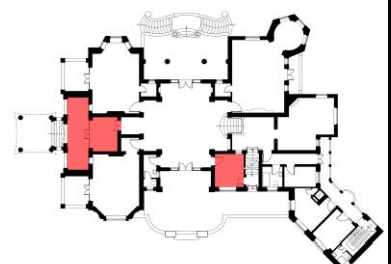
No.	CDE of Haw Par Mansion		Photo	Location plan
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I-7	Historic decorative plaster work	High		 <p data-bbox="1038 1480 1074 1507">G/F</p> <p data-bbox="1038 1787 1074 1814">I/F</p>

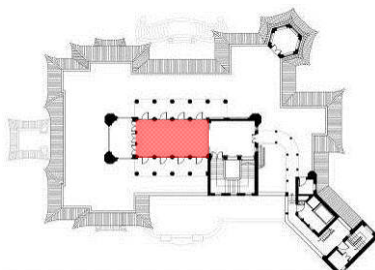

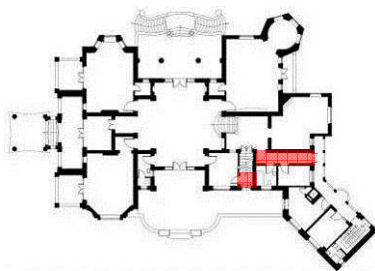
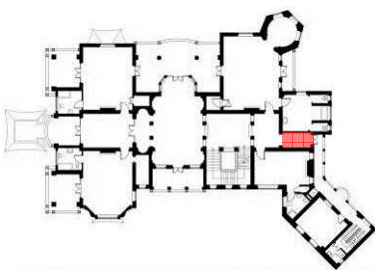
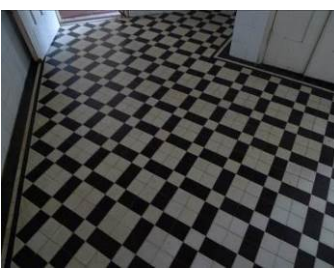
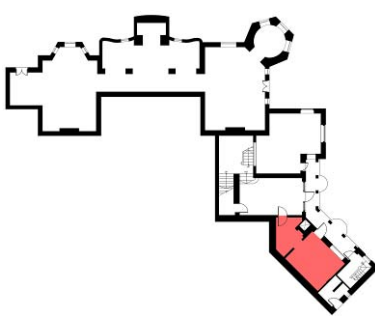
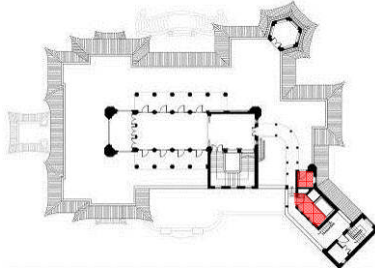
No.	CDE of Haw Par Mansion		Photo	Location plan
				 RT/F
I-8	Projecting Chinese-styled eaves	High		
I-9	Reliefs on walls	High		 G/F I/F RT/F


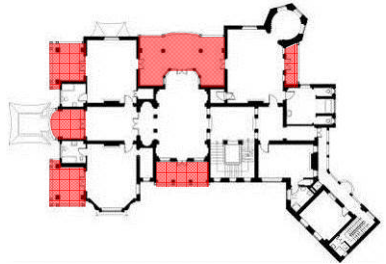

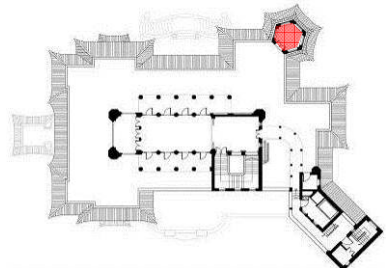

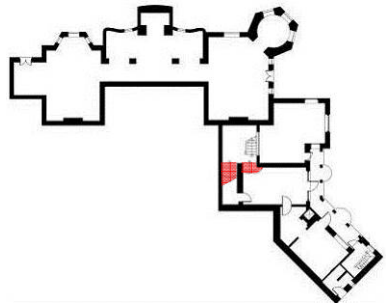

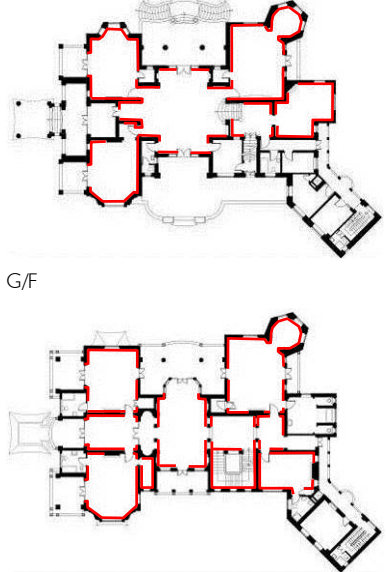
No.	CDE of Haw Par Mansion		Photo	Location plan
I-10	Plastered walls	Moderate		 LG/F  G/F  I/F  RT/F
I-11	Picture rails	High		 G/F

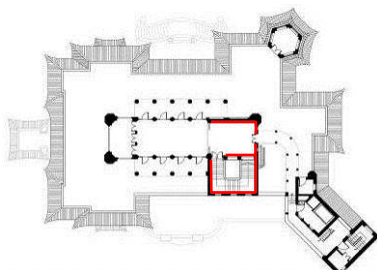

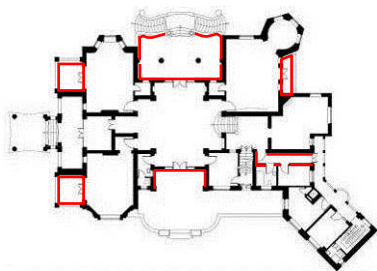
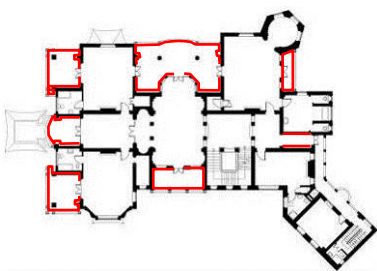

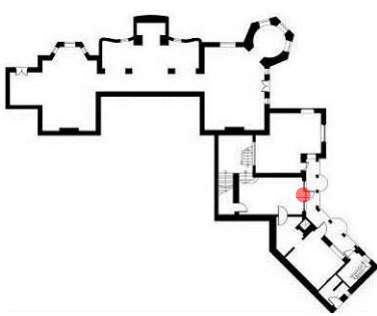

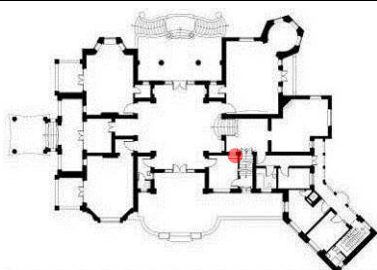
No.	CDE of Haw Par Mansion		Photo	Location plan
				 I/F
I-12	Dado finished with wall tiles and rails	High		 LG/F  RT/F
I-13	Dado finished with marble	High		 G/F
I-14	Glazed coloured ceramic wall and floor tiles with pattern at the toilet	Moderate		 G/F




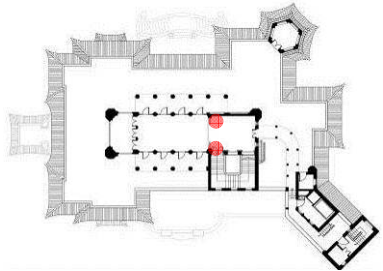

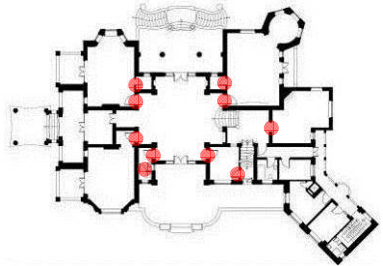
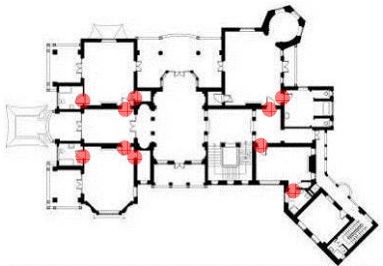

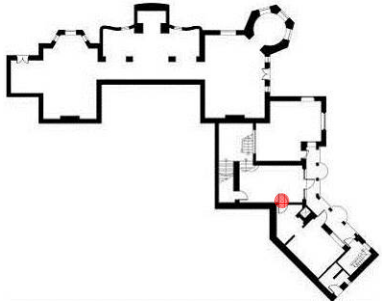
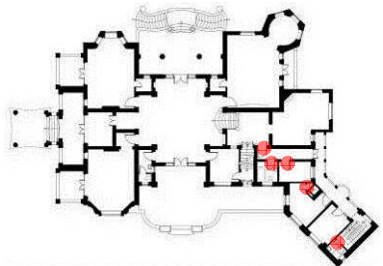
No.	CDE of Haw Par Mansion		Photo	Location plan
				 I/F
I-15	Timber parquet flooring	High		 G/F  I/F  RT/F
I-16	Marble flooring	High		 G/F

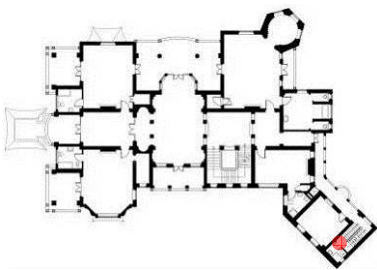
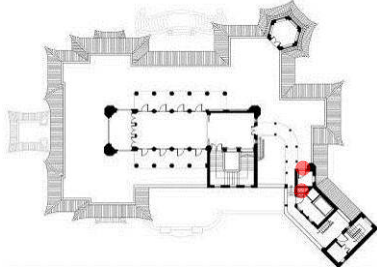

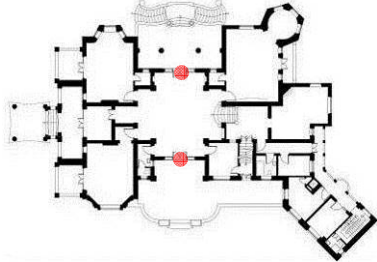

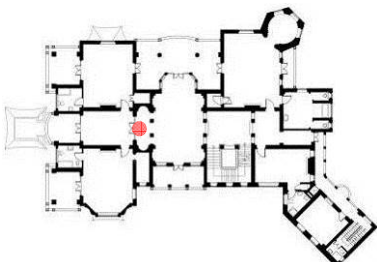

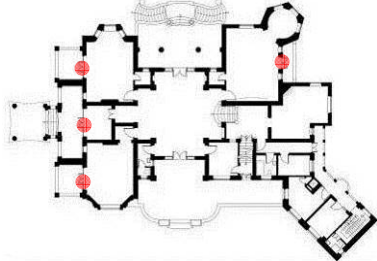
No.	CDE of Haw Par Mansion		Photo	Location plan
				 RT/F
I-17	Terrazzo flooring	Moderate		 G/F  I/F
I-18	Ceramic tile flooring	Moderate		 LG/F  RT/F


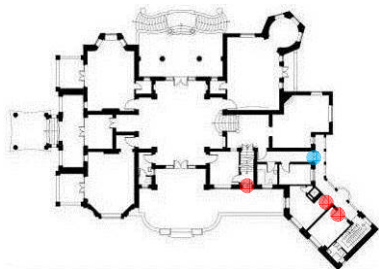
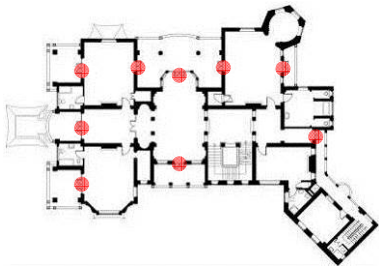
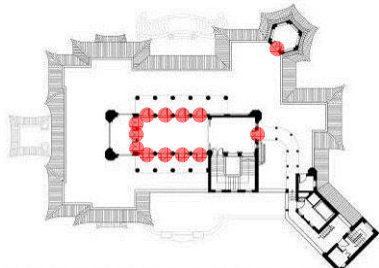

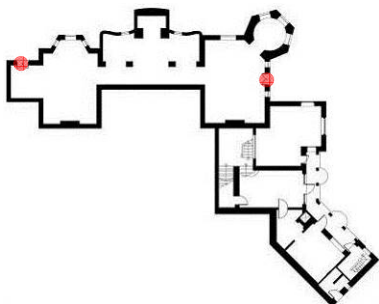
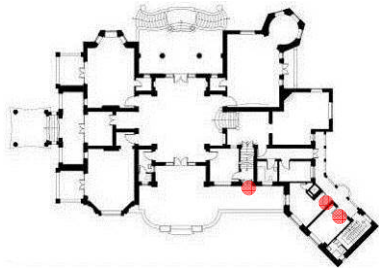
No.	CDE of Haw Par Mansion		Photo	Location plan
I-19	Patterned ceramic tile flooring	High		 I/F
I-20	Ceramic hexagonal tile flooring	High		 RT/F
I-21	Encaustic ceramic tile flooring	High		 LG/F
I-22	Moulded skirting	High		 G/F I/F

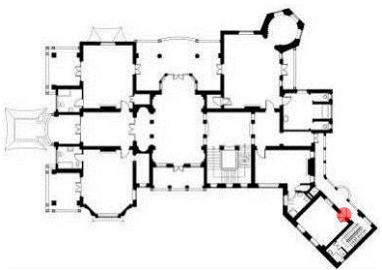

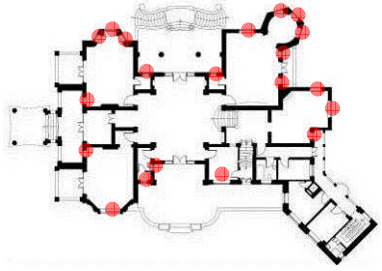
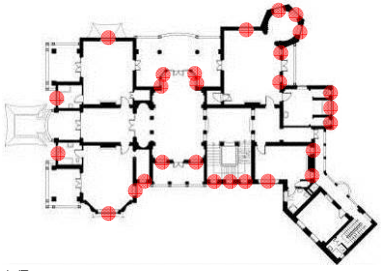
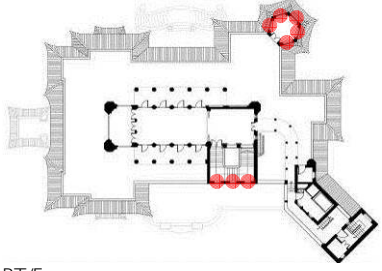

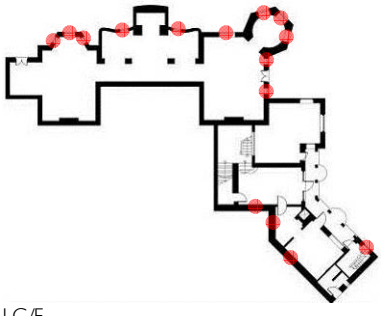
No.	CDE of Haw Par Mansion		Photo	Location plan
				 RT/F
I-23	Terrazzo skirting	High		 G/F  I/F
I-24	Metal gate at kitchen	Moderate		 LG/F
I-25	Decorative metal grille	High		 G/F




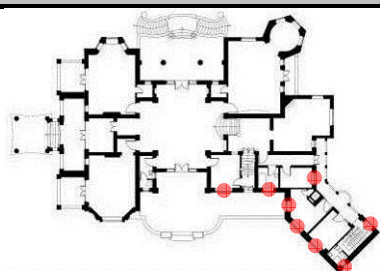
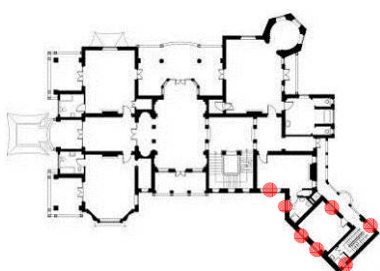
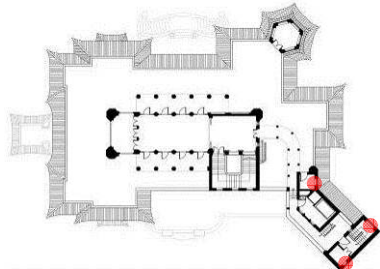


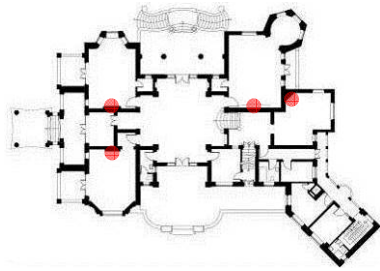
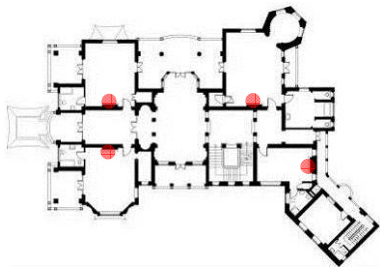
No.	CDE of Haw Par Mansion		Photo	Location plan
I-26	Decorative metal balustrades	High		 RT/F
I-27	Timber paneled door at main block	High		 G/F  I/F
I-28	Timber paneled door without decoration	Moderate		 LG/F  G/F


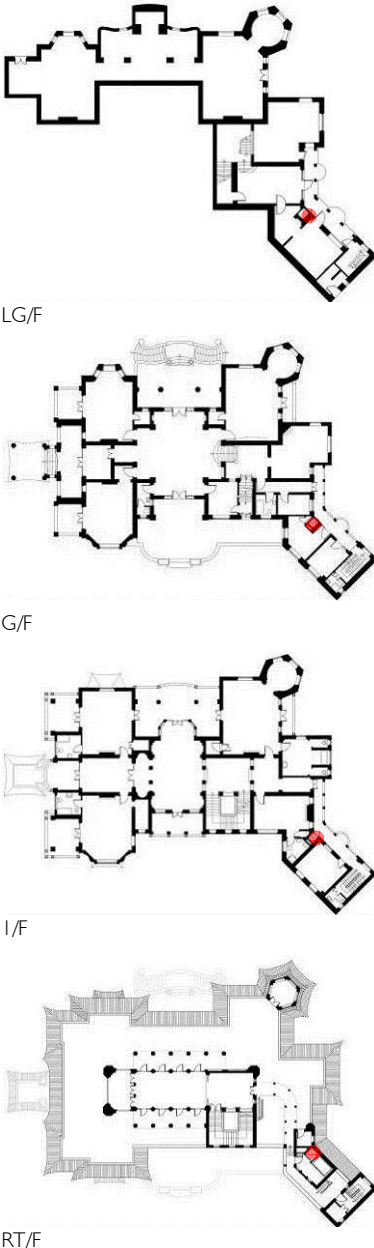

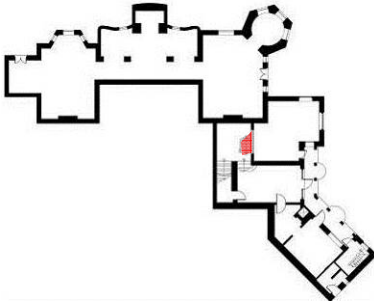
No.	CDE of Haw Par Mansion		Photo	Location plan
				 I/F  RT/F
I-29	Stained glass doors in Chinese moon-gate style	High		 G/F
I-30	Featured timber doors in Chinese moon-gate style	High		 I/F
I-31	<p>Metal framed doors with painted motifs</p> <ul style="list-style-type: none"> <li>- originally fitted with stained glass panes which are now temporarily stored</li> <li>- antique ironmongeries</li> <li>- *original metal framed door at dining room with stained glass is temporarily</li> </ul>	High		 G/F


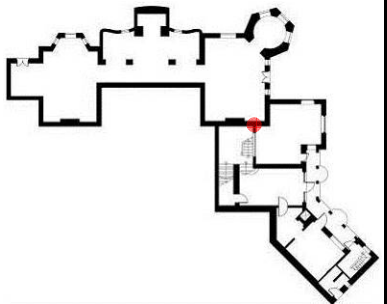

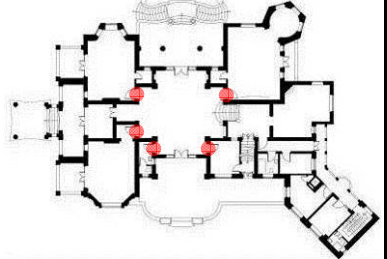


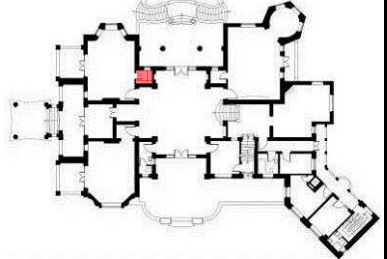
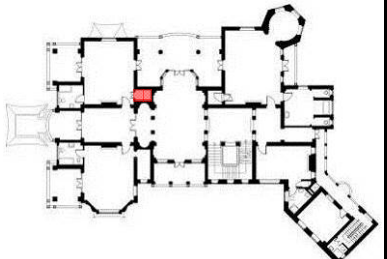

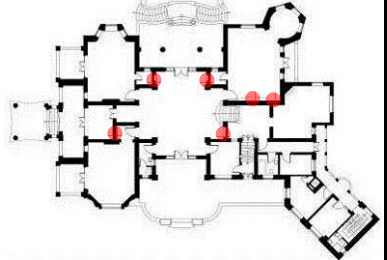
No.	CDE of Haw Par Mansion		Photo	Location plan
	stored			
I-32	<b>Metal framed doors</b> - with stained glass panes and antique ironmongeries	High		<p>● Metal framed fanlight only</p>  <p>G/F</p>  <p>I/F</p>  <p>RT/F</p>
	<b>Metal framed doors at servants' quarters and storeroom</b>	Moderate		 <p>LG/F</p>  <p>G/F</p>


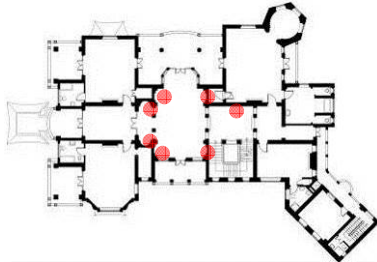

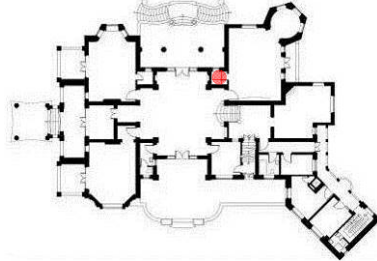

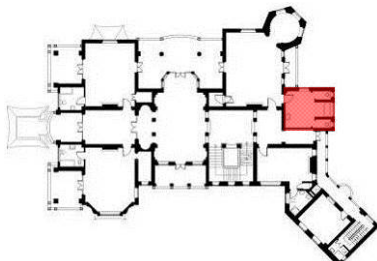

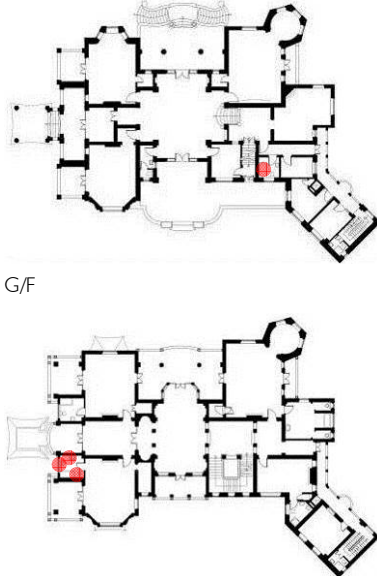
No.	CDE of Haw Par Mansion		Photo	Location plan
				 I/F
I-33	<b>Metal framed windows at Main Block</b> <ul style="list-style-type: none"> <li>- with stained glass panes, antique ironmongeries</li> <li>- some with antique metal window grilles and curtain rails</li> </ul>	High		 G/F   I/F   RT/F
	<b>Metal framed windows at servants' quarters and storeroom</b> <ul style="list-style-type: none"> <li>- including those with metal grilles</li> </ul>	Moderate		 LG/F




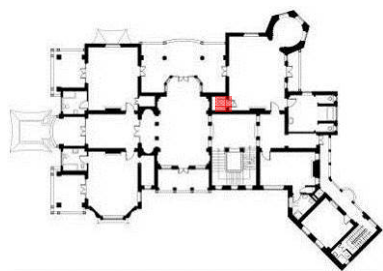

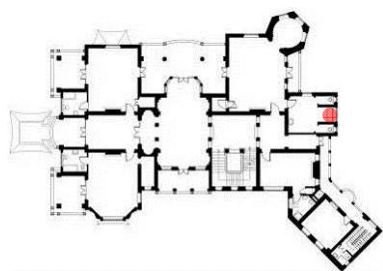


No.	CDE of Haw Par Mansion		Photo	Location plan
				 G/F  I/F  RT/F
I-34	Fireplaces with/without mirrors	High	 	 G/F  I/F


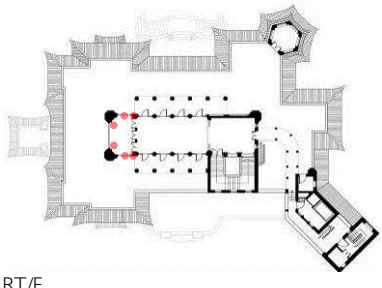
No.	CDE of Haw Par Mansion		Photo	Location plan
I-35	Dumb waiter	Moderate		 <p>LG/F</p> <p>G/F</p> <p>I/F</p> <p>RT/F</p>
I-36	Stairs for dish delivery	High		 <p>LG/F</p>

No.	CDE of Haw Par Mansion		Photo	Location plan
I-37	Dish delivery passage	High		 LG/F
I-38	Timber decorative panels	High		 G/F
I-39	Built-in cabinets	High	 	 G/F   I/F
I-40	Built-in display cabinets	High		 G/F

No.	CDE of Haw Par Mansion		Photo	Location plan
				 I/F
I-41	Triangular table with a mirror	High		 G/F
I-42	Bathroom Including the original setting, interior decoration, sanitary wares and fittings	High		 I/F
I-43	Sanitary wares and fittings	Moderate		 G/F I/F



No.	CDE of Haw Par Mansion		Photo	Location plan
I-44	Security Room with built-in safe	High		 I/F
I-45	Antique light fittings (including those temporarily removed for protection)	High		 I/F (* some antique light fittings are temporarily stored and cannot be marked on location plan)
I-46	Old items left by the former owners – with signs of “Haw Par”, “Aw’s family”, tiger or leopard emblems or images (temporarily stored)	High		N.A.
I-47	Old items left by the former owners (temporarily stored)	Low		N.A.

