



Hong Kong Heritage
Conservation Foundation Limited
香港歷史文物保育建設有限公司

CONSERVATION MANAGEMENT PLAN FOR THE OLD TAI O POLICE STATION



HONG KONG HERITAGE CONSERVATION
FOUNDATION LIMITED

APRIL 2009

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1.1 PROJECT BRIEF

Introduction

The Old Tai O Police Station was graded by the Antiquities Advisory Board as a Grade III Historical Building in 1988. It has been included in the Revitalizing Historic Buildings through Partnership Scheme (RHBTPS) announced by the Development Bureau (DEVB) in 2007 in response to the Chief Executive's policy address of 2007 regarding heritage conservation and revitalization of historic buildings. Hong Kong Heritage Conservation Foundation Limited (HKHCFL), a local non-profit-making organization established for promoting local heritage conservation, submitted a conservation proposal of adaptive reuse of the Old Tai O Police Station as a living heritage hotel. The Secretary of Development Bureau had accepted the recommendation of the Advisory Committee on Revitalization of Historic Buildings and eventually in February 2009 gave approval-in-principle to HKHCFL's proposal.

The Tai O Heritage Hotel is envisioned as a 9-suite lodging to be housed in a distinctive architectural heritage building. This boutique hotel on Lantau Island will take advantage of its rural setting, tranquility and green environment. Thus the adaptation of this building to a boutique hotel would offer an attractive alternative experience compared to other built-up locations.

The revitalization of historic buildings into hospitality accommodations has been very successfully implemented in other locations such as the Pousadas of Portugal, Paradores of Spain and Chateaux of France. These programs have revitalized national architectural treasures such as palaces and castles, turning former obsolete uses into very popular hotels known not only for their unique hotel accommodations but also for providing heritage vacation experiences and some of the finest gastronomic experiences.

"Living History Hotels", the logo of the Portuguese Pousadas, a chain of 40 exclusive hotels, summarizes the essence of these state owned hotels which are operated by independent hotel groups. There are four categories of pousadas: Historic Pousada, Historic Design Pousada, Nature Pousada, and Charm Pousada. Their major role is to preserve the environment and cultural heritage.

"They offer a rich variety of choice and include historic castles, former monasteries, palaces and convents always in idyllic locations whether it be historic cities or rural areas of outstanding natural beauty or interest."

In developing the project objectives, HKHCFL has given due consideration in how to satisfy the following core stakeholders:-

- ◆ Antiquities Advisory Board (AAB)
- ◆ Commissioner for Heritage's Office, Development Bureau (DEVB)
- ◆ Antiquities and Monuments Office (AMO)
- ◆ The Hong Kong Police Force
- ◆ The different communities in Tai O Fishing Village
- ◆ Conservationists and equivalent professionals
- ◆ Eco-tourism enthusiasts
- ◆ Hong Kong Tourism Board and related tourism organizations/associations
- ◆ Media
- ◆ Tourists

The revitalization of the Old Tai O Police Station into a boutique hotel, Tai O Heritage Hotel will be accomplished in a similar spirit, to preserve the environment and cultural heritage.

The Prime Objectives of the Project are:

- ◆ To provide social enterprise by adapting the historical police station for use as a boutique hotel.
- ◆ To promote overseas tourism to Tai O and to Hong Kong as a whole.
- ◆ To provide Hongkongers with a place of retreat.
- ◆ To engage with the local community and provide employment and training to Tai O residents and others.
- ◆ To promote eco-friendly environment.
- ◆ To preserve, restore, repair, revitalize and maintain valuable historical heritage, remove and rectify the inconsistent additions.
- ◆ To promote self-sustainability.
- ◆ Tai O Heritage Hotel can be the first of many "Living History Hotels" in Hong Kong.