No.	CDE of Haw Par Mansion		Photo	Location plan
I-48	Ceramic grilles	High		 RT/F

# 3

## REVITALIZATION PROPOSAL

### 3.1 Project objectives

Haw Par Music Foundation Ltd. planned to adaptive re-use Haw Par Mansion as Haw Par Music Farm with the objectives as follows:

- To retain the authenticity, heritage and legacy of the buildings and its stories for the public and visitors to appreciate, share and enjoy.
- To bring music back to the Mansion and opens the Mansion's elegant interiors to the public for educational and cultural events.
- To enhance communication and personal development for each student through musical study.

### 3.2 Proposed use

- To provide a cultural environment for the training of Western and Chinese music.
- To provide interpretation area and offer guided tours for the appreciation of the public.

### 3.3 User's requirement

- Strive to preserve the architectural features and character defining elements of Haw Par Mansion, which helps to reflect the building characteristics of Hong Kong during the Colonial period and substantially convey that part of the history to new generations.
- Display some of the movable old items and built-in furniture and some of the original figurines salvaged from the former Tiger Balm Garden within the Site for enhancing interpretation.
- Convert the Mansion into classrooms and practice rooms. The general setting of the Mansion is kept with minor alteration to the interior at areas with lower heritage significance.
- Apply minimal or reversible treatments to the interiors of classrooms/ practice rooms to achieve satisfactory acoustic performance.
- Provide an interpretation area on the Ground Floor of the Mansion for the interpretation of the heritage significance and value of Haw Par Mansion, including the architecture and history of Haw Par Mansion as well as the religious beliefs propagated by Haw Par Mansion and the former Tiger Balm Garden. The area should be open for free public access during office hours, while free guided tours are to be provided every week.
- Provide a lift for the access of the visitors from Tai Hang Road to the Private Garden level.
- Construct new structures to accommodate the lift, plant and equipment, and other essential building services facilities to support the operation of the Site to the current statutory requirements.
- Provide car parking and loading/unloading at the Ancillary Site.

## 3.4 Statutory requirement

### 3.4.1 Planning and Land Requirement

The Mansion area falls within the pecked line in the “Other Specified Uses” annotated “Residential Development with Historical Site Preserved In-situ” zone (“OU(RDHSPI)”) and the Ancillary Site is partly zoned as “Road”, partly zoned as “OU(RDHSPI)” and partly zoned as “Green Belt” (“GB”) in the Draft Causeway Bay Outline Zoning Plan (OZP) No. S/H6/15 and the Approved North Point OZP No. S/H8/24. The proposed “Haw Par Music Farm” is regarded as “school” under column 2 – Uses that may be permitted with or without conditions on application to the Town Planning Board. Section 16 planning application is required.

### 3.4.2 Compliance with the Buildings Ordinance

#### 3.4.2.1 Means of Escape

- Existing Means of Escape (MOE) provisions of the Mansion do not fully comply with the current statutory requirements, including substandard width of exit doors and exit routes, the design of some existing staircases deviating from the current MOE requirements for serving as escape routes.
- Some of the existing inward-swinging doors to be preserved do not comply with the MOE requirements.
- There is no thoroughfare to serve the interpretation area, if used as temporary place of public entertainment (TPPE) due to inherent site constraints.
- Fire safety enhancement and management measures shall be proposed and evaluated in fire engineering study to compensate for the fire safety constraints.

#### 3.4.2.2 Means of Access for Fire Fighting & Rescue

- Currently there is no Emergency Vehicular Access (EVA) provided for the Mansion due to the inherent site constraints.
- Due to inherent building constraints no Fireman's lift is provided for the Mansion.
- Necessary means of access shall be provided. Fire safety enhancement and management approach should be proposed in the fire engineering study as a remedy in view of the site constraint and from the conservation point of view.

#### 3.4.2.3 Fire Resisting Construction

- Required staircases of the Mansion are close to the common site boundary and cannot be fully separated from the remainder of the Mansion for the reason of inherent site constraints and historic preservation.
- Subject to detailed study, fire-rated glass shall be needed to some existing windows close to the common site boundary and the new escape staircases.
- Alternative fire solution with enhanced fire safety measures shall be proposed and analysed in fire engineering study to compensate the fire safety constraints.

#### 3.4.2.4 Barrier free access

- There is currently no barrier free access connecting different floors within the Mansion. An accessible lift shall be provided to comply with the current building regulation.
- There is no barrier free access from the Private Garden to the Mansion. Addition of ramps shall be required.



- There is no barrier free access from Tai Hang Road level to the Private Garden, and between different levels within the Private Garden. An accessible lift shall be added connecting the Ancillary Site level and the Private Garden level, and ramps shall be provided for connecting the two tiers of the Private Garden.
- Some of the existing doors to be preserved are less than the current BFA requirements. Management approach shall be investigated from conservation point of view.

#### **3.4.2.5 Sanitary fitment provisions**

- The present sanitary fitments provision is inadequate for the new use. New toilets, including accessible toilets, shall be provided to comply with the statutory requirements.

#### **3.4.2.6 Protective Barriers**

- The existing balustrades in the Mansion and the Private Garden are less than 1100mm high, which do not comply with the current statutory requirements. While it is not preferred to add railing on top of the existing balustrades from the conservation point of view, other measures such as the addition of pot plants against the balustrades shall be explored.

### **3.4.3 Compliance with the Fire Services Requirements**

#### **3.4.3.1 Fire Services Installation**

- There is currently no wet Fire Protection System (i.e. F.H./HR and Sprinkler System).
- There is no manual fire alarm (MFA), visual fire alarm and automatic fire alarm (AFA) found in the Mansion.
- No exist sign have been installed in the Mansion.
- Self-contained type emergency light units are installed through the Mansion.
- An existing 150mm diameter potable water supply pipe is laid along Tai Hang Road.
- Additional fire service installation for the new use, including sprinkler system, hose reel system, fire alarm system, emergency back-up power supply, etc, shall be installed to meet current requirement, subject to approval and consideration of exemption or modification by the authority.

## 3.5 Condition of fabric

### 3.5.1 Description

#### The Mansion

The existing structural floor system adopted the conventional reinforced concrete beam and slab supported on reinforced concrete column and/or brick wall. The foundation system is believed to be pad footing. The existing record indicates that the building was constructed in 1936 and the structural work was likely to be designed in accordance with LCC by-law 1915.

In accordance with LCC by-law 1915, the design imposed load for domestic use was 70lb/sq.ft, which is equivalent to 3.35kPa. However, the actual slab loading capacity is subject to the condition of the building and the result of detail structural investigation.

#### Private Garden

The garden is elevated by 2 masonry retaining walls namely Feature No. I I SE-A/R15 and I I SE-A/R17. The maximum retained height is approximately 10m. In addition, 2 reinforced concrete pavilions are also found at the north and west end corners of the garden area.

#### Garden Structures

Major external structures include the Pavilion over the Main Entrance Gate, and the north Corner Tower with a hexagonal Chinese pavilion-styled top portion and a small concrete arched walkway over the Main Garden Gate.

The Pavilion is built of reinforced concrete beam and slab construction supported on circular column. It seats on a stone masonry arch above the Main Entrance Gate. The lower portion of the Corner Tower is made of stone masonry blocks. The spiral staircase and the roof of the hexagonal Chinese pavilion-styled top portion are of reinforced concrete construction.

### 3.5.2 Structural Appraisal

The proposed revitalisation work is to convert the existing residential house into a music school. In accordance with recommendation of "Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012", any change in use of the building, all structural elements should be checked in accordance with the current code. In this connection, all imposed load used is required to comply with the new "Code of Practice for Dead and Imposed Loads 2011", and the proposed change of floor layout would alter the requirement on the imposed floor loading, detail structural checking on the existing structure including the foundation is required subject to the result of detailed site investigation work.

In accordance with the Code of Practice for Dead and Imposed Load, 2011, the live load for classroom is 3kPa. Other common areas (such as lounge, lobby, terrace etc.) may be considered as assembly area by BD and the design live load may range from 3kPa (if not considered as assembly area) to 5kPa subject to BD's requirement.

It is believed that the existing building was designed in accordance with LCC by-law 1915, where the design live load was 3.35kPa for domestic use. However, the existing building is a pre-war building and the existing condition may affect the structural integrity of the building. In this relation, the actual allowable loading capacity of the existing floor slab is subject to the result of detail structural investigation work. Structural investigation was carried out to justify the existing building was designed in accordance with LCC 1915.

The investigation result indicated that the existing building generally comprises with the design requirement of a domestic building. However, the appraisal result indicated the live load capacity for 4 beams

at roof are not in compliance with the design requirement stated in LCC 1915. This may due to the deterioration effect or testing limitation. The beam locations are shown in Fig. 44 below.

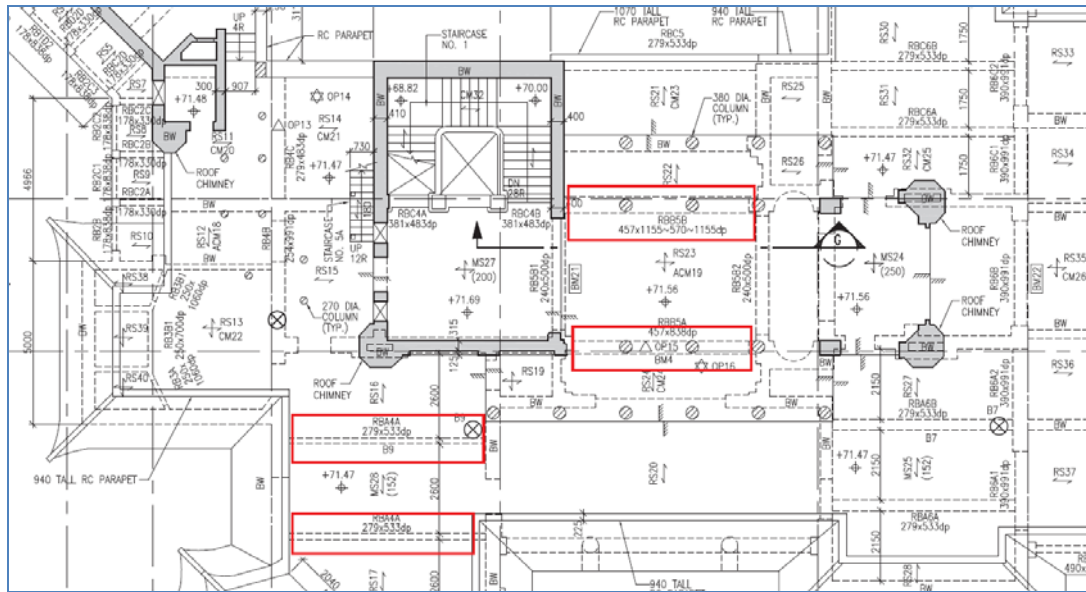


Fig. 44. Location plan of the beams to be recast due to structural strengthening purpose.

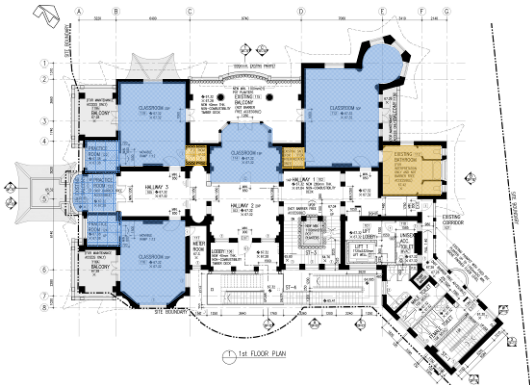
### 3.5.3 Recommendations

The structural appraisal result indicated that 4 beams are not in accordance with LCC 1915. In this relation, it is recommended to upgrade the structural provision of the beams by recasting. The overall dimension of the re-cast beam is the same as the existing beams size with additional reinforcement / structural steel beam as strengthening provision inside the concrete beam.

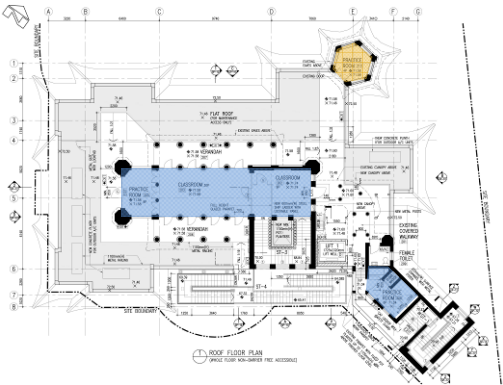
3.6 Proposed layout and setting



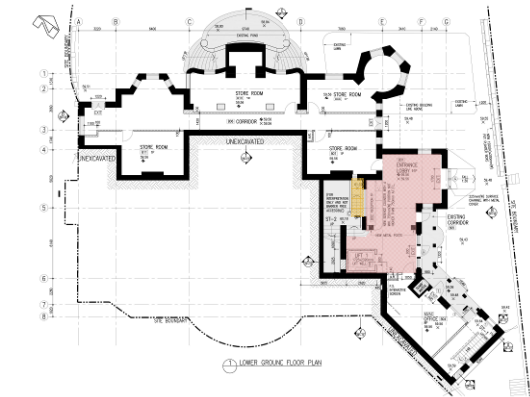
Site plan



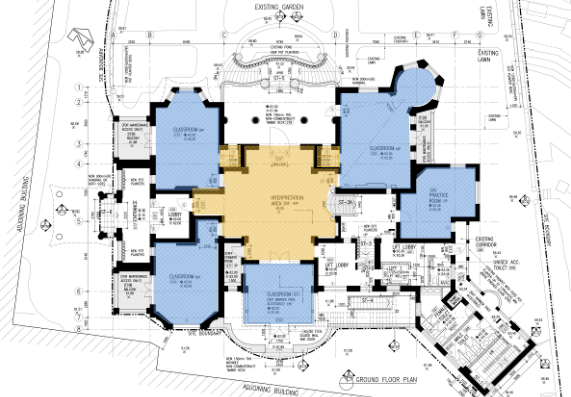
First Floor Plan



Roof Terrace Plan



Lower Ground Floor Plan



Ground Floor Plan



	Proposed use		
Lower Ground Floor	Reception		offices, store rooms
Ground Floor	Classrooms	Interpretation Area	toilets
First Floor	Classrooms, practice rooms	Interpretation Area	toilets
Roof Terrace	Classroom, practice room	Interpretation Area	toilet
Private Garden	Private Garden with guided tour and open to public during office hours		Interpretation Area
Ancillary site	Landscaped deck with guided tour		Loading/ unloading, building services

Function	Description
Reception	<ul style="list-style-type: none"> <li>Serves as front desk of visitors at the main arrival</li> <li>Organizes and provides information to guided tours at Haw Par Mansion</li> <li>Displays interpretative panels and video for the interpretation of the history of the heritage site as well as the conservation process for the revitalization</li> </ul>
Interpretation Area	<ul style="list-style-type: none"> <li>Displays the original setting as well as interpretive panels for the interpretation of the heritage significance and value of Haw Par Mansion, including the architecture and history of Haw Par Mansion as well as the religious beliefs propagated by Haw Par Mansion and the former Tiger Balm Garden</li> <li>Offers guided tours</li> <li>Offer musical performance occasionally</li> </ul>
Classrooms and practice rooms	<ul style="list-style-type: none"> <li>Offer music classes and trainings</li> <li>Serves as rooms for instrument practice</li> </ul>
Private Garden	<ul style="list-style-type: none"> <li>Offers guided tours and open to public during office hours</li> </ul>
Landscaped deck	<ul style="list-style-type: none"> <li>Offers guided tours and open to public during office hours</li> </ul>



Fig. 45. Proposed Landscape Plan (not to scale)



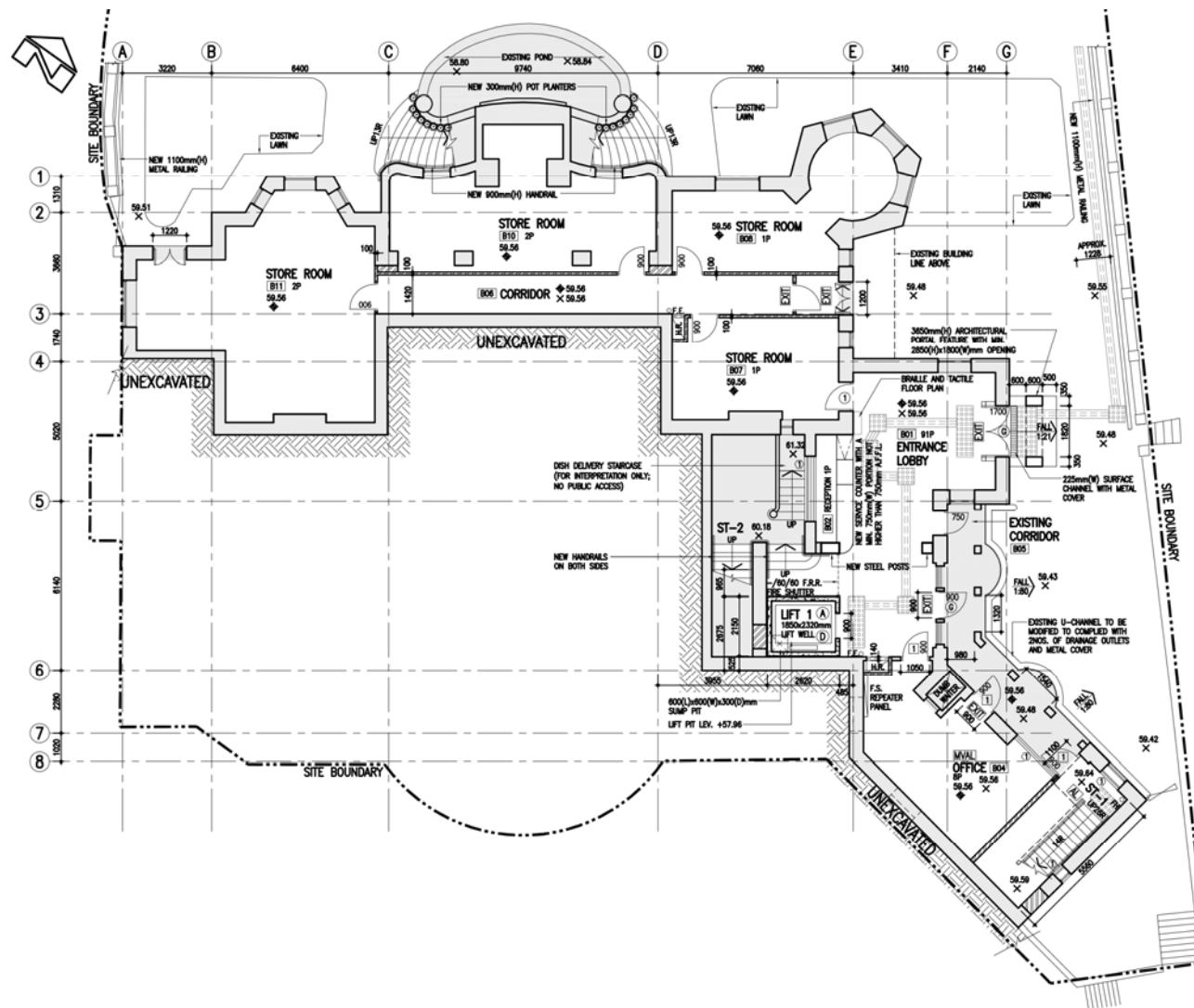


Fig. 47. Proposed Lower Ground Floor Plan of the Mansion (not to scale)



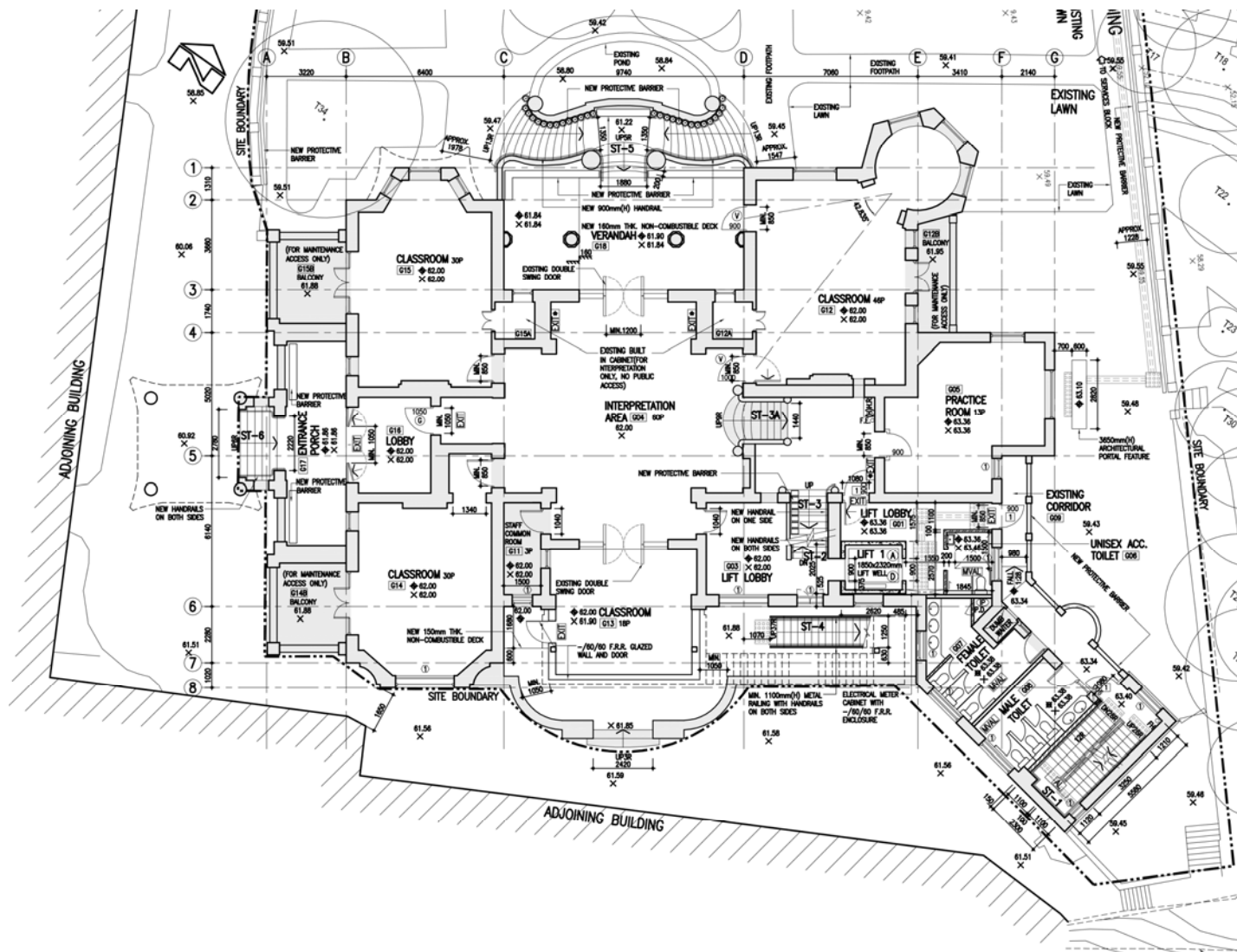


Fig. 48. Proposed Ground Floor Plan of the Mansion (not to scale)

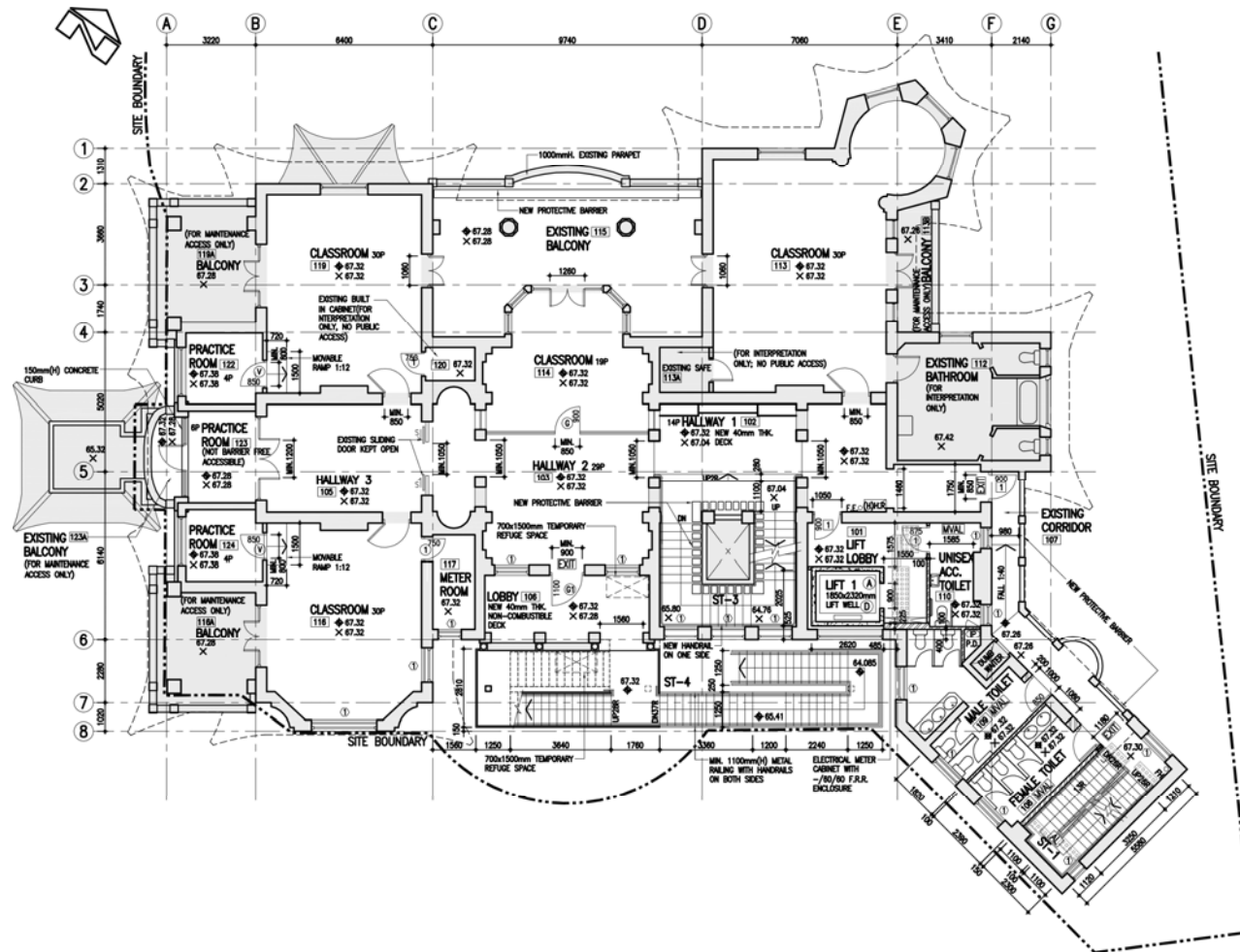


Fig. 49. Proposed First Floor Plan of the Mansion (not to scale)



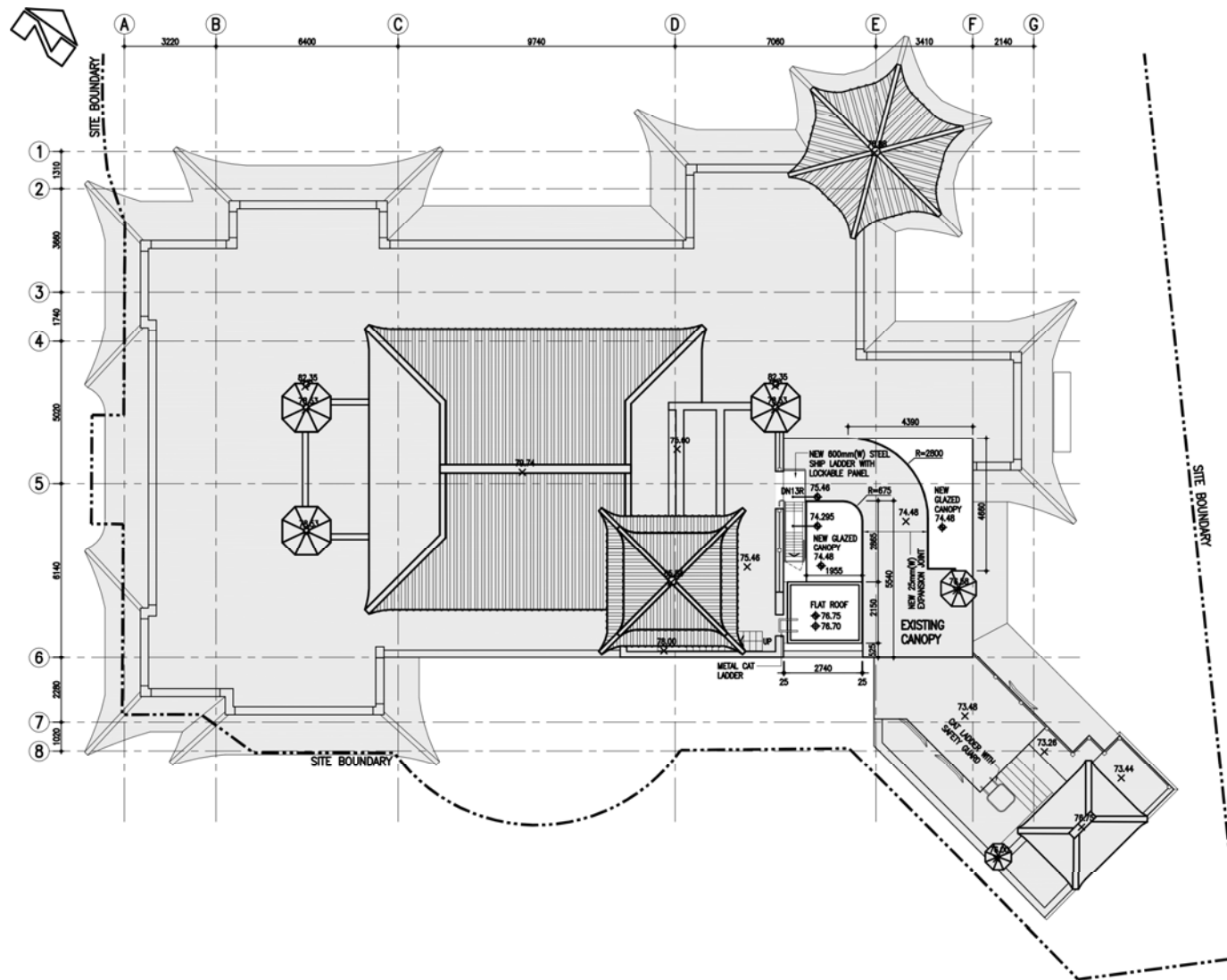


Fig. 51. Proposed Upper Roof Plan of the Mansion (not to scale)





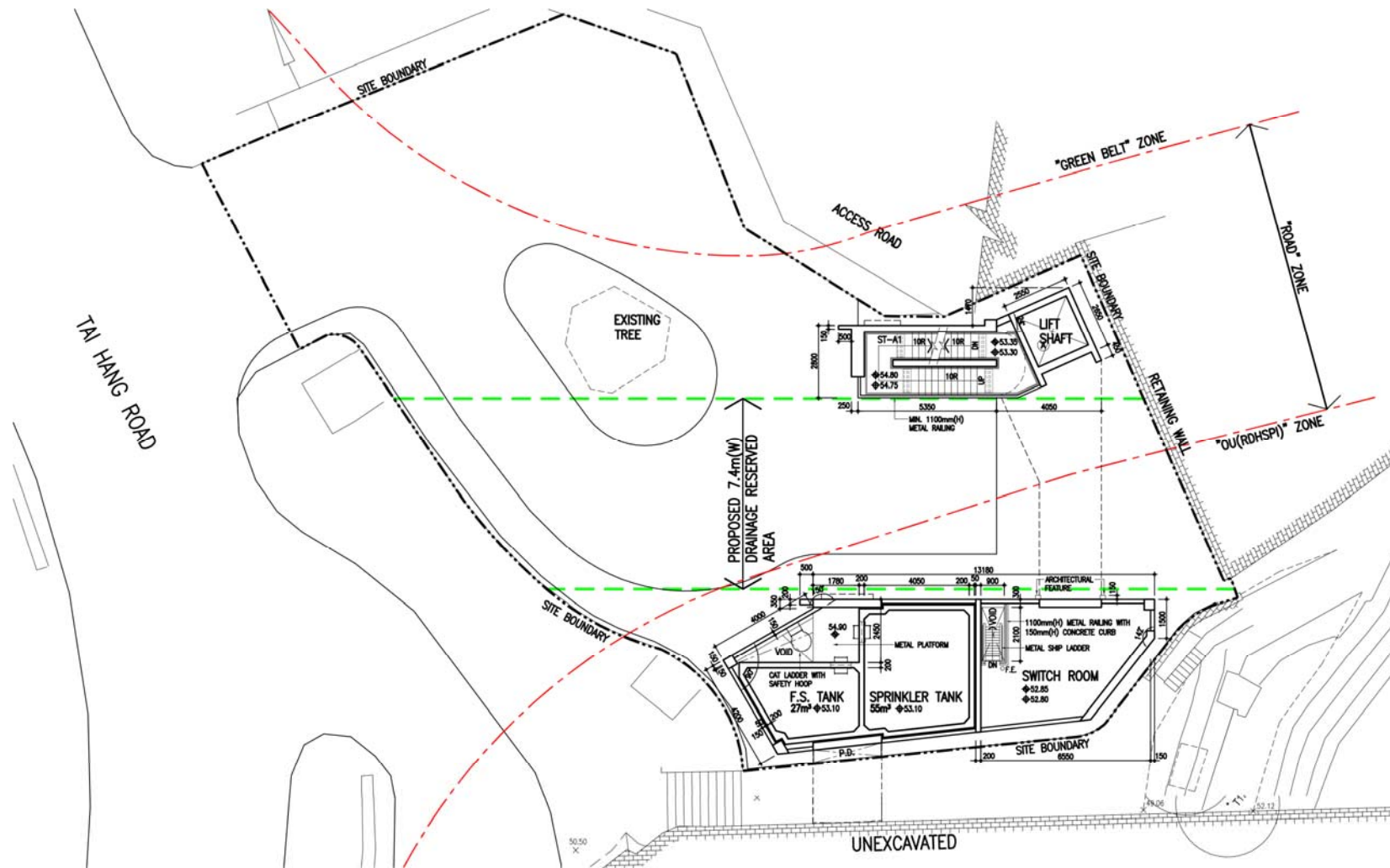
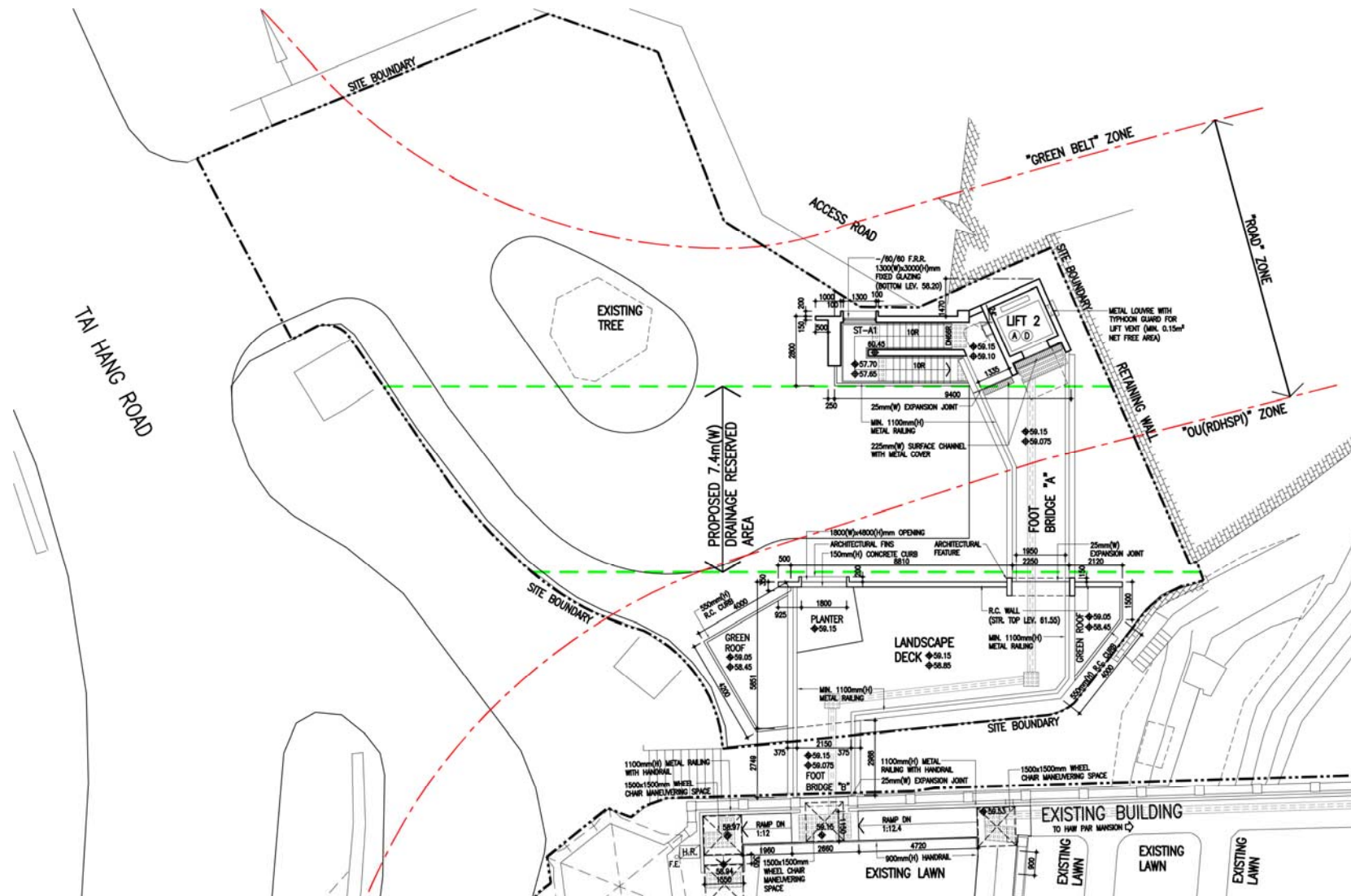


Fig. 53. Proposed First Floor Plan of the Ancillary Site (not to scale)



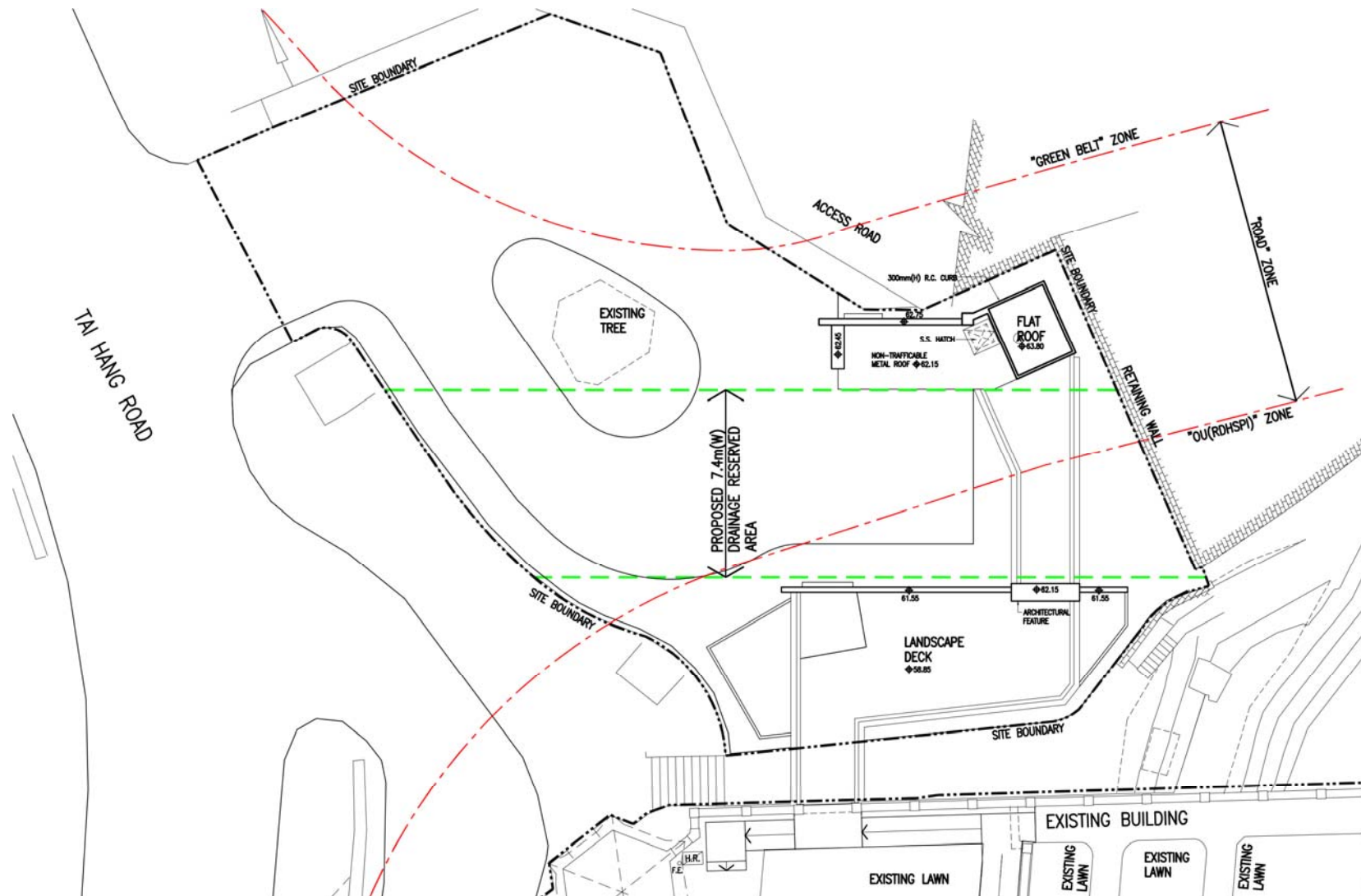


Fig. 55. Proposed Upper Roof Plan of the Ancillary Site (not to scale)





Fig. 56. Artistic impression of the Ancillary Site (for illustration purpose only, subject to the detailed design)





Fig. 57. Artistic impression of the landscape deck on the roof of the ancillary block (for illustration purpose only, subject to the detailed design)





Fig. 58. Artistic impression of the Mansion viewing from the Private Garden (for illustration purpose only, subject to the detailed design)



Fig. 59. Artistic impression of the Mansion viewing from the southeast (for illustration purpose only, subject to the detailed design)





Fig. 61. Artistic impression of ceiling at the former dining room on the ground floor inside the Mansion (for illustration purpose only, subject to the detailed design)



Fig. 62. Artistic impression of the hallway on the first floor inside the Mansion (for illustration purpose only, subject to the detailed design)

# 4

## ASSESSMENT

### 4.1 Conservation Principles

The conservation process of making a possible compatible use for Haw Par Mansion adopted the following guiding conservation principles in developing the appropriate treatments and level of intervention for character defining elements and other historic building fabrics with reference to international charters and other relevant conservation standards:

- Venice Charter (1964) – ICOMOS International Charter for the Conservation and Restoration of Monuments and Sites, UNESCO
- Burra Charter (1999) – The Australia ICOMOS Charter for Places of Cultural Significances
- China Principles (2002) – Principles for the Conservation of Heritage Sites in China

#### **Conserve heritage value**

- Restore any deformed, collapsed, or misplaced components, and later additions considered of no significance or intrusive should be removed.