Acknowledgements

HKHCFL would like to acknowledge the following persons, parties, organizations and departments for their assistance and contribution in preparing this report:

- ◆ Commissioner for Heritage's Office, Development Bureau
- ◆ Antiquities and Monuments Office
- ◆ Architectural Services Department
- ◆ Public Record Office
- ◆ Survey & Mapping Office, Lands Department
- ◆ Government Information Services
- ◆ The Hong Kong Police Force
- ◆ Mr. Ross Mitchell, Sub-inspector of Tai O Police Station in 1970s
- ◆ Ms. Annemarie Evans
- ◆ Ms Cheryll Chan, Manager, Leasing & Marketing Communications, The Fullerton Heritage
- ◆ Mr. C.M. Lee, Director of LCM & Associates Ltd. – Conservation Architect & Heritage Consultant

Honorary Advisors:

- ◆ Professor David Lung, UNESCO Chair in Cultural Resources Management and Associate Dean of the Faculty of Architecture, University of Hong Kong
- ◆ Professor Desmond Hui, Head of Graduate Division of Cultural Studies, Chinese University of Hong Kong

1.2 SCOPE OF THE STUDY

The study focuses on adaptive reuse of Old Tai O Police Station under the Revitalizing Historic Building through Partnership Scheme. The main objective of this study is to develop a Conservation Management Plan (CMP) on how to manage the change of future use and conservation for the Old Tai O Police Station as Tai O Heritage Hotel.

The Conservation Management Plan provides a set of guiding principles on the proposal developed by the Hong Kong Heritage Conservation Foundation Limited and visions that can be useful for a better understanding of community contribution. The study will make reference to the proposed hotel use already accepted by DEVB for the Old Tai O Police Station within the context of this report. We will assess and address the following main issues in this report:

- a) Understanding the cultural significance of the historic place
- b) Assessment of information of the existing buildings and site to estimate opportunity and limitation of the proposal
- c) Proposed use and its compatibility in regard to cultural significance of the Old Tai O Police Station and its feasibility in regard to technical concern
- d) Establishment of Conservation Policies and Guidelines
- e) Interpretation strategy for the proposed Heritage Interpretation Centre (Reception / Museum / Library) and Eco-tourism
- f) Maintenance proposal and implementation

International charters and standards will apply throughout the adaptive reuse project.

- a) Venice Charter (1964): UNESCO - ICOMOS
- b) The Burra Charter (1999): Australia ICOMOS

1.3 METHODOLOGY

The CMP is based on desk top study of the available reports and documents, various site inspections of the physical buildings and oral history with reference to the Conservation Guidelines drawn by AMO in the Resources Kit of Old Tai O Police Station (the Resource Kit).

As prescribed in DEVB Technical Circular No. 11/2007, Heritage Impact Assessment (HIA) submission will be required for all government capital projects concerning Declared Monuments or Graded Historical Buildings. For RHBTPS projects, it has been agreed by DEVB and AMO that HIA submission would be made in the form of a Conservation Management Plan.

The framework of this CMP generally follows the Burra Charter Process by adopting the format of the Conservation Plan by Dr. J. Kerr, Sidney, National Trust of Australia (NSW), 2000, and with reference to the standards and guidelines set out in The Burra Charter – the Australia ICOMOS Charter for the Conservation of Place of Cultural Significance and the Conservation Plan.

This CMP introduces the concept of cultural significance and illustrates how to assess the heritage values of the historic place and for different elements or Character Defining Elements (CDEs) of the Old Tai O Police Station. The assessment of levels of significance is identified according to the standards and guidelines of the Burra Charter.

As hotel use has been specified for the Police Station in this project, it is anticipated that any necessary alteration, addition, modification or removal of existing building fabrics fulfilling building code requirements and functional needs may result to certain degree of impacts. Assessment of the impacts will be identified in respect of the preliminary design scheme in the Proponent's Design Proposal that has been accepted by DEVB for this project.

Avoiding impacts will take precedent to mitigation measures. If impacts are unavoidable, mitigation measures will be proposed to reduce and alleviate such adverse impacts resulted. The overall effect of implementation of mitigation measures will be assessed in four levels of impact from High, Medium, Low to Neutral in demonstrating the overall effectiveness of the proposed mitigation measures.