#### **Retain authenticity and integrity**

- Respect the original character or architectural style of the building fabric and retain its traditional building materials or construction system as much as possible.
- Recognize each historic place as a physical record of its time, place and use.
- Do not create a false sense of historical development by adding elements from other historic places or by combining features of the same property that never co-existed.

#### **Minimum intervention**

- Keep any treatment or intervention to building fabric to the minimum and respect the heritage value when undertaking an intervention.
- Use the gentlest means possible for any intervention.
- Make any intervention physically and visually compatible and identifiable upon close inspection, and document any intervention for future reference.

#### **Repair rather than replace**

- Repair rather than replace the character-defining elements.

- Only when such elements are too severely deteriorated to repair, and with sufficient physical evidence, replace them with new elements that match the forms, materials and detailing of the same elements.
- Where there is no sufficient evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

#### **Reversibility**

- Make any intervention or adaptation to the building fabric reversible, without causing any damage to the existing structure when such intervention is to be removed in future.
- Any new additions should be reversible and should not affect the essential form and integrity of the historic place, or that the building fabric should not be impaired if the new work is to be removed in the future.

#### **Integrating old and new**

- When adding new construction to heritage buildings, the proposed new works and developments should be sympathetic to the heritage place in terms of its compatible proportion, form, design and materials. Make the new works physically and visually compatible with and distinguishable from the original fabric of the historic place.



## 4.2 Conservation Policies and Guidelines

### 4.2.1 New use of Haw Par Mansion

#### Policy 01

The new use of Haw Par Mansion should be compatible to its original use.

#### Conservation guidelines

The proposed use should not extensively alter the historic structure and layout in order to suit the new use.

#### Policy 02

The proposed use should be accommodated as far as possible within the existing layout of Haw Par mansion and should avoid any unnecessary interventions. Greater flexibility should be allowed at Servants' quarters and storeroom area

#### Policy 03

The allowable structural loading of the existing building should be taken into account when choosing the new use.

#### Conservation guidelines

Haw Par Mansion was built in 1936 and the design of which pre-dated the London County Council (LCC) – 1915. In LCC 1915, 70 lb/sq ft (=3.35 kPa) is specified for floor loading of entrance domestic use floor. The new use should be compatible with the original use in terms of loading requirement so as to keep necessary structural alteration to a minimum.

### 4.2.2 Preservation of Built Fabric

#### Policy 04

All conservation works should be carried out with the principle of repair rather than replacement. Where replacement is necessary, it should be carried out on a like-for-like basis as far as practicable in terms of design and material.

#### Conservation guidelines

The repair works to be carried out should match the original material, colour and texture. In case the architectural element is beyond repair where replacement is necessary, the replacement should follow the original construction method, material, colour and texture as much as possible.

#### Policy 05

The exterior of Haw Par Mansion should be preserved as much as possible.

#### Conservation guidelines

Every effort shall be made to preserve the external façades of Haw Par Mansion. The original external façades of Haw Par Mansion shall generally be left unaltered and must not be disturbed. External redecoration should be restricted to colour that are compatible with the age and character of the building/ structure, with a paint system that is reversible. Refer to session 2.6 List of Character-defining elements for architectural features on the external façades.

#### **Policy 06**

The structure, original finishes and fittings of the Mansion as listed under 2.6 List of Character-defining elements shall be preserved in-situ as far as practicable.

### **4.2.3 Addition and alteration**

#### **Policy 07**

A full photographic and cartographic survey should be carried out prior to any works to Haw Par Mansion.

##### Conservation guidelines

The photographic and cartographic survey should be carried by experienced surveyors/ conservationists by making reference with the requirements from AMO. A set of record shall be kept by the operator, CHO and AMO.

#### **Policy 08**

Any addition and alteration works necessarily to be carried out on the exterior shall be carried out at the southeast façade, elevations of the servants' quarters or other less visually prominent location.

##### Conservation guidelines

The northwest façade facing to the private garden is considered as the principle building façade with the highest significance, where addition and alteration is not allowed. Addition and alteration works are allowed at less visually prominent locations, which should be carried out in a manner that the original design of the building façade is still generally readable.

#### **Policy 09**

Any addition and alteration works necessarily to be carried out at the interior of the Main Block should be kept to a minimum. Major alterations and additions should be confined to the areas of lesser significance.

##### Conservation guidelines

In order to suit the new use, addition and alteration works as well as upgrading works for meeting current statutory requirements will be necessary. Those works to the interior of the Main Block shall be kept to a minimum as far as practicable, subject to the approval of AMO. The interior of the servants' quarters and storeroom is of a lower heritage significance where greater flexibility is allowed for addition and alteration works.

### **4.2.4 Setting and Landscape**

#### **Policy 10**

The setting of Haw Par Mansion with its Private Garden at the front built on an elevated platform should be respected and preserved.

##### Conservation guidelines

Any new works at the site should not obstruct the appreciation of the original setting of Haw Par Mansion and its Private Garden. Any new structure shall be limited to the ancillary site and should not be higher than the level of the Mansion.

#### **Policy 11**

The original setting, layout and the landscape of the Private Garden should be respected and preserved.

#### Conservation guidelines

The original two-tier setting and the 'formal' garden layout of the Private Garden has been kept intact and generally unaltered since Haw Par Mansion was built. Any new works to the Private Garden should not alter the original setting and layout of the Private Garden.

#### **Policy 12**

Any new structure to be built should be compatible but distinguishable from Haw Par Mansion.

#### Conservation guidelines

The design of the new structure should not confuse the visitors from appreciating the heritage site. Direct imitation of the architectural language derived from Haw Par Mansion is not appropriate for any new design.

### **4.2.5 Interpretation**

#### **Policy 13**

Interpretation should be provided for the education and promotion of the cultural significance of Haw Par Mansion to the public.

#### Conservation guidelines

Interpretation should be provided on different topics (but not limited to), namely the history, architectural style and design of Haw Par Mansion, the Aws family, the religious beliefs propagated by Haw Par Mansion and the former Tiger Balm Garden, and the conservation of Haw Par Mansion.

Interpretation could be through the display of interpretative panels, original setting or old items left by the former owners of Haw Par Mansion and guided tours for the general public.

The interpretation shall include display of old items left by the former owners salvaged from the Mansion or figurines salvaged from the former Tiger Balm Garden. The old items left by the former owners which are in strong connections with the Mansion (e.g. with signs of "Haw Par", "Aw's family", tiger or leopard emblems or images) shall be displayed as far as practicable or keep within the site, subject to the conditions of the old items. Interpretation areas shall be provided within the site where display of the original setting or old items of Haw Par Mansion shall be provided. Refer to Chapter 5 Interpretation for further details.

### **4.2.6 Management & Maintenance**

#### **Policy 14**

A maintenance plan should be drawn up to ensure that the heritage site is well kept in a good condition.

#### Conservation guidelines

The maintenance plan should provide details on maintenance tasks to be undertaken, together with an indication of those responsible, maintenance schedule and tracking methods. The plan should also provide guidance on appropriate techniques and materials to be used in the maintenance of specific features of the heritage site. The plan should be made ready before the operation of the new use and should be reviewed by building management professionals, conservationists and professionals as necessary in order to ensure the execution of a proper maintenances programme.

### Policy 15

A management plan should be prepared for the heritage site to ensure that the responsibilities to look after the heritage building are well understood by the building management team.



## 4.3 Conservation treatment

### 4.3.1 Masonry works

#### 4.3.1.1 Brick and granite wall

- General cleansing to brick and granite surface to remove any paint, dirt, stain, moss or mould etc. on the surface. Corrosive cleansing agent should not be used
- Repair the brick wall and granite wall where necessary
- The colour and texture of the repaired brick and granite shall match with the existing
- Re-point joints after repair works to match with the existing in terms of pointing style and colour where necessary
- Apply mould and fungal remover
- The masonry walls should be kept fair-faced.

#### 4.3.1.2 Granite floor finish

- Remove foliage
- General cleansing to granite surface to remove any paint, dirt, stain, moss or mould etc. on the surface. Corrosive cleansing agent should not be used
- Repair the granite floor finish where necessary to match with existing in terms of colour and texture

### 4.3.2 Roof

#### 4.3.2.1 Flat roof

- Remove foliage
- Remove existing temporary waterproofing membrane
- Remove existing quarry tiled paving. Repair any water leakage and carry out waterproofing work on the concrete roof slabs
- Existing original quarry tiled paving to the roof and the terrazzo finished surface drain and skirting to be cleaned, preserved and remained visible

#### 4.3.2.2 Roof with Chinese glazed ceramic roof tiles and decorations

- Remove foliage
- Replace loosened or missing tiles with new tiles to match with existing in terms of material, colour, size, profile, and decoration if any as far as possible

### 4.3.3 Timber works

This include hardwood staircase, skirting, picture rail, timber parquet flooring, timber paneled door, featured timber doors in Chinese moon-gate style, backing of mirrors above fireplaces, dish delivery passage, timber decorative panels, built-in cabinets, built-in display cabinets, Security Room with built-in safe, dish delivery passage, moulded skirting.

#### **4.3.3.1 General**

- Make good, repair all defective timber elements and replace any timber elements which is beyond repair to match existing
- Remove existing paint and apply wood preservatives and new paint works to all repaired timber elements, with the new paint colour to match with existing (except the timber decorative panels above timber paneled doors on the ground floor, and balustrades of hardwood staircase)
- Brush clean the timber decorative panels
- The timber balustrades of the hardwood staircase shall only be cleaned and polished. Faded colour surfaces may be treated with approved polish to match existing finish
- Built-in furniture shall be made good by a specialist furniture restorer
- A termite specialist shall be employed to check for any sign of termite attack and install a termite monitoring system to protect timber works where appropriate

#### **4.3.3.2 Timber parquet flooring**

- Damaged, deteriorated and missing timber parquet blocks shall be replaced with new which match the existing in terms of material, size, colour and appearance
- Reinstall any loosened timber parquet blocks

#### **4.3.4 Metal works**

This includes ornamented metal gates, side metal gate, balustrades with circular hollow section metal rails, cast iron downpipes, antique lanterns, metal gate at kitchen, decorative metal grille, decorative metal balustrades, stained glass doors in Chinese moon-gate style, metal framed doors, metal framed windows, carpet pins at hardwood staircases.

##### **4.3.4.1 General**

- Strip off paint, de-rust, repair and repaint existing metal works where necessary, and apply anti-corrosion primer and paint to match with existing
- Replace damaged or missing ironmongery to match with existing as far as possible
- Any new metal replica or metal component for repair works shall match the existing in terms of material, design, construction, and paint colour

##### **4.3.4.2 Metal framed windows, metal framed doors**

- Restore original metal framed windows and metal framed doors which have been temporarily removed and stored for protection to their original locations
- For those which are beyond repair, they shall be replaced by new steel door or window which shall be of hot-dipped galvanized mild steel construction to match the originals in terms of design, member profile and paint colour
- Remove existing temporary protective membranes from the glass surfaces and clean with an approved mild solvent
- Replace broken glazing to match the existing in terms of size, texture, colour and appearance
- Restore original glass panes which have been temporarily removed and stored for protection to their original locations. Repair and reinstall where necessary

- Where rusting window or door frames has caused cracking of adjoining glass panes, the panes must be carefully removed by preliminary softening of the rust with a non-corrosive oil (e.g. paraffin) to reduce breakage
- Reinstate the faded painting on the metal framed doors only if known evidence is available

### 4.3.5 Finishes

This include mosaic tiled floor, terrazzo, dado finished with wall tiles and rails, marble, glazed coloured ceramic wall and floor tiles with pattern, ceramic tile flooring, patterned ceramic tile flooring, ceramic hexagonal tile flooring, encaustic ceramic tile flooring.

#### 4.3.5.1 General

- Remove foliage if any
- General cleansing to the finishes surface to remove any paint, dirt, stain, moss or mould etc. on the surface
- Reinstate any loosened tiles
- Replace any damaged or missing tiles with new tiles to match existing in terms of material, size, colour and texture as far as possible. Reuse salvaged tiles for the replacement as far as possible if any
- Do not paint on the finishes surface

### 4.3.6 Plaster works

This include Shanghai plaster, plastered wall, historic decorative plaster work, balconies and verandahs with horizontal bands design in paint finish (Type B), corridors with horizontal bands at servants' quarters, moulded skirting.

#### 4.3.6.1 General

- Repair and repaint the plastered and painted finishes where necessary to match existing colour, unless evidence of the original colour is identified.
- Peeling gilded surfaces shall be cleaned to remove dirt and grease and re-gilded by specialist where necessary. The motifs on the newly gilded surfaces shall follow the existing in terms of pattern and colour

#### 4.3.6.2 Shanghai plaster

- Remove and repair debonded and defective finishes where necessary to match existing in terms of texture, colour and appearance

### 4.3.7 Concrete works

This include concrete beams, columns, brackets and some decorative works of the building and garden structure, lower boundary fence walls, roof slabs, spiral staircase at corner tower, steps at the east corner of Mansion, stairs for dish delivery

#### 4.3.7.1 General

- Repair cracks and spalling concrete where necessary.
- Partially re-cast of the roof slab at covered walkway at RT/F to match with existing in terms of profile and dimensions, finishes and colour

#### **4.3.8 Others**

##### **4.3.8.1 Light fittings**

- Make good, repair and reinstate original light fittings where necessary
- Restore original light fittings which have been temporarily removed and stored for protection to their original locations
- Existing fixing at the ceiling for lighting shall be checked, renewed or strengthened where necessary
- Later-added light fitting as a temporary measure shall be removed

##### **4.3.8.2 Painting**

- Paintings (e.g. under the projecting Chinese-styled eaves, some of the metal framed doors) shall be cleaned and touched-up by specialist where necessary

##### **4.3.8.3 Fireplace with/without mirrors**

- All fireplaces should be preserved in-situ and repaired by specialist where necessary
- Do not cover up the fireplaces
- Mirrors temporarily removed and stored shall be repaired and reinstated to its original location
- Timber backing boards for the mirrors shall be taken down and treated before the fixing of the mirror. Refer to 4.3.3 Timber works for general treatment

##### **4.3.8.4 Dumb waiter**

- Existing dumb waiter configuration to be preserved in-situ
- Refer to 4.3.3 Timber works for general treatment for the timber cabinet of the dumb waiter

##### **4.3.8.5 Sanitary wares and fittings**

- General cleansing to the sanitary wares and fittings

##### **4.3.8.6 Ceramic grilles**

- Ceramic grilles shall be preserved in-situ without covering up except by glass to suit the new use

##### **4.3.8.7 Triangular table with a mirror**

- General cleansing to the triangular table
- Mirror temporarily removed and stored shall be repaired and reinstated to its original location
- Timber backing board for the mirror shall be taken down (if possible) and treated before the fixing of the mirror. Refer to 4.3.3 Timber works for general treatment

##### **4.3.8.8 Relief on walls**

- Blushed clean only

##### **4.3.8.9 Pond and fountain at Private Garden**

- General cleansing to the surfaces and the sculpture at the pond to remove any dirt, stain, moss or other organic growing etc. on the surface by specialist
- Repair cracks, spalling concrete and broken parts where necessary, and re-finished to match with existing in terms of material, colour and texture



- Replace any damaged or missing tiles at the bottom of the pond with new tiles to match existing in terms of material, size, colour and texture as far as possible. Reuse salvaged tiles for the replacement as far as possible if any
- The mural painting of the pond shall be brushed clean, reinstated and repainted to match existing as far as possible by specialist
- Reintroduce water to the pond and fountain in a manner such that the original fabric of the water features will not be damaged

#### **4.3.8.10 Sculptures and figurines salvaged from the demolished Tiger Balm Garden**

- Preserve the existing sculpture at Private Garden in-situ. Reinstall accordingly by specialist
- Repair, reinstall and repaint the figurines salvaged from the demolished Tiger Balm Garden selected to be displayed at Haw Par Mansion by specialist where necessary

## 4.4 Potential Impact and mitigation measures

### 4.4.1 Definition of terms<sup>46</sup>

Levels of Significance	Meaning
<b>High</b>	Elements which make a major contribution to the overall significance of the place. Spaces, elements or fabric originally of substantial intrinsic quality, and exhibit high degree of intactness and quality, though minor alterations or degradation may be evident.
<b>Moderate</b>	Elements which make a moderate contribution to the overall significance of the place. Spaces, elements or fabric originally of some intrinsic quality, and may have undergone minor or extensive alteration or degradation.
<b>Low</b>	Elements which make a minor contribution to the overall significance of the place. Spaces, elements or fabric originally of little intrinsic quality, and may have undergone alteration or degradation. Original spaces, elements or fabrics of some quality, which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive.
<b>Neutral</b>	Items which are of little consequence in terms of understanding or appreciating the site and its developments, without being actually intrusive
<b>intrusive</b>	Items which are visually intrusive or which obscure the understanding of significant elements of the site, and may be identified for removal

<b>Mitigation measures</b>	Practical advice is given to mitigation adverse impact affects.
<b>Impact level</b>	The evaluation of heritage impact assessment in the proposal is classified into five levels of impact based on the type and extent of the effects concluded in the Heritage impact Assessment <sup>47</sup> :
<u>Beneficial impact</u>	- the impact is beneficial if the proposal will enhance the preservation of the heritage site;
<u>Acceptable impact</u>	- the assessment indicates that there will be no significant effects on the heritage site;
<u>Acceptable impact with mitigation measures</u>	- there will be some adverse effects, but these can be eliminated, reduced or offset to a larger extent by specific measures;
<u>Unacceptable impact</u>	- the adverse effects are considered to be too excessive and are unable to mitigate practically;
<u>Undetermined impact</u>	- the significant adverse effects are likely, but the extent to which they may occur or may be mitigated cannot be determined from the study. Further detailed study will be required for the specific effects in question.

<sup>46</sup> The definition of terms is developed based on James Semple Kerr, *Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*, National Trust, 2004.

<sup>47</sup> Antiquities and Monuments Office, *Guidelines for Heritage Impact Assessment*, June 2010.

#### 4.4.2 Impact assessment

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
<b>General</b>					
<b>A-1</b>	Convert Haw Par Mansion into 'Haw Par Music Farm'	N.A.	N.A.	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Photographic and cartographic survey of the building and its site including the affected CDEs shall be carried out before the commencement of works.</li> <li>Interpretation strategy shall be properly formulated and present the historic development and changes of the buildings and site to enhance and reinforce the understanding of the cultural significance of the historic place.</li> </ul>
<b>Site</b>					
<b>B-1</b>	Add a new services block at the Ancillary Site to accommodate new plant rooms, accessible lift and staircase	Integrity of the site and spatial organization	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The height of the new addition should be kept equal to or below the level of the Mansion for the least visual impact in the perception of the integrity of the Mansion.</li> <li>The appearance of the new addition should be built with a compatible design which will have minimum visual impact to the heritage site.</li> </ul>
<b>B-2</b>	Remove a section of existing low boundary fence wall at Private Garden to make way for the addition of new footbridge	Low boundary fence wall	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the removal.</li> <li>The extent of the existing low boundary fence wall to be removed will be kept between the posts for a correct understanding of the low boundary fence wall unit. The removed portion should be salvaged and stored subject to technical feasibility.</li> <li>The new footbridge will be a steel structure with reinforced concrete slab finished with tiles, and metal balustrade with stainless steel cable infill, which is a compatible design and will be discernible from the existing historic fabric.</li> </ul>
<b>B-3</b>	Opening up of the external retaining wall for running of new building services	External retaining wall	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the open up.</li> <li>The new opening for passage of piping will be concealed under the new footbridge which is not visible to visitors.</li> <li>Disturbance to historic fabric should be kept to a minimum to avoid adverse</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
					<p>visual impact and affect the structural integrity of the retaining wall.</p> <ul style="list-style-type: none"> <li>The extent of the new openings should be as little as possible.</li> </ul>
B-4	Introduction of mass concrete wall for the reinforcement of existing retaining wall which required excavation to existing Private Garden	The setting and layout of the Garden	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the commencement of works.</li> <li>The location of the mass concrete wall is carefully chosen to have the least impact to the existing historic fabric. The affected area will be reinstated according to the existing layout, setting, landscape materials and design.</li> <li>The existing trees and lawn shall be put back in shape and preserved.</li> <li>Horticultural survey shall be carried out to evaluate the amenity values of existing trees, including recommendation of treatment to existing trees.</li> <li>A tree preservation proposal shall be prepared that covers tree protection proposal and management during the construction.</li> <li>A tree specialist shall be engaged to monitor the condition of existing trees during the construction period.</li> </ul>
		Low boundary fence walls, building structure	High		<ul style="list-style-type: none"> <li>The works shall not affect the structural stability of the existing low boundary fence wall and the building structure of the Mansion.</li> <li>A portion of low boundary fence walls over the location of the mass concrete wall will have to be temporarily removed during the works, and will be restored back to the original position after the works is done. The affected section shall be repaired and reinstated accordingly to match with the existing.</li> </ul>
		Patterned and plain mosaic tiled floor	High		<ul style="list-style-type: none"> <li>The patterned and plain mosaic tiled floor affected shall be reinstated with matching material, size, texture, colour and pattern of the existing floor tiles.</li> </ul>
B-5	Introduction of building services routing into the Private Garden with new inspection pits at the lawn and footpaths	The setting and layout of the Garden, Low boundary fence walls, patterned and plain mosaic tiled floor, building structure	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Refer to item B-4 for treatment/ mitigation measures.</li> <li>Matching covers for the inspection pits shall be adopted to minimize the visual impact to the Private Garden.</li> <li>The matching covers at the footpath originally finished with plain mosaic floor tile shall be finished with mosaic floor tiles with matching material, size, texture, colour and pattern.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
B-6	Add new outdoor ramps for connecting the two levels of Private Garden and from the footbridge to the Private Garden for barrier free access	The setting and layout of the Garden	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ The installation of the new ramps are reversible which will be tile or wood deck finish on pedestals over the existing footpath and steps connecting upper tier to lower tier. It will be a compatible design and discernible from the original historic fabric.</li> <li>▪ The new ramp along the lawn at the lower tier will be under a height of 600mm. Shrubs will be planted at the lawn along the ramp to remedy the visual impact.</li> <li>▪ The new ramps will be understated in character while the original setting of the Private Garden could still be perceivable.</li> </ul>
		Steps connecting upper tier to lower tier	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ The new outdoor ramp will be decked over on the existing steps where the steps could be retained in-situ.</li> <li>▪ Disturbance to historic fabric should be kept to a minimum.</li> </ul>
B-7	Add landscape features, i.e. flower beds to existing lawn, repaving of mosaic tiles and addition of vegetation and benches at the new visitor entrance	The setting and layout of the Garden	High	Beneficial impact	<ul style="list-style-type: none"> <li>▪ The addition of the landscape features will not alter the original setting and layout of the Private Garden.</li> <li>▪ The design of the new landscape features shall not overwhelm the original appearance of the Private Garden and the appearance of Mansion. It shall not impose visual impact to the garden structures and the Mansion.</li> <li>▪ The new landscape elements shall enrich the overall landscaping of the Private Garden and in harmony with the original core landscape elements.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
B-8	Add protective barriers along the existing low boundary fence walls to prevent people from approaching the fence walls which are lower than 1.1m high	Low boundary fence wall	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Pot planters are proposed to be added along the existing low boundary fence walls, subject to the approval by Buildings Department.</li> <li>The planter box will be placed in a reversible manner which will not have any impact to the historic fabric. The design of the planter box will be subtle in shape and properly proportioned which will not overwhelm the original appearance of the low boundary fence walls.</li> <li>If the pot planters option is not approved, full compliance balustrades will be installed along the low boundary fence walls: <ul style="list-style-type: none"> <li>The new balustrade will be built of galvanized mild steel with paint finish with wire infill, which will be a compatible design and will be discernible from the original historic fabric.</li> <li>With its simple and minimal design, it will not overwhelm the original appearance of the Private Garden, while it could still allow the visitors to appreciate the low boundary fence wall.</li> </ul> </li> </ul>
		Patterned and plain mosaic tiled floor	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> <li>Any patterned and plain mosaic tiled floor affected shall be reinstated with matching, material, size, texture, colour and pattern of the existing floor tiles.</li> </ul>
B-9	Reintroduce water feature to the fountain and pond	Fountain, pond	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>A submersible pump system will be placed in the pond and fountain under a deck below the water level, where visual impact to the pond and fountain will be kept to a minimum.</li> <li>The pump system will be installed in a reversible manner which will not have any impact to the historic fabric.</li> <li>At the fountain, the possibility of introducing water from the central pedestal will be studied, subject to on-site investigation and technical feasibility.</li> <li>Reinstate the salvaged figurine onto the top of the central pedestal of the fountain, subject to technical feasibility.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
B-10	Add tactile paving to meet barrier free access requirements	Patterned and plain mosaic tiled floor	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"><li>▪ Tactile warning strips will be provided from the landscape deck through the ramp and footpath of the Private Garden to the entrance lobby of the Mansion, including the footpath finished with patterned and plain mosaic floor tiles. The location affected is limited to a small portion along the periphery of the Private Garden, which is a less prominent area to the overall landscape design.</li><li>▪ Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li><li>▪ The design of the tactile paving should be discernible from the original historic fabric and be understated in character.</li></ul>
		Granite steps and landings, corner tower, pavilion, arched walkway with main garden gate below with Shanghai plaster finish	High		<ul style="list-style-type: none"><li>▪ Barrier free access (BFA) exemption proposal for the tactile paving to a number of areas is already approved by Buildings Department. Those areas include:<ul style="list-style-type: none"><li>- Corner tower, pavilion, and the arched walkway - public access will be prohibited to these areas.</li><li>- Granite steps and landings – ticker strips with contrasting colour will be used at the nosing of steps and landings without damaging the granite steps as remedy measures. Information about the steps without tactile warning strips will be shown on the official website and on the Braille and tactile map which will be available to any visitors in need.</li></ul></li></ul>
Mansion					

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-1	Enlarge existing window at lower ground floor to form a new visitor entrance and add a new feature portal to highlight the new entrance for way-finding purpose	Building structure	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ The width of the new entrance will be limited to the width of the existing window to minimize impact to the existing historic fabric and building structure.</li> <li>▪ The openings shall be formed by the removal of granite blocks and shall be subject to the advice from Registered Structural Engineer.</li> <li>▪ The addition of the new feature portal will be a self-standing structure independent to the historic building structure.</li> <li>▪ Disturbance to the historic masonry wall shall be kept to a minimum as far as possible.</li> </ul>
		Northeast façade	High		<ul style="list-style-type: none"> <li>▪ Documentation including photographic survey and cartographic survey should be carried out before the enlargement of window.</li> <li>▪ The location of the new entrance door is at a less prominent location, where the visual impact to the major façade facing the Private Garden is kept to a minimum.</li> <li>▪ The new entrance door will be a glass door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric.</li> <li>▪ The portal will be a reinforced concrete structure finished with paint, which will be understated in character, while it could still be distinguishable and will not overwhelm the northeast façade.</li> </ul>
C-2	Convert existing servants' quarters into entrance lobby and office to suit the new use, including the removal of existing partitions and re-partitioning of the interior,	Original building layout – servants' quarters	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ Documentation including photographic survey and cartographic survey should be carried out before the commencement of works.</li> <li>▪ The location of such conversion is chosen to be at the servants' quarters, which is an area of comparatively lower heritage significance to the main block and is a less prominent area, such that the major building layout of the main block will not be disturbed.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
	laying of carpet tiles at the new office B04	Ceramic tile flooring	Moderate		<ul style="list-style-type: none"> <li>The flooring at office will be covered with carpet tiles in a reversible manner to suit the new use. Interpretation will be provided to the covered ceramic tile flooring.</li> </ul>
		Timber paneled door without decoration	Moderate		<ul style="list-style-type: none"> <li>The timber paneled door will be salvaged and stored for future use or interpretation.</li> </ul>
C-3	Add lift for barrier free access	Building structure	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the commencement of works.</li> <li>The new lift structure will not exert any loading to the existing building structure.</li> <li>The disturbance to the historic fabrics should be kept to a minimum as far as practicable.</li> <li>The external finishes of the lift will be texture paint which could enable the lift structure to be distinguishable from the existing historic fabric.</li> </ul>
		Original building layout – servants' quarters	Moderate		<ul style="list-style-type: none"> <li>The location of the lift is chosen to be at the servants' quarters or corridor to the servants' quarters, which is an area of comparatively lower heritage significance to the main block or is a less prominent area, such that the major building layout of the main block will not be disturbed.</li> </ul>
		Glazed coloured ceramic wall and floor tiles with pattern at the toilet	Moderate		<ul style="list-style-type: none"> <li>The affected ceramic wall and floor tiles shall be salvaged and stored as far as practicable for future use or interpretation.</li> </ul>
		Sanitary wares and fittings	Moderate		<ul style="list-style-type: none"> <li>The affected sanitary wares and fittings identified to be character defining elements will be salvaged and stored as far as practicable for future interpretation.</li> </ul>
		Timber parquet flooring	High		<ul style="list-style-type: none"> <li>The affected timber parquet flooring shall be salvaged and stored as far as practicable for future use or interpretation.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-4	Conversion of existing hallway into a lift lobby G03 on ground floor, which include the removal of existing door and form new doorway on existing wall	Building structure	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the commencement of works.</li> <li>The new doorway shall be formed by the removal of masonry units and shall be subject to the advice from Registered Structural Engineer.</li> </ul>
		Original building layout – Main Block	High		<ul style="list-style-type: none"> <li>The location for the alteration is under the hardwood staircase which is a less prominent area, such that the major building layout of the main block will not be disturbed.</li> </ul>
C-5	Conversion of existing corridor, bathroom and storeroom on the upper level of the ground floor to form lift lobby G01 and toilet, including the re-partitioning, re-finishing, addition of tactile paving, and replacement of existing door with new doors to meet the statutory requirements	Building structure	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the commencement of works.</li> <li>The partitions to be removed are identified not to be load-bearing walls, where the removal will not impose impact to the existing building structure.</li> </ul>
		Original building layout – Main Block	High		<ul style="list-style-type: none"> <li>The location for the alteration is at the bathroom, storeroom and corridor to the servants' quarters which are at a less prominent area, such that the major building layout of the main block will not be disturbed.</li> <li>Interpretation on the original layout of this area should be provided.</li> </ul>
		Plastered walls	Moderate		<ul style="list-style-type: none"> <li>Disturbance to the plastered walls should be kept to a minimum as far as possible.</li> </ul>
		Skirting	High		<ul style="list-style-type: none"> <li>Disturbance to the existing skirting shall be kept to a minimum as far as possible. Reinstate as necessary.</li> <li>Any affected skirting shall be salvaged and stored for future use or interpretation as far as practicable.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Terrazzo flooring	Moderate		<ul style="list-style-type: none"> <li>▪ Tactile paving will be provided at the terrazzo flooring to meet the BFA requirement.</li> <li>▪ Disturbance to the terrazzo flooring shall be kept to a minimum as far as possible.</li> <li>▪ Any terrazzo flooring affected shall be reinstated with matching material, texture, colour and pattern of the existing.</li> <li>▪ The design of the tactile paving should be discernible from the original historic fabric and be understated in character.</li> </ul>
		Timber paneled door without decoration	Moderate		<ul style="list-style-type: none"> <li>▪ Timber doors to be removed or replaced are at a less prominent area. They shall be salvaged and stored for future use or interpretation.</li> <li>▪ The new door will be a metal door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric</li> <li>▪ Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>
		Metal framed doors (at the elevation of Servants' quarters)	Moderate		<ul style="list-style-type: none"> <li>▪ The existing metal framed door is a later addition with only the fanlight with stained glass retained. The door is opened to the servants' quarters which is a less prominent location.</li> <li>▪ The existing metal framed fanlight shall be salvaged and stored for future use or interpretation.</li> <li>▪ The new door will be a metal door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric</li> <li>▪ Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-6	Upgrade the Palladian Staircase for MOE provision	Palladian staircase	High	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>▪ Pot planters will be added along the existing parapets of the staircase to prevent people from approaching the parapets which are lower than 1.1m high, subject to the approval by Buildings Department.</li> <li>▪ The planter box will be placed in a reversible manner which will not have any impact to the historic fabric. The design of the planter box will be subtle in shape and properly proportioned which will not overwhelm the original appearance of the parapets.</li> <li>▪ If the pot planters option is not approved, a full compliance balustrade will be installed along the parapets: <ul style="list-style-type: none"> <li>- The new balustrade will be a compatible design and will be discernible from the original historic fabric.</li> <li>- With its simple and minimal design, it will not overwhelm the original appearance of the Palladian staircase.</li> <li>- The new balustrade will be mounted onto the existing parapets of the Palladian staircase, subject to the approval by Buildings Department. In case it is not approved, the balustrade will have to be fixed onto the granite treads.</li> <li>- The number of fixing points shall be kept to a minimum as far as practicable.</li> </ul> </li> <li>▪ Handrail will be added on the other side to the fair-faced granite wall surface to meet the statutory requirement. The design of the new handrail will be minimal and simple with the least fixing points to the fair-faced granite wall surface in order to minimize the impact.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-7	Add pot planters along the existing balustrades at the balconies and verandahs to prevent people from approaching the balustrades which are lower than 1.1m high	Balconies and verandahs with decorative grille design in Shanghai plaster finish (Type A), balconies and verandahs with horizontal bands design in paint finish (Type B)	High	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Pot planters will be added along the existing balustrades of the balconies and verandahs to prevent people from approaching the parapets which are lower than 1.1m high, subject to the approval by Buildings Department.</li> <li>The design of the planter box will be subtle in shape and properly proportioned which will not overwhelm the original appearance of the parapets.</li> <li>If the pot planters option is not approved, a full compliance balustrade will be installed along the existing balustrades: <ul style="list-style-type: none"> <li>The new balustrade will be a compatible design and will be discernible from the original historic fabric.</li> <li>With its simple and minimal design, it will not overwhelm the original appearance of the existing balustrades.</li> <li>The new balustrade will be side mounted onto the existing balustrades of the balconies or verandahs, subject to the approval by Buildings Department. In case it is not approved, the balustrade will have to be fixed onto the floor.</li> <li>The fixing points shall be kept to a minimum as far as practicable. Reinstate any affected floor finishes to match existing after the installation of new balustrades.</li> </ul> </li> </ul>
C-8	Add handrail on the wall side of the staircase at the entrance steps (ST-6) as means of escape route to meet the statutory requirement	Entrance steps	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The handrails will be mounted onto the columns on both sides of the entrance steps to avoid disturbance to the marble finishes of the entrance steps. The handrail will be minimal and simple in design with the least fixing points to the existing columns to minimize the impact.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-9	Add handrail on the wall side of the staircase from ground floor to the lower ground floor former kitchen (ST-2) as means of escape route to meet the statutory requirement	Encaustic ceramic tile flooring, dado finished with wall tiles and rails	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ Handrails will be mounted onto the plastered walls, which can avoid disturbance to the encaustic ceramic tile finish of the staircase.</li> <li>▪ The ends of the handrails will be fixed onto the floor at the lower ground floor, which can avoid disturbance to both the encaustic ceramic tile finish of the staircase and the dado finished with wall tiles and rails.</li> <li>▪ The handrail will be minimal and simple in design which will not overwhelm the original appearance of the staircase and dado.</li> </ul>
C-10	Upgrade the hardwood staircase (ST-3) for MOE provision	Hardwood staircase	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ Pot planters will be added along the existing balustrades of the staircase to prevent people from approaching the balustrades which are lower than 1.1m high, subject to the approval by Buildings Department.</li> <li>▪ The planter box will be placed in a reversible manner which will not have any impact to the historic fabric. The pot planters will be of 300mm high, while the design of the planter box will be subtle in shape and properly proportioned which will not overwhelm the original appearance of the parapets.</li> <li>▪ If the pot planters option is not approved, a full compliance balustrade will be installed along the existing balustrades: <ul style="list-style-type: none"> <li>- The new balustrade will be a compatible design and will be discernible from the original historic fabric.</li> <li>- With its simple and minimal design, it will not overwhelm the original appearance of the hardwood staircase.</li> <li>- The new balustrade will be mounted onto the existing treads and landings.</li> <li>- The fixing points shall be kept to a minimum as far as practicable. Reinstate any affected floor finishes to match existing after the installation of new balustrades.</li> </ul> </li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
					<ul style="list-style-type: none"> <li>Handrail will be added on the other side to the plastered wall surface to meet the statutory requirement. The design of the new handrail will be minimal and simple with the least fixing points to the plastered wall surface in order to minimize the impact.</li> <li>New carpet will be reintroduced to the hardwood staircase, which will be fixed by the existing carpet pins. The new carpet will be incorporated with nosing strips in contrasting colour to be laid on the treads to comply with barrier free access requirements subject to the approval of Buildings Department.</li> </ul>
C-II	Add open staircase (ST-4) at the southeast façade for MOE provision	Southeast façades	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The new open staircase will be structurally independent without affecting the structural stability of the existing building.</li> <li>The new open staircase will be a steel structure with pre-cast concrete treads, metal balustrade with stainless steel cable infill, which could be readily distinguishable but compatible with the existing building fabric.</li> <li>The design of the new open staircase is intended to be a light-weight structure with cable infill, such that the essence of the original elevation design is still readable.</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>
		Patterned mosaic floor tiles	High		<ul style="list-style-type: none"> <li>The structure of the open staircase will be built at the southeast terrace of the Mansion finished with patterned mosaic floor tiles. Disturbance to the floor tiles shall be kept to a minimum as far as possible.</li> <li>Any floor tiles affected shall be reinstated with matching material, size, texture, colour and pattern of the existing floor tiles.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-12	Form an opening at the verandah on the first floor of southeast façade to give access to the open staircase (ST-4)	Balconies and verandahs with horizontal bands design in paint finish (Type B)	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The existing verandah on the first floor at southeast façade will be converted into a staircase lobby for the new open staircase. This involved the removal of a portion of the existing verandah balustrade to provide access.</li> <li>The extent of the portion of the balustrade to be removed should be kept between the posts for a correct understanding of the balustrade unit. The removed portion should be salvaged and stored subject to technical feasibility.</li> <li>Disturbance to the existing posts shall be kept to a minimum as far as possible. Repair and make good as necessary.</li> </ul>
C-13	Form an opening at the parapet on the roof terrace floor of southeast façade to the open staircase (ST-4)	Original building layout – main block	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The parapet where the opening will be formed is at a less prominent location on the roof terrace and without any glazed ceramic tiles and decoration.</li> <li>The extent of the portion of the parapet to be removed should be kept to a minimum.</li> <li>Disturbance to the existing parapet shall be kept to a minimum as far as possible. Repair and make good as necessary.</li> </ul>
C-14	Replace existing metal framed door on the first floor to the verandah at the southeast façade with a new single leaf metal door to comply with Fire Safety Code	Metal framed doors	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the removal.</li> <li>The existing metal framed door to be dismantled shall be salvaged and stored for future use or interpretation.</li> <li>The new metal door will be of simple and minimal design which could be readily distinguishable but compatible with the existing building fabric.</li> </ul>
C-15	Add fire-rated glazing to existing windows adjacent to the new open staircase and corridor at servants' quarters to partially protect escape route via the staircase and unobstructed area	Metal framed windows	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The fire-rated glazing will be installed internally. The addition of the fire-rated glazing should not affect the general appearance of the original metal framed windows.</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-16	Add removable deck over the balconies (area G18, 106) to remedy the level difference between the interior and the balconies	Patterned mosaic floor tiles, patterned ceramic tile flooring	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Non-combustible removable deck of a tiling system installed on adjustable polypropylene feet will be adopted, which will be readily distinguishable but compatible with the existing building fabric.</li> <li>The removable deck is reversible and will not have any impact to the historic fabric.</li> <li>The deck at G18 will only partially cover the floor to allow the appreciation of the original patterned mosaic floor tiles.</li> <li>Interpretation should be provided for the covered patterned ceramic tile flooring at balcony 106.</li> </ul>
C-17	Add a new classroom under the new open staircase at the southeast façade, with the installation of heavy fabric curtain and carpet tiles for better acoustic performance	Southeast façades	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The new classroom will be constructed with steel main structural frame with fire rated clear glazing infill installed with vertical butt joints. The structural members will be kept to a minimum as far as practicable such that the essence of the original elevation design is still readable when the curtains are withdrawn.</li> <li>The new classroom of a simple and minimal design will be readily distinguishable but compatible with the existing building fabric.</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>
		Stained glass doors in Chinese moon-gate style	High		<ul style="list-style-type: none"> <li>The structural members of the new classroom will be kept to a minimum as far as practicable such that the stained glass doors in Chinese moon-gate style is still readable when the curtains are withdrawn.</li> </ul>
		Patterned mosaic floor tiles	High		<ul style="list-style-type: none"> <li>The new class room will be built at the southeast terrace of the Mansion finished with patterned mosaic floor tiles. Disturbance to the floor tiles shall be kept to a minimum as far as possible.</li> <li>Any floor tiles affected shall be reinstated with matching material, size, texture, colour and pattern of the existing floor tiles.</li> <li>The carpet tiles will be added in a reversible manner which will not have impact on the existing floor tiles.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-18	Add new door at existing door opening outwardly at classroom G12 to comply with the MOE requirements	Timber paneled door at main block	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>While the existing timber door is located at the inner side of the door opening, the new door will be added at the outer side of the door opening to avoid any impact to the existing timber door and its decorative door surround.</li> <li>The existing timber door will be retained in-situ and held open inside the classroom for appreciation.</li> <li>The new door will be timber door of minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing timber door design. A fanlight with clear glass will be provided above to allow the appreciation of the original timber decorative panel.</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>
C-19	Add new door at existing door opening inwardly at practice room G05 to suit the new use	Timber paneled door at main block	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>As the existing door is a pair of sliding door panels, it is proposed to preserve in-situ while keeping it open.</li> <li>The new door will be a portal design added on the inner side of the practice room, with the frames mounted on the existing architrave of the existing door opening. Such design will not impose impact to the existing timber door frame, timber sliding door panels and its fanlight above.</li> <li>The new door will be a timber door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing timber door design.</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-20	Form a new doorway at classroom G12 to verandah G18 to comply with the MOE requirement	Northwest façade	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before forming the new doorway.</li> <li>The openings shall be formed by the removal of masonry units and shall be subject to the advice from Registered Structural Engineer.</li> <li>The new door will be a metal door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric.</li> <li>Disturbance to the historic masonry wall shall be kept to a minimum as far as possible.</li> </ul>
		Terrazzo skirting	High		<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before forming the new doorway.</li> <li>Disturbance to the terrazzo skirting shall be kept to a minimum as far as possible.</li> <li>Any terrazzo affected after forming the doorway shall be reinstated with matching material, texture, colour and appearance of the existing.</li> </ul>
C-21	Convert existing sitting room into interpretation area, including the display of some old items left by the former owner, with introduction of movable acoustic panels during occasional musical performance for better acoustic performance	Original building layout – Main Block	High	Beneficial impact	<ul style="list-style-type: none"> <li>The original building layout will not be altered, while the atmosphere of the former sitting room will be enhanced through the display of old items left by the former owner.</li> <li>Originally, the sitting room was covered with carpet. The interpretation area will be laid with a new carpet which will be based on the design of the old carpet which had been used in Haw Par Mansion.</li> </ul>
		Stained glass doors in Chinese moon-gate style	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Movable acoustic panel partitions will only be placed in front of the moon-gates during occasional musical performance. By doing so, there will not be any impact to the stained glass doors in Chinese moon-gate style, while visitors could still be able to appreciate the feature.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-22	Convert existing toilet into staff common room (G I I) on ground floor, which involve the removal of an internal partition	Original building layout – Main Block: internal partition of toilet	Low	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The existing toilet has a lower heritage significance comparing to other areas of the main block, which could allow a greater flexibility in intervention. Only the internal partition wall within the toilet will be affected, and hence there is no change to the overall building layout of the Main Block.</li> <li>Documentation including photographic survey and cartographic survey should be carried out before the removal.</li> </ul>
		Glazed coloured ceramic wall and floor tiles with pattern	Moderate		<ul style="list-style-type: none"> <li>Ceramic wall tiles shall be salvaged for future use or interpretation as far as practicable.</li> <li>The floor and wall finishes shall be reinstated with tiles of matching material, size, texture, colour and pattern of the existing tiles as far as practicable.</li> </ul>
C-23	Convert existing rooms into classrooms or practice rooms on ground floor and first floor, including the introduction of bulkhead for building services, acoustic panels, acoustic seals, weathering strip, carpet tiles and heavy fabric curtain for better acoustic performance	Decorative ceiling plaster works	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Bulkhead will be added along the high level of the walls at a distance below the decorative ceiling plaster works, which will not block the view for the appreciation of the architectural feature.</li> <li>The bulkhead design will be simple and subtle which will not overwhelm the original decorative ceiling plaster works design.</li> </ul>
		Picture rail	High		<ul style="list-style-type: none"> <li>Bulkhead will be added above the picture rail, while the acoustic panels will be added below so as to allow visitors still able to appreciate the picture rail.</li> <li>The bulkhead and acoustic panels design will be simple and subtle which will not overwhelm the picture rail design.</li> </ul>
		Plastered wall	Moderate		<ul style="list-style-type: none"> <li>Acoustic panels will be fixed on a sub-frame system and fixed on the plastered walls. Lightweight acoustic panels will be used in order to minimize fixing onto the walls.</li> </ul>
		Skirting	High		<ul style="list-style-type: none"> <li>Acoustic panels will be added above the existing skirting so as to allow visitors still able to appreciate the skirting.</li> <li>The acoustic panels design will be simple and subtle which will not overwhelm the skirting design.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Timber parquet flooring	High		<ul style="list-style-type: none"> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing timber parquet flooring.</li> <li>Interpretation will be provided for the covered timber parquet flooring.</li> </ul>
		Stained metal framed doors with painted motifs, metal framed doors, metal framed windows at Main Block, plastered walls	High		<ul style="list-style-type: none"> <li>Heavy fabric curtains will be installed in front of the doors and windows with glass panes for better acoustic performance of the rooms. The curtain tracks will be installed inside the bulkhead which will not disturb the existing historic curtain rails and will reduce impact to the existing plastered walls.</li> <li>Weathering strip will be added at the metal framed windows or metal framed doors to increase sound insulation as far as practicable. The addition of weathering strip will be reversible and hidden when the door or window are closed, such that no visual impact or physical impact will be imposed to the historic fabrics.</li> </ul>
		Timber paneled door at main block	High		<ul style="list-style-type: none"> <li>Acoustic perimeter and bottom seals will be applied to the existing timber paneled doors to increase sound insulation as far as practicable.</li> <li>The addition of the perimeter seal will be reversible and hidden when the doors are closed, such that no visual impact or physical impact will be imposed to the historic fabrics.</li> <li>The bottom seals will be fixed at the bottom of the door at inner side so as to keep the visual impact to a minimum. The fixing points shall be kept to a minimum as far as practicable.</li> </ul>
C-24	Convert existing toilets (room 122 and 124) into practice rooms on the first floor, including the introduction of bulkhead for building services, acoustic panels, carpet and heavy fabric curtain for better acoustic performance	Glazed coloured ceramic wall and floor tiles with pattern	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Acoustic panels will be fixed on a sub-frame system and fixed on the plastered walls. Lightweight acoustic panels will be used in order to minimize fixing onto the walls and avoid fixing onto existing tile finishes as far as practicable.</li> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing glazed coloured ceramic flooring.</li> <li>Interpretation will be provided for the covered glazed coloured ceramic wall and floor tiles with pattern.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Stained metal framed windows, plastered wall	High		<ul style="list-style-type: none"> <li>Heavy fabric curtains will be installed in front of the stained metal framed windows for better acoustic performance of the rooms. The curtain tracks will be installed inside the bulkhead which will reduce impact on the existing plastered walls.</li> </ul>
		Sanitary wares and fittings	Moderate		<ul style="list-style-type: none"> <li>The sanitary wares and fittings identified as character-defining elements shall be salvaged and stored as far as practicable for future interpretation.</li> </ul>
C-25	Add new partitions to form new classroom 114 and practice room 123 on the first floor, with the installation of acoustic panels, heavy fabric curtain and carpet tiles for better acoustic performance	Original building layout – Main Block	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The new partitions will be built of metal frames with clear glass panels in fill, so that the original building layout could still be readable.</li> <li>The new partitions will be of simple and minimal design which could be readily distinguishable but compatible with the existing building fabric.</li> </ul>
		Southwest façade	High		<ul style="list-style-type: none"> <li>The location of the existing balcony where practice room 123 will be located is above the entrance porch which is visually less prominent to visitors. The addition of new partitions will be recessed behind the plain of southwest façade, where the original façade design is still readable.</li> <li>Acoustic panels will be fixed on a sub-frame system and fixed on the fair-faced brick walls. Lightweight acoustic panels will be used in order to minimize fixing onto the walls and avoid fixing onto existing tile finishes as far as practicable.</li> <li>Interpretation will be provided for the covered fair-faced brick walls.</li> </ul>
		Timber parquet flooring	High		<ul style="list-style-type: none"> <li>Disturbance to the timber parquet flooring shall be kept to a minimum as far as possible.</li> <li>Any timber parquet flooring affected shall be reinstated with matching material, size, texture, colour and pattern of the existing.</li> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing timber parquet flooring.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Patterned ceramic tile flooring	High		<ul style="list-style-type: none"> <li>The addition of the new partition will observe the existing flooring pattern of the ceramic tile, which aims to minimize the disturbance to the original flooring.</li> <li>Any patterned ceramic tile flooring affected shall be reinstated with matching material, size, texture, colour and pattern of the existing as far as possible.</li> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing patterned ceramic tile flooring.</li> </ul>
<b>C-26</b>	Convert existing bedroom on the first floor into lift lobby (101) and unisex accessible toilet, including re-partitioning of the interior, re-finishing and the addition of tactile paving	Original building layout – Main Block	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The bedroom chosen is the smallest bedroom amongst the other three on the first floor, and is at a less prominent location adjacent to the servants' quarters.</li> <li>The lift is installed within the existing bedroom without affecting the partition walls, and hence not affects the original building layout of the Mansion.</li> <li>Documentation including photographic survey and cartographic survey should be carried out before the removal.</li> <li>Interpretation on the original layout of this room should be provided.</li> </ul>
		Plastered walls	Moderate		<ul style="list-style-type: none"> <li>Disturbance to the plastered walls should be kept to a minimum as far as possible.</li> </ul>
		Picture rails	High		<ul style="list-style-type: none"> <li>Any affected picture rails shall be salvaged and stored for future use or interpretation as far as practicable.</li> <li>The interior of the unisex accessible toilet will be finished with wall tiles below the level of the existing picture rails, such that the architectural feature could still be retained for appreciation.</li> </ul>
		Skirting	High		<ul style="list-style-type: none"> <li>Disturbance to the existing skirting shall be kept to a minimum as far as possible. Reinstall as necessary.</li> <li>Any affected skirting shall be salvaged and stored for future use or interpretation as far as practicable.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Timber parquet flooring	High		<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the removal.</li> <li>Any affected timber parquet flooring shall be salvaged and stored for future use or interpretation as far as practicable.</li> <li>Interpretation on the original timber parquet flooring of this room should be provided.</li> </ul>
		Fireplace without mirror	High		<ul style="list-style-type: none"> <li>The fireplace will be preserved in-situ for appreciation.</li> </ul>
		Timber paneled door at main block	High		<ul style="list-style-type: none"> <li>Existing timber paneled door will be salvaged and stored for future use or interpretation.</li> <li>The new door will be a timber door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>
C-27	Replace existing metal framed door at the corridor to servants' quarters with a new door to comply with MOE requirement	Metal framed door (at the elevation of Servants' Quarters)	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The door is opened to the servants' quarters which is at a less location.</li> <li>The metal framed door shall be salvaged and stored for future use or interpretation.</li> <li>The new door will be a metal door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-28	Add removable deck at hallway 1 (102) on the first floor to remedy the level difference with the adjacent hallways	Timber parquet flooring	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The removable raised deck will be a tile system installed on adjustable pedestal feet, which will be readily distinguishable but compatible with the existing building fabric.</li> <li>Carpet will be laid at Hallway 1 including the deck area. It will be incorporated with nosing strips in contrasting colour to be laid on the treads to comply with barrier free access requirements subject to the approval of Buildings Department.</li> <li>The removable deck is reversible and will not have any impact to the historic fabric.</li> </ul>
		Built-in display cabinets	High		<ul style="list-style-type: none"> <li>The installation of the deck will be a short distance from the built-in cabinet with low level protective barrier to stop people from approaching, such that visitors can still be able to appreciate the built-in cabinet.</li> <li>The design of the low level protective barrier will be of a simple and subtle design which will not overwhelm the design of the built-in cabinet.</li> </ul>
C-29	Add temporary removable ramps to existing metal framed doors from classroom 113, 114 and 119 to balcony 115 and hallway 3 to practice room 123 to remedy level difference between the classrooms and balcony whenever necessary	Metal framed doors	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The addition of the temporary removable ramp is reversible and will not have any impact to the historic fabric.</li> <li>The temporary removable ramp will be added whenever necessary. In other time, the existing metal framed doors will be remained as it is.</li> </ul>
C-30	Recast four structural beams at the ceiling of first floor at Hallway 2 (area 103) and classroom 113 to upgrade the structural provision of the beams to meet the design requirement (refer to Fig. 44)	Building structure	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Documentation including photographic survey and cartographic survey should be carried out before the recast of the beams.</li> <li>The four beams will be recast with the same profile and dimension as the existing beams with additional reinforcement/ structural steel beam as strengthening provision inside the concrete beam.</li> <li>The re-cast beams will be finished with matching materials, texture, colour and decorative details as the existing.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-31	Convert the Penthouse into classroom and practice room, including the introduction of bulkhead for building services, acoustic panels, carpet tiles and heavy fabric curtain for better acoustic performance	Original building layout	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ The new partitions will be built of metal frames with clear glass panels in fill, so that the original building layout could still be readable.</li> <li>▪ The new partitions will be of simple and minimal design which could be readily distinguishable but compatible with the existing building fabric.</li> <li>▪ Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>
		Ceiling with moulded cornice	Moderate		<ul style="list-style-type: none"> <li>▪ Bulkhead will be added along the high level of the walls at a distance below the ceiling cornice, which will not block the view for the appreciation of the architectural feature.</li> <li>▪ The bulkhead design will be simple and subtle which will not overwhelm the original historic fabrics.</li> </ul>
		Decorative metal balustrades	High		<ul style="list-style-type: none"> <li>▪ The construction of the new partition will not touch the decorative metal balustrades such that there will be no impact to such architectural feature.</li> </ul>
		Plastered wall	Moderate		<ul style="list-style-type: none"> <li>▪ Acoustic panels will be fixed on a sub-frame system and fixed on the plastered walls. Lightweight acoustic panels will be used in order to minimize fixing onto the walls.</li> </ul>
		Reliefs on walls	High		<ul style="list-style-type: none"> <li>▪ The installation of the acoustic panels shall not cover the existing relief on the wall for visitors' appreciation.</li> </ul>
		Skirting	High		<ul style="list-style-type: none"> <li>▪ Acoustic panels will be added above the existing skirting so as to allow visitors still able to appreciate the skirting.</li> <li>▪ The acoustic panels design will be simple and subtle which will not overwhelm the skirting design.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Timber parquet flooring	High		<ul style="list-style-type: none"> <li>Disturbance to the timber parquet flooring shall be kept to a minimum as far as possible.</li> <li>Any timber parquet flooring affected shall be reinstated with matching material, size, texture, colour and pattern of the existing.</li> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing timber parquet flooring.</li> <li>Interpretation will be provided for the covered timber parquet flooring.</li> </ul>
		Marble flooring	High		<ul style="list-style-type: none"> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing timber parquet flooring.</li> <li>Interpretation will be provided for the covered marble flooring.</li> <li>A removable deck/ ramp will be provided on the marble floor to remedy the level difference, which will not impose any impact to the historic fabric.</li> </ul>
		Metal framed doors, metal framed windows at main block, plastered walls	High		<ul style="list-style-type: none"> <li>Heavy fabric curtains will be installed in front of the doors and windows with glass panes for better acoustic performance of the rooms. The curtain tracks will be installed inside the bulkhead which will not disturb to the existing historic curtain rails and will reduce impact to the existing plastered walls.</li> </ul>
C-32	Convert servants' quarters on roof terrace into practice room 208, including introduction of bulkhead for building services, acoustic panels, carpet and heavy fabric curtain for better acoustic performance	Dado finished with wall tiles and rails	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Acoustic panels will be fixed on a sub-frame system and fixed on the plastered walls. Lightweight acoustic panels will be used in order to minimize fixing onto the walls and avoid fixing onto existing tile finishes as far as practicable.</li> <li>Interpretation will be provided for the covered dado finished with wall tiles and rails.</li> </ul>
		Ceramic tile flooring	Moderate		<ul style="list-style-type: none"> <li>Carpet tiles will be added in a reversible manner onto the floor which will not have impact on the existing glazed coloured ceramic flooring.</li> <li>Interpretation will be provided for the covered ceramic tile flooring.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
		Metal framed windows at servants' quarters, plastered wall	Moderate		<ul style="list-style-type: none"> <li>Heavy fabric curtains will be installed in front of the stained metal framed windows for better acoustic performance of the room. The curtain tracks will be installed inside the bulkhead which will reduce impact on the existing plastered walls.</li> </ul>
C-33	Omit a column at the covered walkway on the roof terrace to make way for the new lift landing	Covered walkway at RT/F including the columns	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Structural survey should be carried out to investigate the condition of existing structure. The omission of the column shall not affect the structural stability of the structure and shall minimize the disturbance to the historic fabric as far as practicable.</li> <li>Documentation including photographic survey and cartographic survey should be carried out before the removal.</li> <li>Part of the roof slab of the covered walkway will be recast with a new slab which will follow the original slab in terms of profile, dimensions, material, finishes and colour.</li> </ul>
C-34	Add glass canopies on both sides of the covered walkway on the roof terrace to provide shelter to the lift landing and access to the toilet	Covered walkway at RT/F including the columns	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The new canopies will be structurally independent without affecting the structural stability of the existing covered walkway.</li> <li>The new canopies will be a light-weight structure of glass supporting on steel posts which will be readily distinguishable from the existing covered walkway design. With such building materials the structure will be of simple and minimal design such that the essence of the covered walkway design could still be readable.</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-35	Remedy the roof leakage	Flat roof	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Existing temporary waterproofing membrane will be removed. Existing original quarry tiled paving to the roof and the terrazzo finished surface drain and skirting will be cleaned, preserved and remained visible after the removal of temporary waterproofing membrane and thorough repair of waterproofing.</li> <li>Documentation of the original quarry tiled paving and terrazzo finished surface drain and skirting including photographic survey and cartographic survey should be carried out including after the removal of the temporary waterproofing membrane and before the commencement of works.</li> <li>The proposed waterproofing method will be submitted for the approval of AMO before the commencement of works.</li> </ul>
C-36	Add raised decks linking the existing covered walkway to the Penthouse to provide barrier free access	Flat roof	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The raised deck will be a timber deck or tile system installed on adjustable pedestal feet so that it could be readily distinguishable but compatible with the existing building fabric.</li> <li>The raised deck will be fixed onto the roof terrace, where the fixing will be kept to a minimum as far as possible.</li> </ul>
C-37	Replace existing metal framed door from room 202 to the covered walkway with new door to comply with the barrier free access requirements	Metal framed door (leading to Servants' quarters)	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The door is opened to the covered walkway leading to the servants' quarters, which is an area of comparatively lower heritage significance.</li> <li>The metal framed door shall be salvaged and stored for future use or interpretation.</li> <li>The new door will be a metal door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric</li> <li>Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-38	Add a new door at practice room 205 to the outdoor area to comply with the barrier free access requirements	Original building layout – main block	High	Acceptable impact	<ul style="list-style-type: none"> <li>The existing glass enclosure to the practice room 205 was a later addition. The addition of new door will not affect the original building layout of the Penthouse.</li> <li>The new door will be a glass door with minimal and subtle design, which could be readily distinguishable and will not overwhelm the existing historic fabric</li> </ul>
C-39	Add movable ramp at classroom 116 and classroom 119 on I/F; classroom 203 and the covered walkway on RT/F to provide barrier free access	Original building layout – Main block	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The addition of movable ramps is reversible which will not impose any impact to the existing historic fabrics.</li> <li>The design of the ramps will be simple and minimal which will not overwhelm the original appearance of the character defining elements.</li> </ul>
		Timber parquet flooring	High		
		Marble flooring	High		
		Covered walkway at RT/F including the columns	Moderate		
C-40	Add pot planters along the existing parapet on the roof terrace to prevent people from approaching the parapet which are lower than 1.1m high	Roofs with Chinese glazed ceramic roof tiles and decorations	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Pot planters will be added along the existing parapets in a reversible manner to prevent people from approaching the parapets which are lower than 1.1m high, subject to the approval by Buildings Department. The design of the planter box will be subtle in shape and properly proportioned which will not overwhelm the original appearance of the parapets.</li> <li>If the pot planters option is not approved, a full compliance balustrade will be installed along the existing parapets: <ul style="list-style-type: none"> <li>The new balustrade will be a compatible design and will be discernible from the original historic fabric.</li> <li>With its simple and minimal design, it will not overwhelm the original appearance of the existing parapets.</li> <li>The new balustrade will be mounted onto the floor without imposing impact to the existing parapet.</li> </ul> </li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
					<ul style="list-style-type: none"> <li>- The fixing points shall be kept to a minimum as far as practicable. Reinstall any affected floor finishes to match existing after the installation of new balustrades.</li> </ul>
C-41	Addition of tactile paving to the existing flooring of covered walkway on RT/F to meet barrier free access requirement	Covered walkway at RT/F including the columns	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ Such location is less prominent and of a lower heritage significance.</li> <li>▪ Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> <li>▪ The design of the tactile paving should be discernible from the original historic fabric and be understated in character.</li> </ul>
C-42	Demolish existing servant's staircase and servant's toilets and reconstruct a new staircase to meet MOE requirements	Building structure - staircase and toilets at Servants' quarters	Low	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ Structural survey should be carried out to investigate the condition of existing structures. Any changes to the structure shall not affect the structural stability of the building and shall minimize the disturbance to the historic fabrics as far as practicable.</li> </ul>
		Original building layout – servants' quarters	Moderate		<ul style="list-style-type: none"> <li>▪ The servants' staircase and toilets are at a less prominent location and of lower heritage significance comparing to the main block. A greater flexibility is allowed for alteration.</li> </ul>
C-43	Upgrade existing corridors at servants' quarters to meet statutory requirements	Corridors with horizontal bands design in paint finish at servants' quarters	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ The corridors are at a less prominent location and of lower heritage significance comparing to the main block. A greater flexibility is allowed for alteration.</li> <li>▪ The corridors will be filled up and added with new ramp to match internal floor finishes level between the servants' quarters and the main block. As the level difference is little (from 20mm to 60mm), the addition will still allow the original building layout to be readable.</li> <li>▪ Disturbance to the historic fabric shall be kept to a minimum as far as possible.</li> <li>▪ New protective barriers will be added along the existing parapets in the form of pot planters or railings between existing columns at the corridors and balustrade along the roof parapets, with the pot planters or railing between column design subject to structural test and the approval by Buildings Department.</li> </ul>