This Conservation Management Plan is prepared by Hong Kong Heritage Conservation Foundation Limited with the assistance and advice of Mr. C.M. Lee, Director of LCM & Associates Ltd. – Conservation Architect & Heritage Consultant for submission to the Heritage Commissioner's Office of the Development Bureau and Antiquities & Monuments Office.

Definitions

The following definitions shall refer to the meaning within the context of this report as below:

The Site or the Historic Place: means the existing site of the Old Tai O Police Station

The Historic Buildings: means the existing Main Building, Outhouse and Later Extension Block situated at *the Site*

Adaptive Reuse: means modifying a historic place, site or buildings to suit its existing use or a proposed new use; also referred as *Adaptation* or *Rehabilitation* in the context of conservation approach

The following definitions are borrowed from the Burra Charter *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance* as below:

Place: means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance: means aesthetic, historic, scientific or social value for past, present or future generations.

Fabric: means all the physical material of the *place*, including components, fixtures, contents, and objects.

Conservation: means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance: means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves *restoration* or *reconstruction*.

Preservation: means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration: means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction: means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of materials [new or old] into the *fabric*.

Adaptation: means modifying a *place* to suit the existing *use* or a proposed use.

Use: means the functions of a *place*, as well as the activities and practices that may occur at the *place*.

Compatible use: means a *use* which respects the *cultural significance* of the *place*. Such a *use* involves no, or minimal, impact on cultural significance.

Setting: means the area around a *place*, which may include the visual catchment.

Related place: means a *place* that contributes to the *cultural significance* of another place.

Related object: means an object that contributes to the *cultural significance* of a *place* but is not at the place.

Associations: mean the special connections that exist between people and a *place*.

Meanings: denote what a *place* signifies, indicates, evokes or expresses.

Interpretation means all the ways of presenting the *cultural significance* of a *place*.

2.1 SITE LOCATION

The Old Tai O Police Station is located at Shek Tsai Po Street, Tai O, Lantau Island, Hong Kong. The Police Station consisting of a two-storey main building and a two-storey outhouse built in 1902, and a one-storey extension block constructed in 1961-62, is situated on a slope next to the nearby Tai O Pier, overlooking the waters west of the Tai O Village.