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
					<ul style="list-style-type: none"> <li>- The pot planters or railings and new balustrade will be compatible designs and will be discernible from the original historic fabric.</li> <li>- With the simple and minimal design, the new additions will not overwhelm the original appearance of the existing balustrades.</li> <li>- The fixing points shall be kept to a minimum as far as practicable.</li> </ul> <ul style="list-style-type: none"> <li>▪ If the pot planters and railing between column designs are not approved, a full compliance balustrade will be installed along all the parapets.</li> </ul>
C-44	Convert the servants' quarters into toilets to comply with statutory requirements	Original building layout – servants' quarters	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ It is at an area of lower heritage significance, where a greater flexibility is allowed for alteration.</li> <li>▪ Structural survey should be carried out to investigate the condition of existing structure. The changes of layout shall not affect the structural stability of the structure and shall minimize the disturbance to the historic fabric as far as practicable.</li> </ul>
		Metal framed doors and windows at servants' quarters and storeroom,	Moderate		<ul style="list-style-type: none"> <li>▪ Some of the original door and window openings will be altered to form new toilet door to suit the new use.</li> <li>▪ Some of the metal framed doors and windows will need to be removed or replaced by new due to the re-partitioning. They should be salvaged and stored for future use or interpretation.</li> </ul>
C-45	Add split-type air conditioning unit and pipe works to enhance the comfort of visitors and users	Flat roof	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ The outdoor units will be placed at less prominent locations on the roof terrace to minimize visual impact to the heritage site.</li> <li>▪ The disturbance to the historic fabric should be kept to a minimum.</li> <li>▪ Metal louvre screens will be used for screening off the outdoor units.</li> </ul>
		Southeast façade	Moderate		<ul style="list-style-type: none"> <li>▪ The pipes which have to be running on the building façades will be concentrated at less prominent locations or on the elevations with lower heritage significance, namely southeast façade and the elevations of servants' quarters, avoiding impact to the principal elevations.</li> </ul>
		Elevations of servants' quarters	Low		

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-46	Add mechanical ventilation, such as louvre opening and fan to comply with statutory requirements	Southeast façade	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The mechanical ventilation should be placed at less prominent locations such as on existing windows at the southeast façade and elevations of servants' quarters.</li> <li>They shall be concealed with screen of subtle design in order to minimize the visual impact to the Mansion.</li> </ul>
		Elevations of servants' quarters	Low		
C-47	Installation of new building services such as electrical system, fire services system, air conditioning system, etc.	Southeast façade	Moderate	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>All the pipes and ducts of all kinds of building services installation should be grouped together when entering the building so that minimum number of holes will be made on the walls surfaces.</li> <li>Instead of forming new holes, existing openings on walls should be utilized as far as practicable.</li> <li>Location of new openings for passage of piping should be located at a less prominent location, and should be agreed prior the works.</li> <li>Disturbance to the historic walls shall be kept to a minimum as far as possible. The openings shall be formed by removal of masonry units subject to the advice from Registered Structural Engineer.</li> </ul>
		Elevations of servants' quarters	Low		<ul style="list-style-type: none"> <li>No window-type air conditioner is allowed to be used.</li> </ul>
		Decorative ceiling plaster works	High		<ul style="list-style-type: none"> <li>Bulkhead will be added along the high level of the walls at a distance below the decorative ceiling plaster works, which will not block the view for the appreciation of the architectural feature.</li> <li>The bulkhead design will be simple and subtle which will not overwhelm the original decorative ceiling plaster works design.</li> </ul>
		Plastered walls	Moderate		<ul style="list-style-type: none"> <li>The openings shall be formed by removal of masonry units, subject to the advice from Registered Structural Engineer.</li> <li>Instead of forming new holes, existing openings on walls should be utilized as far as practicable.</li> <li>Location of new openings for passage of piping should be located at a less prominent location, and should be agreed prior the works.</li> </ul>



	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
C-48	Install new building services such as light fittings, electrical trunking and conduits, air conditioning units, visual fire alarms, socket outlets, etc.	Building structure, historic decorative plaster work, plastered walls	High	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>▪ All the pipes and ducts of all kinds of building services installation should be grouped together when entering the building so that minimum number of holes will be made on the historic wall surfaces and floor.</li> <li>▪ Cable trunking should be used instead of individual electrical conduits.</li> <li>▪ Disturbance to historic fabric should be kept to a minimum to avoid adverse visual impact and affect the structural integrity of the building.</li> <li>▪ Instead of forming new holes, existing openings on walls should be utilized as far as practicable.</li> </ul>

# 5

## INTERPRETATION

### 5.1 Interpretation

Haw Par Music Farm emphasizes the inherent historical value and significance of the Mansion. The focus of interpretation of the Haw Par Mansion shall be its linkage to the historic evolution of the Tiger Balm Gardens and Haw Par Mansion and activities once took place in the Mansion when the Aws were living there:

- The renowned Tiger Balm Garden was purposely built for the Chinese for free so as to promote the product of Tiger Balm when there was no public park or recreation facility available for the Chinese in Hong Kong in the 1930s.
- Aw Boon Haw was a Burmese Chinese prominent entrepreneur and philanthropist with his product, Tiger Balm very popular in the Southeast Asia.
- The Haw Par Mansion is one of the three mansions of the Aw's in the world, and was the only physical trace of the demolished Tiger Balm Garden which was significant in the social context of Hong Kong from the 1930s-1990s.
- The Mansion of the Chinese Eclectic style has a strong association with the social background in the 1920s-1930s, the time when the social status of Chinese businessmen began to rise in Hong Kong, who determined to build their residences with prominent Chinese architectural features to pay their patriot towards their own country.
- The Mansion and its Private Garden were private area, where the design of such was different from the thematic design of the Tiger Balm Garden which was opened to the public.

Clever and imaginative interpretation of the function and use of the Site and its linkage to the former Tiger Balm Garden will set the context for a comprehensive understanding of the cultural and social background of the Site. Activities and programs to be held at the Site shall be designed to help users and visitors experience the ambience of the Mansion in its heydays.

The conceptual framework of the interpretation is proposed to tie in with the different uses of the buildings and areas as follows:

Location	Interpretation	Presentation
Landscape deck (on the roof of the Ancillary Block)	<ul style="list-style-type: none"> <li>Reveal the history of the heritage site with its linkage to the Tiger Balm Garden</li> <li>Offer guided tours and open to public during office hours</li> </ul>	<ul style="list-style-type: none"> <li>Presentation of the “Courts of Hell” or mural wall</li> <li>Display of old items left by the former owner</li> <li>Guided tours</li> </ul>
Private Garden	<ul style="list-style-type: none"> <li>Reveal the original setting and atmosphere of the Private Garden</li> <li>Organize events and festivities for visitors to evoke the ambience of the public parties Aw Boon Haw held in the past</li> <li>Offer guided tours and open to public during office hours</li> </ul>	<ul style="list-style-type: none"> <li>Display of original setting of the garden</li> <li>Occasional events and festivities</li> <li>Guided tours</li> </ul>
Entrance lobby	<ul style="list-style-type: none"> <li>Provide information on the guided tour and brief historic and architectural background on Haw Par Mansion and the Aw family</li> <li>Display on the architectural evolution and history of the Tiger Balm Garden and Haw Par Mansion</li> <li>Display of the conservation process on the revitalization of Haw Par Mansion into Haw Par Music Farm</li> </ul>	<ul style="list-style-type: none"> <li>Pamphlet</li> <li>Interpretative panels</li> <li>Guided tours</li> <li>Video display</li> </ul>
Original servants' staircase linking to the dish delivery passage	<ul style="list-style-type: none"> <li>Reveal the original setting of the Mansion</li> <li>Offer guided tours</li> </ul>	<ul style="list-style-type: none"> <li>Display of the original staircase linking to the dish delivery passage</li> <li>Guided tours</li> </ul>
Interpretation Area	<ul style="list-style-type: none"> <li>Reinterpret the original setting of the Mansion</li> <li>Organize musical performance for visitors to experience the ambience of the Mansion in its heydays</li> <li>Offer guided tours</li> </ul>	<ul style="list-style-type: none"> <li>Display of old items left by the former owner</li> <li>Interpretative panels</li> <li>Occasional musical performance</li> <li>Guided tours</li> </ul>
Bathroom (on I/F)	<ul style="list-style-type: none"> <li>Reveal the original setting of the Mansion</li> <li>Offer guided tours</li> </ul>	<ul style="list-style-type: none"> <li>Display of original setting of the bathroom including the sanitary fittings</li> <li>Guided tours</li> </ul>
Penthouse	<ul style="list-style-type: none"> <li>Offer guided tours</li> </ul>	<ul style="list-style-type: none"> <li>Guided tours</li> </ul>

## 5.2 Guided tour

### 5.2.1 Tour program

The guided tour aims to convey the following topics to the public:

- The history of Aw Boon Haw, Tiger Balm Gardens and Haw Par Mansion
- The activities took places in Haw Par Mansion
- The religious belief of the Aw family
- The architectural design and characteristics of Haw Par Mansion in terms of architectural style and hierarchy in spatial organization
- The conservation process of Haw Par Mansion
- Issues aroused during the course of adaptive reuse

The above topics will be brought out through the personal experience of the tour participants in a hierarchy in spaces and architectural features of the Mansion and its Private Garden. Interpretation through the explanation of the tour guide, display of the original settings of the rooms and private collections of the Aw's family will be incorporated.

#### (1) Lower Ground Floor Entrance to Property

- Signage will guide visitors to meeting point upstairs in Garden.

#### (2) Tour Meeting Point

- Begin tour at Corner Tower. Give a brief historic background on the relationship of Tiger Balm Gardens, Haw Par Mansion and Aw Boon Haw.
- Introduce the setting of the Site mainly comprises Haw Par Mansion and its Private Garden.
- Explain on the history of the Tiger Balm Gardens, as a famous tourist spot which tried to convey some moral messages through the sculptures and garden structures in the past.

#### (3) Fronting Haw Par Mansion

- Explain the architectural style and history of Haw Par Mansion.

#### (4), (5) & (6) Garden structures

- Introduce some of the garden structures and their respective styles, e.g. pavilion, fountain, pond etc.

#### (7) & (8) Enter Main Reception Area

- Issue pamphlet with information on the guided tour including the guided tour maps and brief historic and architectural background on Haw Par Mansion and Aw Boon Haw.
- The background and the conservation process of the Mansion will be explained.
- Give information about the Haw Par Music Farm project for tour participants to peruse later.
- Music Program information will be available.
- Information on Tiger Balm Gardens and the conservation process are available here.

#### (9) Take stairs (or lift) up to Ground Floor

- Explain the original servants' passage up to the family living and entertaining areas.

- Point out the original dish delivery passage and describe how food was served from the kitchen to the dining room in the heydays using the passage and the pass through.

#### **(10) Ground Floor Main Entrance Hall (indoor interpretation area)**

This is the longest stop on the tour.

- The Hall will be furnished with the original furniture and old items left by the Aw Family and stored at AMO to reinterpret the original setting of the Hall.
- Explain the internal layout of the Mansion, the zoning of different activities as well as the hierarchy of space on plan. Point out the two side rooms to the West that were the Game Room (G14) and the Music Room (G15).
- Highlight the architectural features found in the Hall and explain their significance, e.g. the plastered ceiling, murals, flooring, moon-gate with stained glasses, timber carvings, etc.
- Talk about the Aw Family, the entertaining and other activities that were done in the hall. Tour guide could show some old photos of this area to the tour participants.

#### **(10A) – (10C) Former Game Room, Music Room and Dining Room**

- If the Classrooms are not in use, the guided tour could be extended to these rooms where the architectural features and original activities done there could be highlighted.

#### **(11) Original Entrance Porch and Lobby**

- Point out the Burmese bas-relief panels. Talk about the family history from Fujian to Burma to Singapore to Hong Kong.

#### **(12) Tiger Stained Glass Doors exit to Porch**

- Introduce the stained glass and explain that this porch was where a majority of formal portraits of the family were taken.

#### **(13) Split Level Landing**

- Talk about the Dining Room (G12) and Aw Boon Haw's study (G05).
- Talk about Tiger Balm and Newspaper history and/or memorabilia.
- Take the stairs to the First Floor.

#### **(14) First Floor Hallway 1**

- Display of Aw family objects. Talk about Aw Boon Haw's Jade Collection.
- Point out the Burmese bas-relief panel.

#### **(15) & (16) Hallway 2 & Hallway 3**

- Show the I/F layout and talk about different bedrooms and indicate their relative occupants in the past.
- Point out the architectural features of the Hallway 2 (103) and make comparison to the architectural features below to demonstrate different hierarchy of space through reading the architectural features.



#### **(17) Master Bedroom and Bathroom**

- Talk about the architectural features found in the Master Bedroom and highlight the safe.
- Then walk into the bathroom and talk about the original 1930s style of the bathroom décor and its authentic fixtures.

#### **(18) Family Meditation Area**

- Point out the Burmese bas-relief panel in Classroom (202).
- Discuss the Aw family and their religious beliefs.
- Display interpretative panels on the Aw family's philanthropy.

#### **(19) Roof Terrace**

- An overview of the historic context of Tai Hang/ Causeway Bay and recall the setting of the Site and the Private Garden.
- Talk about Aw Boon Haw sitting on the roof and drinking tea in the evenings.
- Talk about the architectural features found on the roof terrace, namely the decorative Chinese glazed ceramic tiling, the *Shiwan* ceramic features, the corner room, the chimney stacks, and water tower.

#### **(20) External Stairs**

- Take tour down the new external stairs.
- Explain the conservation principles of the adaptive reuse scheme (e.g., reversible, minimum intervention, distinguishability between new and old). Highlight the issues during the course of adaptive reuse, such as fulfilling the requirement of the modern building standards, point out the difficulties and how they are complied in Haw Par Music Farm.
- Remind tour participants that more information about the conservation process could be found in the reception.

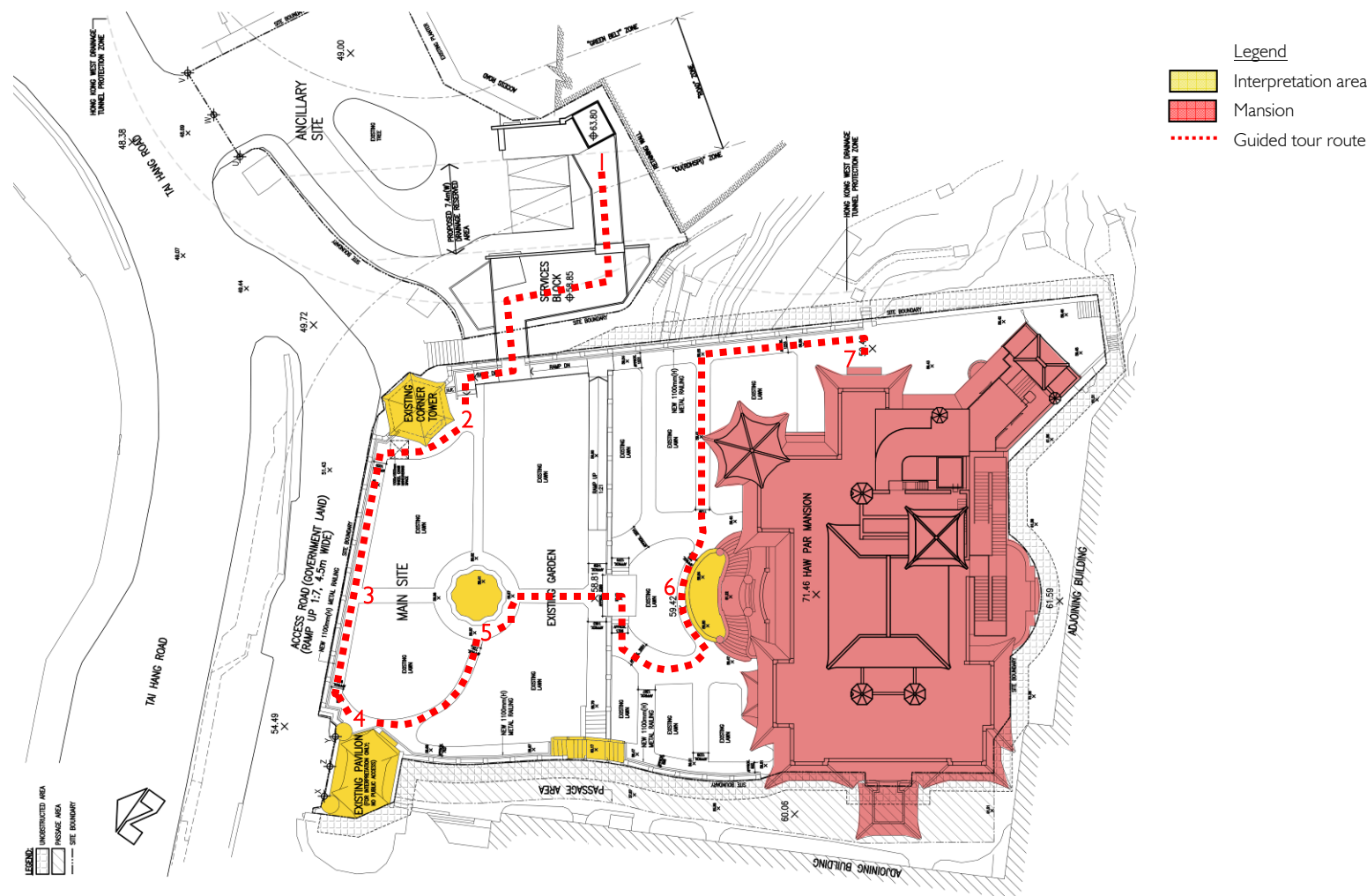
#### **(21) Kitchen**

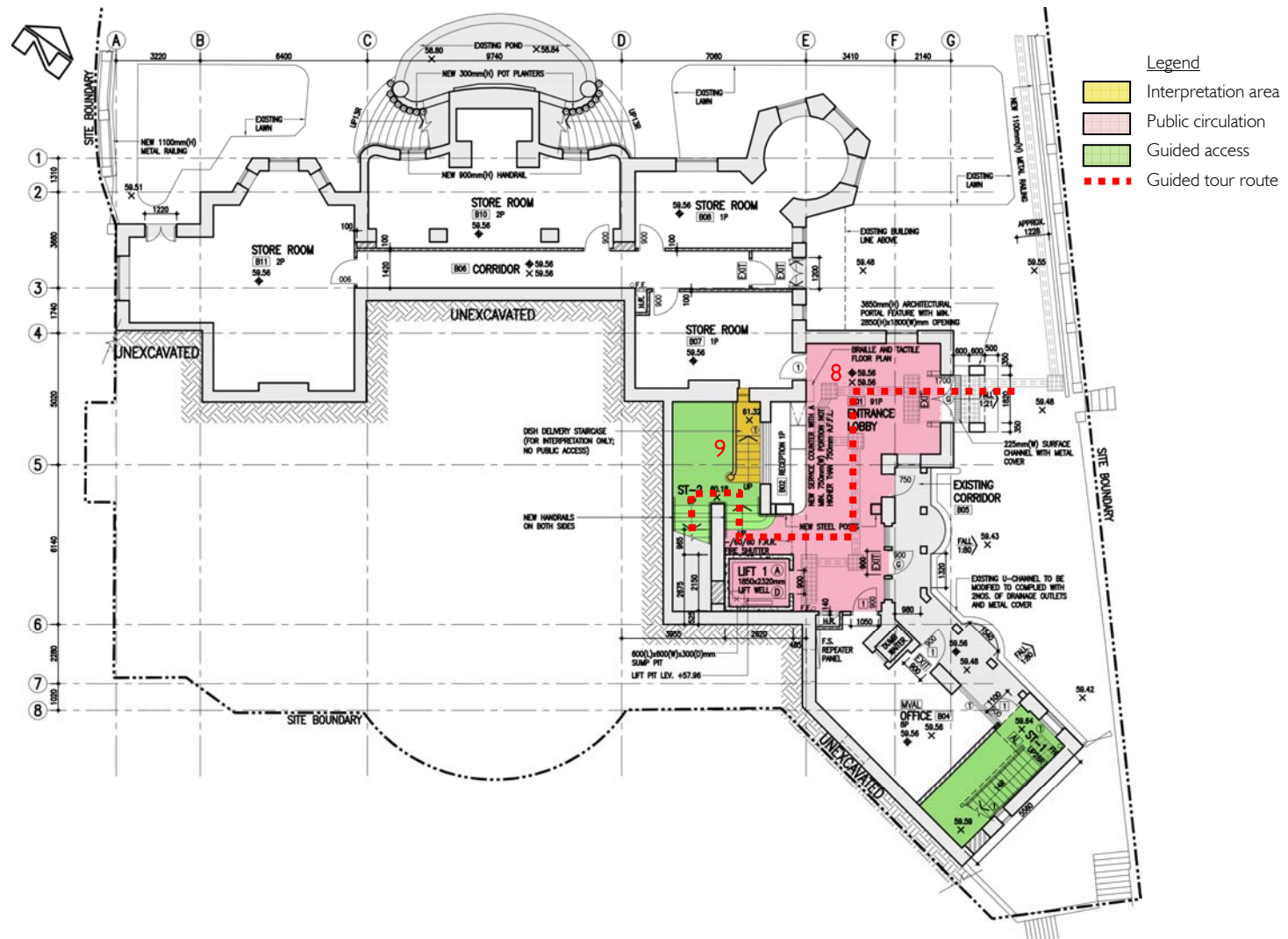
- Talk about kitchen and the servants.

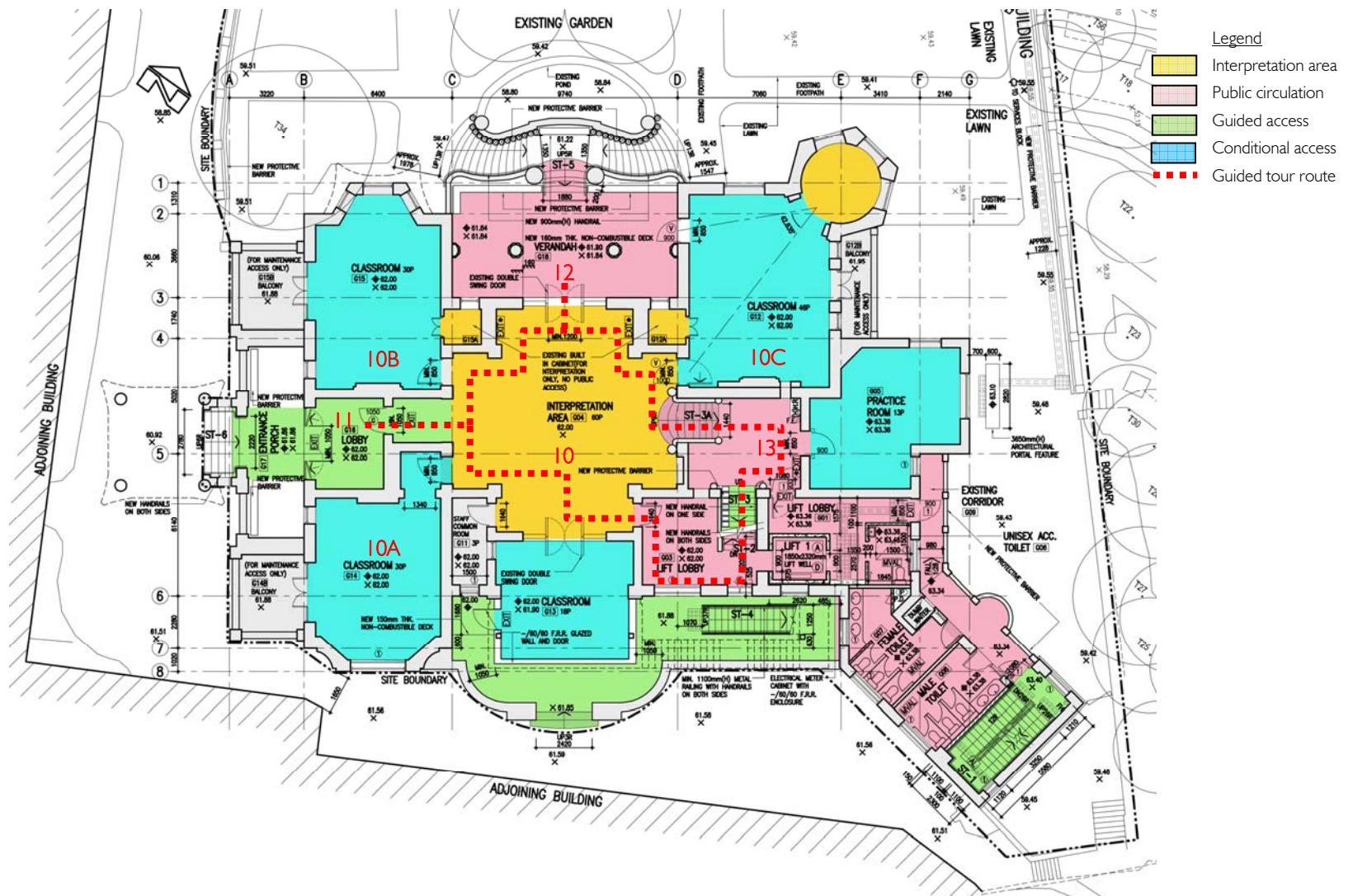
#### **(22) Reception**

- Take people back to the reception to let them collect Program information from the receptionist.

5.2.2 Route of Guided Tour









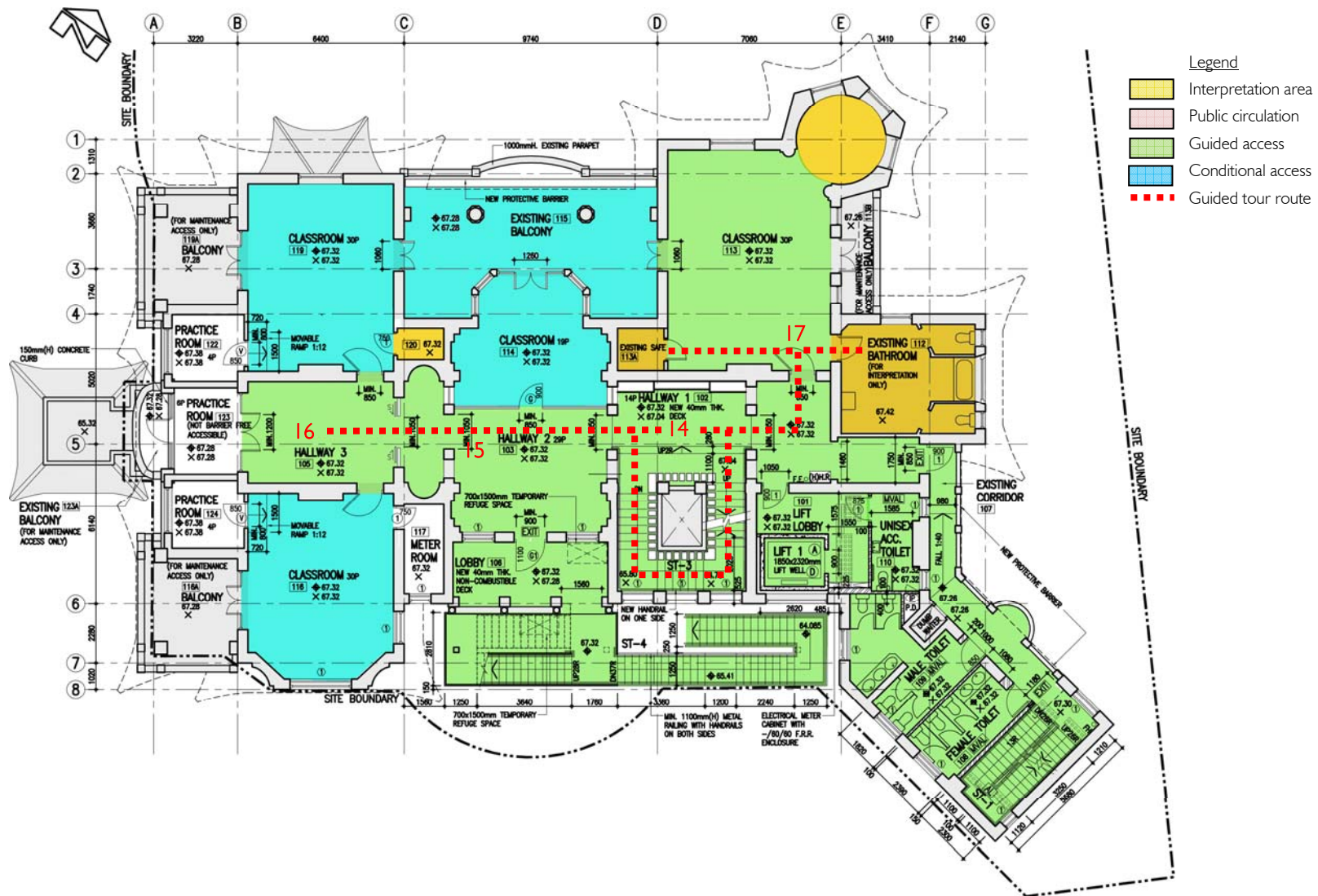


Fig. 66. First floor plan.