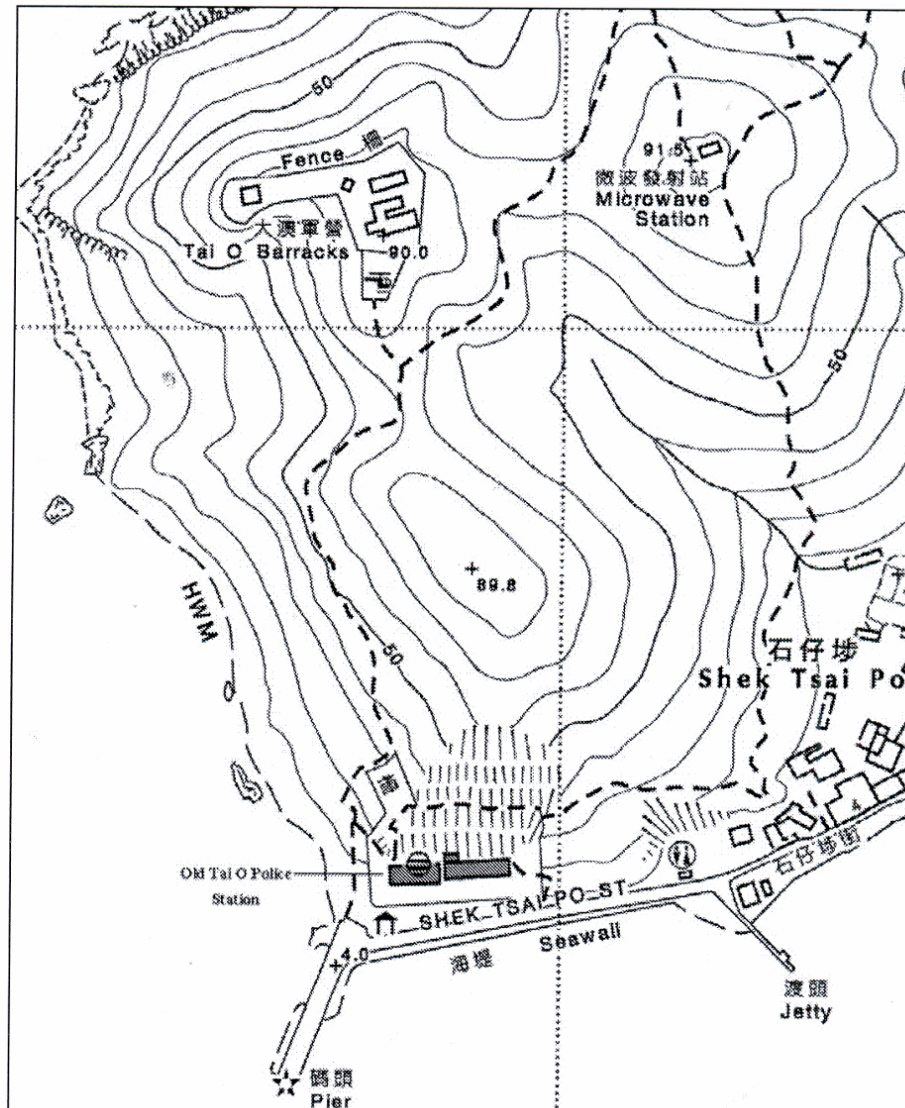


Figure 1. Location Map of the Old Tai O Police Station

(Source: RHBTPS Resource Kit of Tai O Police Station, Development Bureau, HKSAR)

2.2 HISTORICAL DEVELOPMENT¹

Tai O had remained as a remote fishing village on Lantau Island (named Tai Kai Shan [大奚山] or Tai Yue Shan [大嶼山、大嶼山] in old Chinese records) on the southern China coast for centuries before the leasing of the New Territories to the British in 1898. According to Chinese historical records, village settlement history in Tai O dated back to as late as late Ming Dynasty (late 16th century). The place of Tai O was recorded in a late 16th century coastal map of Kwang Tung (Guangdong) [廣東沿海圖] documented by Kwok Fei [郭棐] and appeared in different historic maps in Qing Dynasty.

The fishing villages in Tai O were originally inhabited by mainly Tanka [蛋家] fishermen who lived on their fishing boats or in stilt houses. They were joined by Hoklo people and other immigrants who moved to Tai O in later periods. Because of its fishery and salt pan production, the villages in Tai O became more established towards the end of Qing Dynasty (end of 19th to early 20th century) with its local street market developed along Wing On Street and Kat Hing Street.

In 1898, the New Territories including the whole Lantau Island and other outlying islands were leased to the British. Enforcement of the British administrative authority soon reached Tai O. In 1902, there was a Police Station built at the current site to reinforce the police forces on Lantau Island. The Old Tai O Police Station is situated on the small hill next to the present Tai O Pier. Before the Police Station was erected, a Chinese style house began to be used on 18 May 1899 in Tai O as a temporary police station (regarded as a yamen (衙門) - magistrate office).

From 1902, the officers of the Old Tai O Police Station were under the charge of the marine police until its closure in 1996. They were mainly responsible for the public security of the villages in Tai O and they patrolled within the community by means of sampan. Goods coming in and out of Tai O needed to be declared to Customs, whereas visitors needed to be interrogated by the police before landing the Tai O Pier.

It was recorded that fifteen police officers were stationed in the Police Station in 1903. Even in early 1950s, there were only fourteen police officers, a translator and an assistant working in the station. Hierarchical distinction was obvious within the organization. The European officers usually occupied the higher rank positions, whereas the Indian officers patrolled on the streets and the Chinese officers did clerical works.

¹ Information contained in this Section based on the RHBTPS Resource Kit and HKHCFL's research data

The villagers living in Tai O had long been bothered by bandits. A brutal robbery occurred in Tai O Village on 25 March 1925. Around sixty bandits held up and robbed thirty-five houses and shops. The villagers were unable to inform the police until the bandits left. According to the old villagers, it was also said that the Old Tai O Police Station was also captured by the bandits at that time.