# 6

## MANAGEMENT AND IMPLEMENTATION

### 6.1 Maintenance management plan

Once the conservation and adaption work is completed on a historic and significant building, on-going maintenance is necessary to keep the building in good order. Maintenance is an essential part of the conservation/preservation process.

Repairs required as part of on-going maintenance should be undertaken to match the materials, colour or texture of the existing, and must blend in with existing fabric. Maintenance work should be governed by the Burra Charter principle of **“Do as much as necessary and as little as possible”**.

A maintenance schedule should be developed which includes:

- Regular inspection to check the degree of deterioration of all Character defining elements
- Annual inspection of the condition of the building structure
- Quarterly monitoring of the termite control and eradication system to the timber elements and in the private garden
- Regular inspection of internal and external finishes and fittings
- Regular monitoring of site drainage and plumbing system
- Regular maintenance to the plants and the private garden

The maintenance management plan will be reviewed annually by building management professionals, conservationists and professionals with thorough understanding of managing a heritage site to ensure the execution of a proper maintenances programme.

A maintenance manual or handbook delineating the recommended procedures of carrying out necessary maintenance works, schedule of building materials and identified conservation items will be compiled and provided to future frontline maintenance staffs to ensure their adequate understanding of their duties and necessity in better maintaining the heritage site.

### 6.2 Property management proposal

The conservation and adaption of the buildings is only the first stage in an ongoing process of care and management. It is important that everyone involved with the use of the heritage site is aware of its value and the level of care which must be taken when any works are proposed.

Damaging and often irreversible changes can inadvertently occur through ill-considered actions or ignorance. To avoid this situation occurring, all staff involved in any aspect of the management of Haw Par Music Farm must be briefed on the significance and appropriate management of the buildings and its setting. An operation manual detailing the significance and appropriate management of the buildings and its setting, as

well as the identified conservation items will be complied and provided to future users for guiding the operation of the building without degrading its heritage significance in any aspect.

No new work, however minor or seemingly insignificant should occur without approval and checking. For example, nothing should be fixed on or into internal or external walls without prior approval.

The property management plan will be reviewed annually by building management professionals, conservationists and professionals with thorough understanding of managing a historic building to ensure the execution of a proper management programme.

## 6.3 Future development

For any future development to the historic buildings and site, including renovation works, alterations and additions, is intended, prior consultation and consent should be sought from Haw Par Music Foundation Ltd., Development Bureau and Antiquities & Monuments Office. The proposed works should follow the internationally recognized conservation principles and be designed by qualified conservationists such as a Conservation Architect or a Heritage Consultant.

## 6.4 Documentation

Before the commencement of any works on site, a detailed photographic and cartographic survey will be conducted by experienced surveyors/conservationist to provide important reference to all later restoration and renovation works. Besides, as-built drawings and photos to the historic buildings upon the completion of the restoration works will be prepared for record purpose. These survey reports and all conservation studies, site inspection records will be kept at the management office and made available to the users and professionals who are responsible for up-keeping the historic site and managing the changes of the historical place.

Documentation of the whole conservation process, from conceptualization to implementation stage will also be required, so that an understanding of the changes to the historic fabrics is recorded to inform future care and maintenance. Such documentation, say measured drawings, photographic records of the conservation works in process, may also form educational materials displayed to the public as part of the interpretation strategies. Upon the completion of conservation works, all these documentations should be well kept at Haw Par Music Farm.

## 6.5 Financial resources

Under the Revitalizing Historic Buildings through Partnership Scheme, budget is allocated for the general maintenance work of the buildings in the coming 3 years. The maintenance cost will be allocated from the operational surplus after the first 3 years.

Haw Par Music Foundation Ltd. will be responsible for the repair and maintenance work to up-keep the site for operation.

## 6.6 Implementation of HIA

### 6.6.1 Staffing and management structure

- A heritage expert should be appointed in the project team during the design and construction stage to ensure that the conservation policies stated in the conservation management plan can be appropriately and effectively executed.

- A project officer/curator should be appointed for the interpretation strategy.
- A management committee consisting of building professionals will be set up to oversee the implementation and operation of the scheme as well as draw the operation manual and maintenance manual.

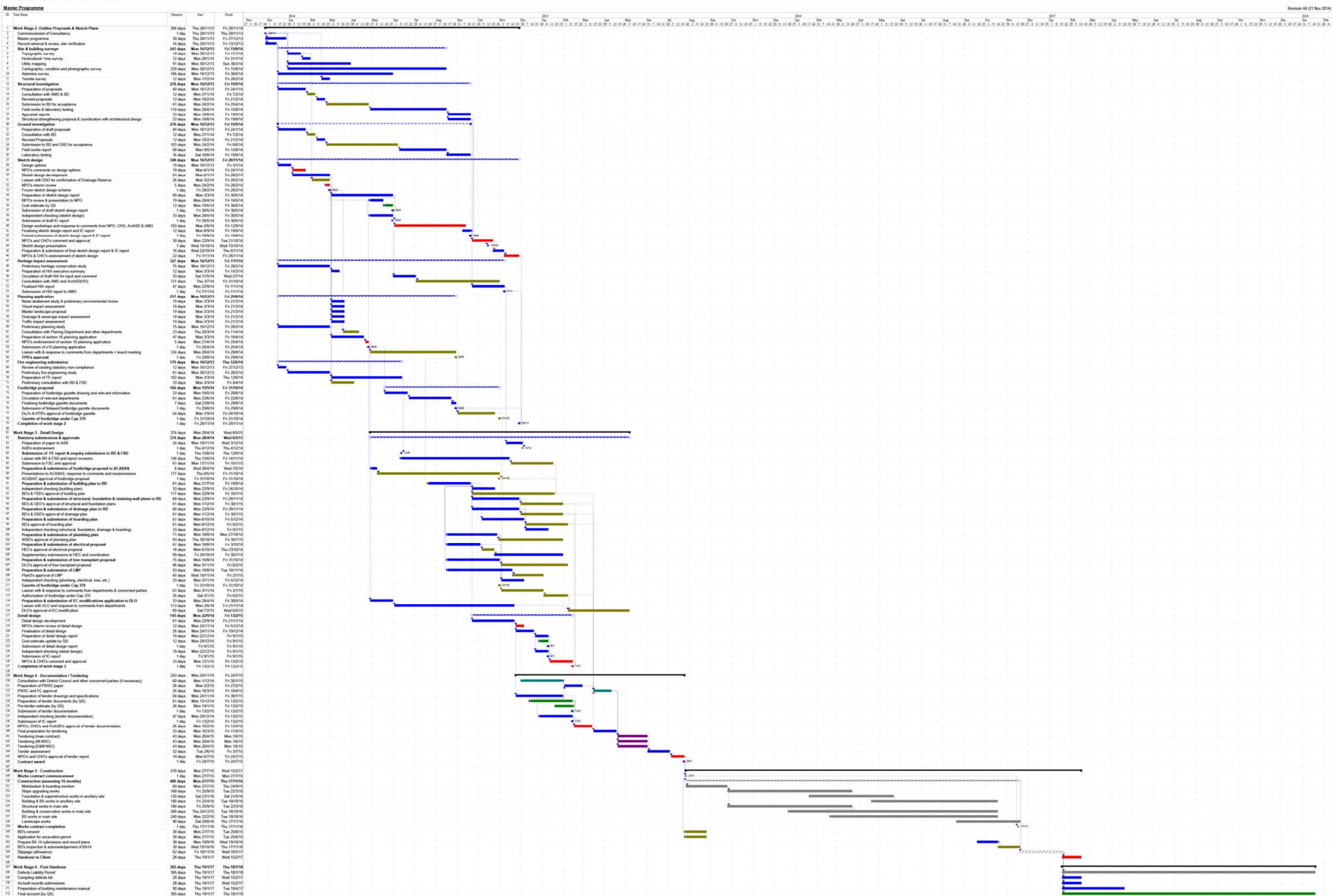
### **6.6.2 Proposed works**

Any proposed works in future not mentioned in this HIA, including demolition, alteration and addition works, restoration and repair works to the identified CDEs shall be reported with mitigation measures for further approval from the AMO.

### **6.6.3 Implementation programme**

The proposed work programme for the revitalization of the Haw Par Mansion into Haw Par Music Farm is as follows:

Revitalisation of Haw Par Mansion into Haw Par Music Farm





## APPENDIX I

### Existing layout plans of the Haw Par Mansion

- Existing Lower Ground Floor Plan (1:250)
- Existing Ground Floor Plan (1:250)
- Existing First Floor Plan (1:250)
- Existing Roof Terrace Floor Plan (1:250)
- Existing Roof Plan (1:250)

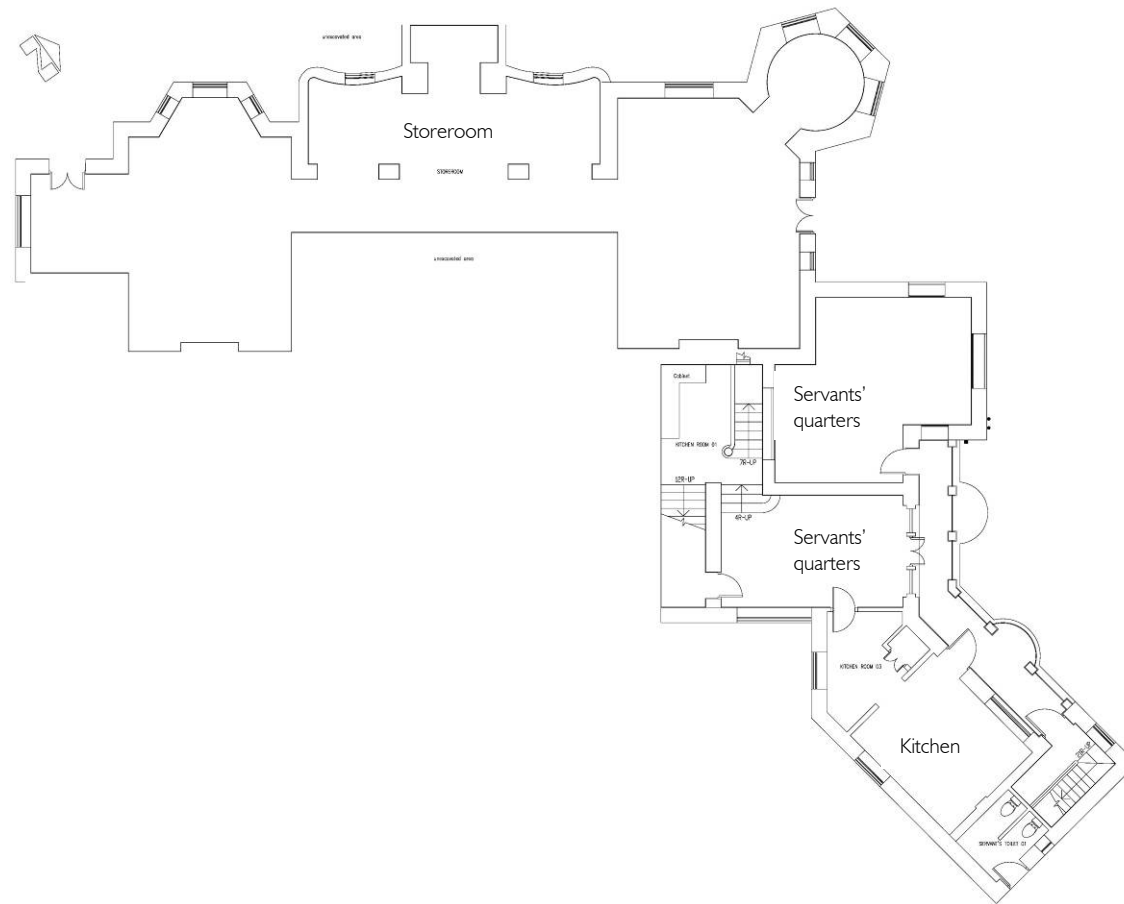


Fig. 69. Existing Lower Ground Floor Plan (1:250).

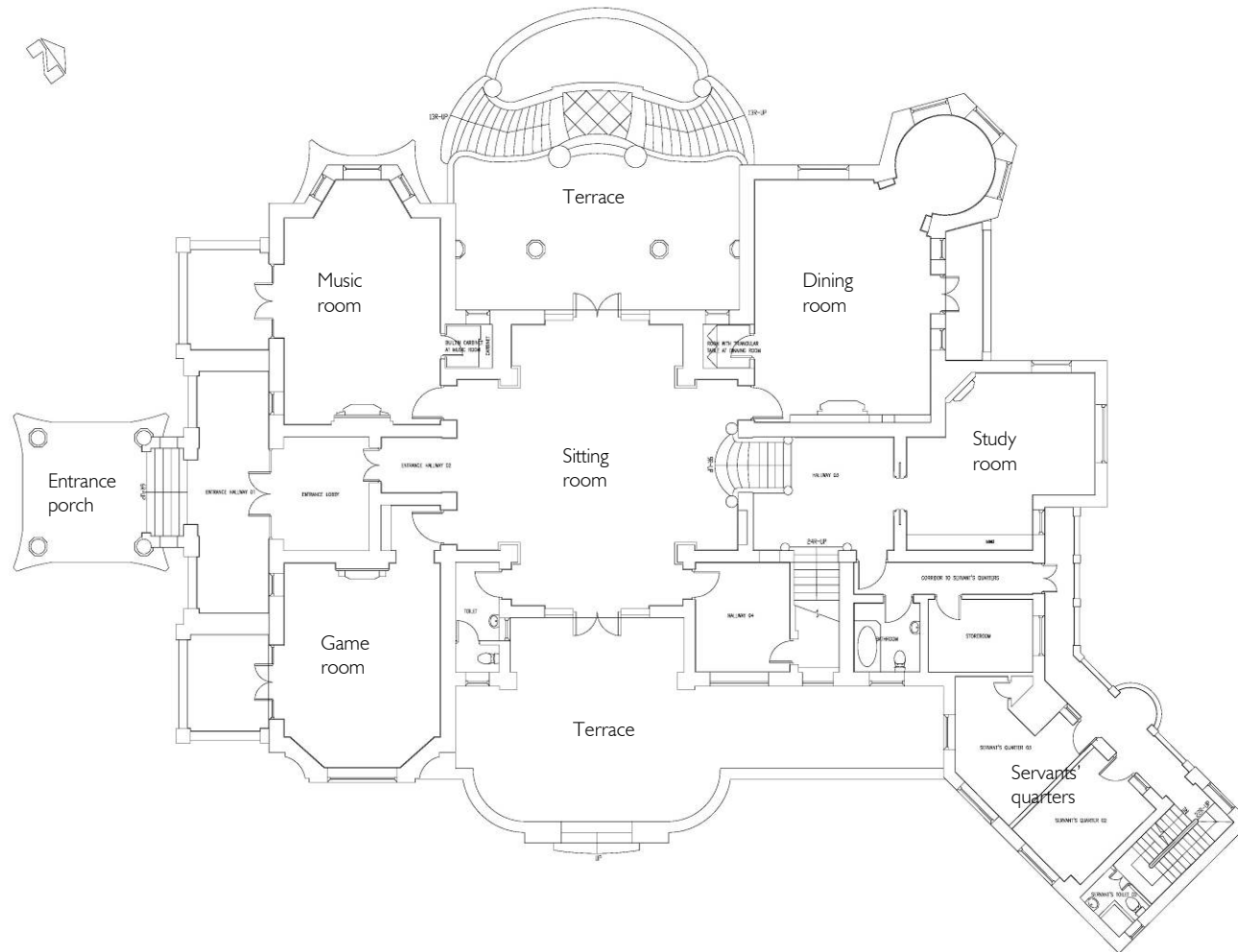


Fig. 70. Existing Ground Floor Plan (1:250).

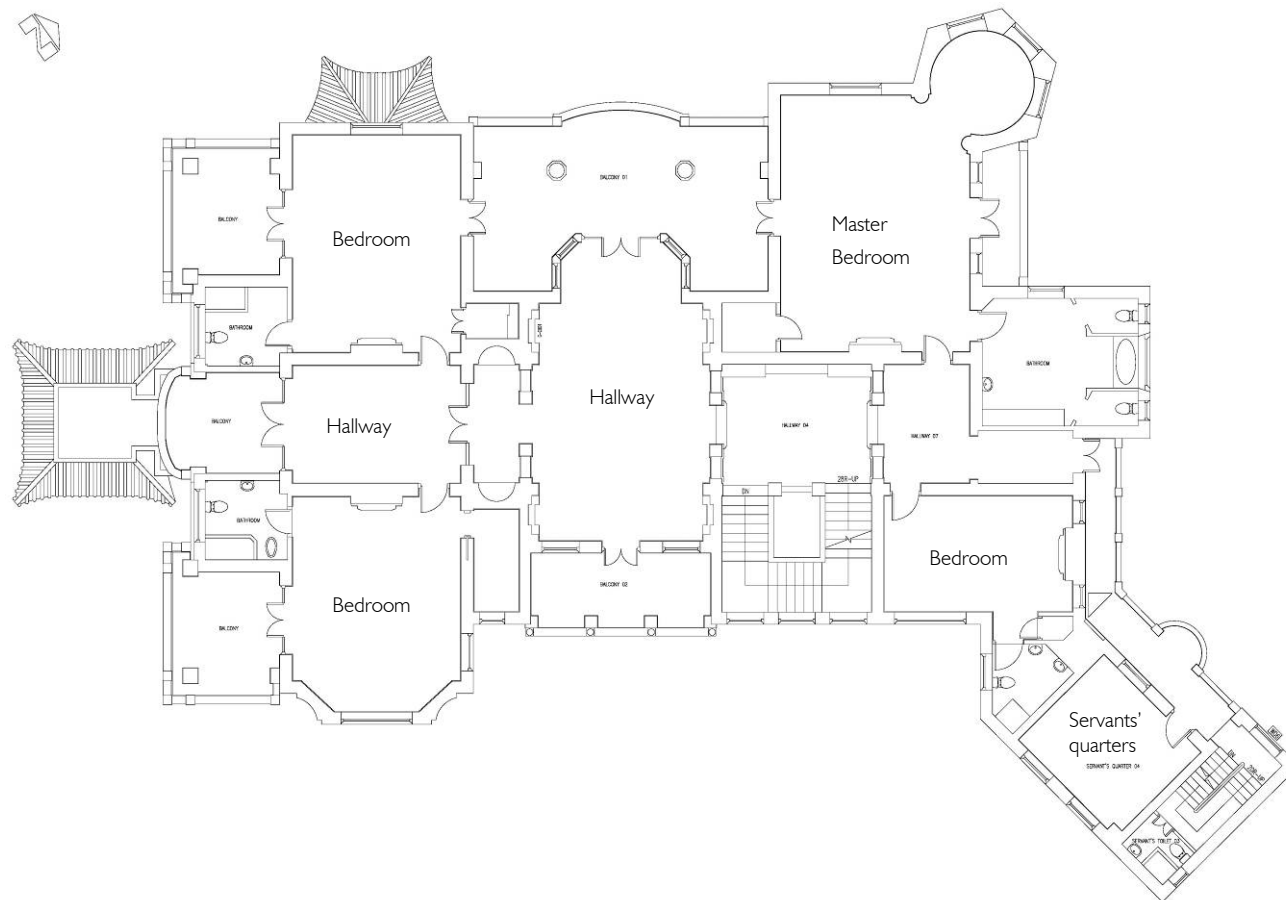


Fig. 71. Existing First Floor Plan (1:250).

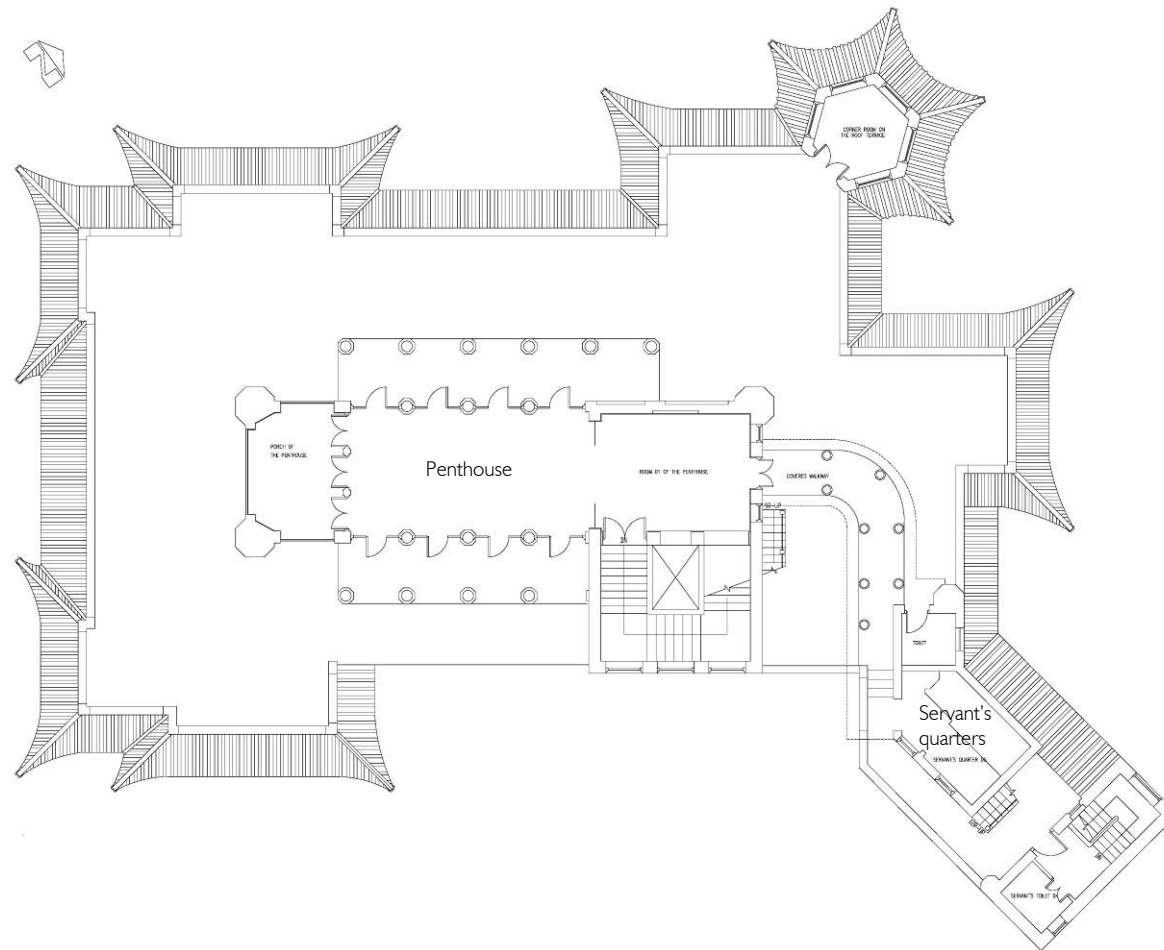


Fig. 72. Existing Roof Terrace Floor Plan (1:250).





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