According to the Government Gazette in 1903, the Old Tai O Police Station consists of two buildings at that time, namely the Main Building and the Outhouse. The Main Building is a two-storey building, which once contained a charge-room, two cells, dormitories for officers, three bathrooms and one storeroom. The Outhouse, partly two-storey and partly one-storey, was connected to the Main Building by a covered bridge. According to record, it contained kitchens, drying room, store and Indian officers' bathroom, an interpreter's room, an accommodation for servants and latrines.

In 1952, an extension of the Old Tai O Police Station was proposed by the Commissioner of Police to resolve its overcrowded and unhygienic conditions. A scheme was once introduced in 1957 to partly reconstruct the Old Tai O Police Station by demolishing the Outhouse to give space for building a three-storey structure that provided living and recreational facilities. Another proposal was also introduced in 1961 for building a two-storey block with washing and ironing facilities, modern bathrooms, kitchens and toilet with flushing system. The final design was to demolish the one-storey part of the Outhouse and rebuild a new one-storey extension connected to the two-storey part of the Outhouse. The additional barrack accommodation was completed in 1961-62. There was no piped water to the Old Tai O Police Station before the new barrack was erected and water was transported manually to the Police Station by boat.

The building was designated by the Antiquities Advisory Board as a Grade III Historic Building in 1988. The Old Tai O Police Station became a patrol post in 1996 and most of the officers were deployed to the Lung Tin Estate Report Centre. The Old Tai O Police Station was eventually closed in December 1996.

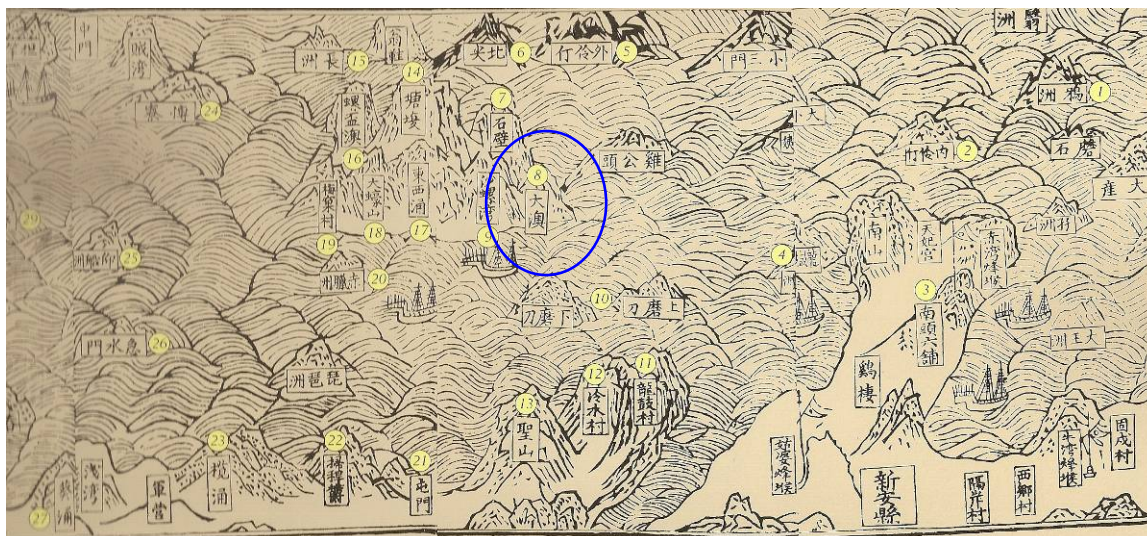


Figure 2. (Late 16th century) Coastal Map of Kwang Tung [廣東沿海圖] by Kwok Fei [郭棐] – Tai O (No.8)

(Source: Mapping Hong Kong, Government Information Services, the Government of HKSAR)



Figure 3. (pre-1840) Map of the Coast of China [中國海岸圖] – Tai O (No.11)

(Source: Mapping Hong Kong, Government Information Services, the Government of HKSAR)



Figure 4. (1964) Aerial Map of Tai O

(Source: Survey & Mapping Office, Lands Department, HKSAR)



Figure 5. (2008) A view of Tai O waterway

(Source: photo taken by Mr. C.M. Lee of LCM & Associates Ltd.)



**Figure 6. (2008) A View of the Old Tai O Police Station
– the façade of the Main Building after over a decade of deterioration**
(Source: Hong Kong Heritage Conservation Foundation Limited)



**Figure 7. (Undated) The European Police Officer was reading a newspaper at The Parrot's
Nest, Tai O Police Station by the fireplace, located on 2nd floor of the Main Building**
(Source: Annemarie Evans)



Figure 8. (1953) Photo taken on the occasion of Sub-Inspector C L Stevens (front row 6th from left) handing Tai O Station over to Sub-Inspector A. Anderson (front row 7th from left) on 22 July 1953. Mr. Chan Yu, Chairman of Tai O Rural Committee is 4th from left, and Sub-Inspector John Merriott 8th from left. Sergeant Wong Yat-wun, later to become a well-known Inspector, is 3rd from left in the second row.

(Source: Mariners: The Hong Kong Marine Police 1948-1997)



Figure 9. (1964) Police Launch No. 4 Sea Horse off Tai O Station in 1964.

(Source: Mariners: The Hong Kong Marine Police 1948-1997)

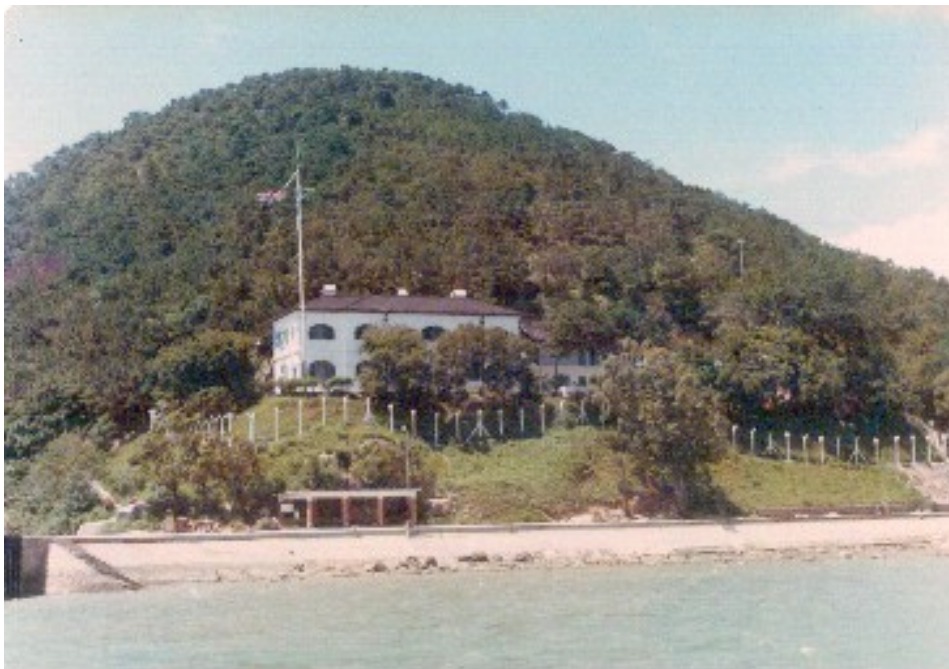


Figure 10. (Late 1970s) A view of the Tai O Police Station and its setting

(Source: Ross Mitchell, the then Sub-divisional Inspector of Tai O Police Station)

Chronological Events

The major events occurred in Tai O Police Station are summarized in the following table:

Period	Major Events
Before 1900s	<ul style="list-style-type: none"> - The New Territories (including Lantau Islands and other outlying islands) was leased to the British Government in 1898. - In May 1898, construction of a temporary police station – a magistracy office or “Yamen” in Chinese, in Tai O.
1900s	<ul style="list-style-type: none"> - Construction of the Tai O Police Station completed in 1902. - The Tai O Police Station was served as a marine police station to safeguard the waters of Tai O area, patrolled the villages on sampans, inspected goods and passengers landed at Tai O Pier.
1903	<ul style="list-style-type: none"> - It is recorded that 15 police officers stationed in the Tai O Police Station. - According to the Government Gazette, European officers occupied higher rank positions, Indian officers were responsible for patrolling on streets and Chinese officers for clerical posts. - The Main Building was a two-storey building, which once contained a charge room, two cells, dormitories for officers, three bathrooms and one storeroom. - The Outhouse, partly two-storey and partly one-storey and connected to the Main Building by a covered bridge, contained kitchens, drying room, store and Indian officers’ bathroom, an interpreter’s room, an accommodation for servants and latrines.
1920s	<ul style="list-style-type: none"> - On 25 March 1925, it was recorded that a gang of about 60 bandits attacked Tai O Village and robbed 35 village houses and shops. - It was told the old villagers that the Police Station was also under the bandits’ attack at that time.
1930s – 1940s	<ul style="list-style-type: none"> - In 1938, three years prior to the Japanese invasion in 1941, the Japanese army had already been attacking Chinese fishing vessels. - There were 71 attacks on Hong Kong-based vessels. While some were seen as legitimate targets, aiding the Chinese war effort, others were completely unprovoked².

² See Tai O Heritage Hotel by HKHCFL

1950s	<ul style="list-style-type: none"> - In early 1950s, it was recorded that there were 14 police officers, 1 interpreter and 1 assistant stationed in the Tai O Police Station. - In 1952, an extension plan of the Tai O Police Station was first proposed by the Commissioner of Police to improve the overcrowded and unhygienic conditions in the police station. - In 1957, a scheme proposal of demolishing the Outhouse and replacing it by a three-storey barrack block was introduced.
1960s	<ul style="list-style-type: none"> - In 1961, a revised scheme was proposed for constructing a new two-storey barrack block with modern bathrooms, washing and ironing facilities, kitchens and flushed toilets. - Construction of the extension block was completed in 1961-62. - The final scheme adopted was to demolish the existing one-storey portion of the Outhouse for rebuilding a new single storey extension block attached to the remaining two-storey portion of the Outhouse. The new extension block contained kitchens, drying room, store and Indian officers' bathroom, an interpreter's room, an accommodation for servants and latrines.
1980s	<ul style="list-style-type: none"> - Tai O Police Station was listed as a Grade III Historic Building by the Antiquities & Advisory Board in 1988.
1990s	<ul style="list-style-type: none"> - In 1996, the Police Station became a patrol post. Most of the officers were relocated to the Police Report Centre in the Lung Tin Estate. - Old Tai O Police Station eventually closed in December 1996.

2.3 STATEMENT OF CULTURAL SIGNIFICANCE

The Site Description

The Old Tai O Police Station is located at Shek Tsai Po Street, Tai O, Lantau Island, Hong Kong. The Police Station consisting of a two-storey main building and a two-storey outhouse built in 1902, and a one-storey extension block constructed in 1961-62, is situated on a slope next to the nearby Tai O Pier, overlooking the waters west to the Tai O Village. The boundary of the site is shown in the following site plan.

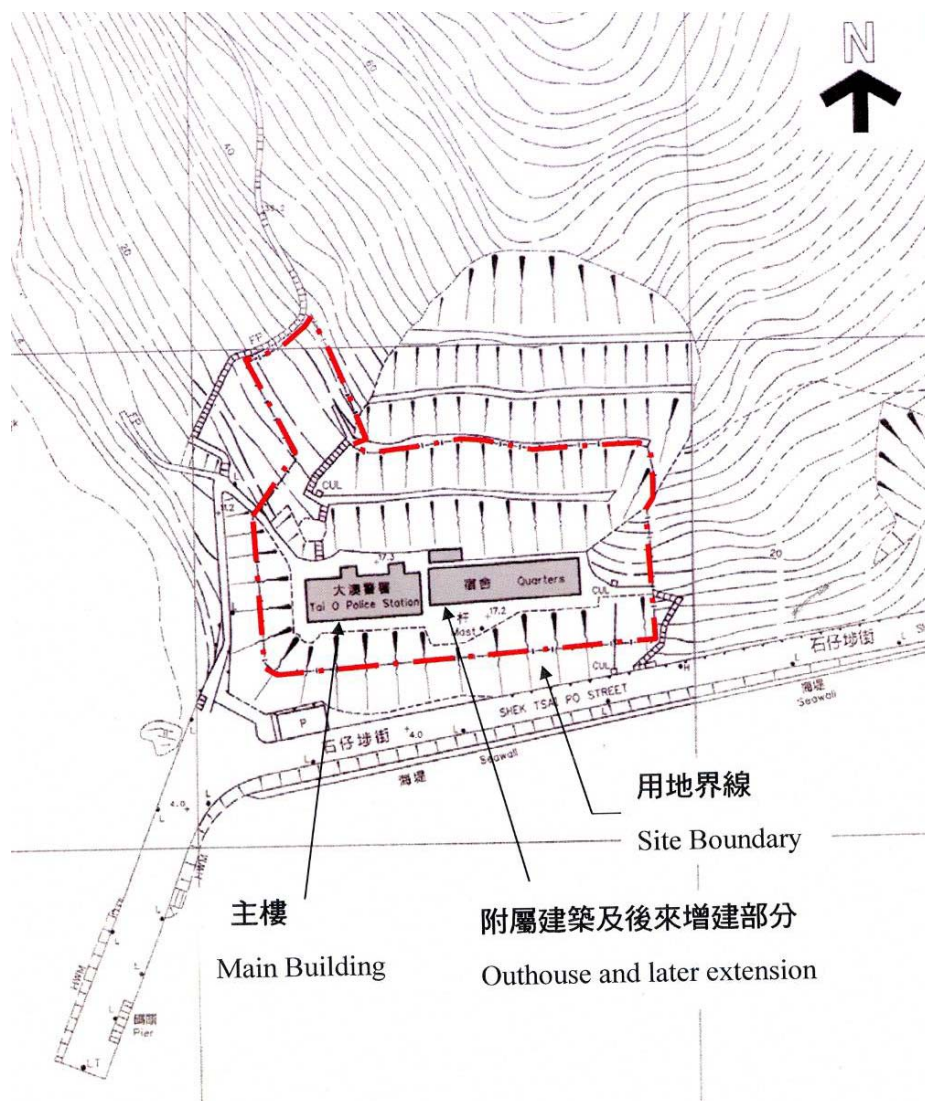


Figure 13. Site Boundary Plan of Old Tai O Police Station³

(Source: RHBTPS Resource Kit of Tai O Police Station, Development Bureau, HKSAR)

³ The Site Boundary Plan is subject to change confirmed by DevB / LandsD

Heritage Values

Historical Value

The Old Tai O Police Station built in 1902 is one of the few remaining historic rural police stations. It witnesses the historical development of Tai O and had continued to serve as a Marine Police Station safeguarding the waters and village communities of Tai O for over 100 years.

Architectural Value

The Old Tai O Police Station is a fine exemplar of colonial-style building of the period representing typical colonial barrack architecture with a distinctive façade characterized by its arched verandahs, traditional timber pitched roof and Chinese roof tiles.

Social Value

The Old Tai O Police Station is a testimonial of the enforcement of law by the colonial Police Force in the Tai O area. It witnesses the continuous social and economic changes occurred in Tai O for over a century and represents a historic cultural landmark to the local community in Tai O.

Authenticity

The original buildings of the Old Tai O Police Station had remained the same use as a police station since 1902. The original building fabrics are mostly intact and can be recovered to its original authentic state.

Integrity

The Old Tai O Police Station and its setting including the surrounding landscape, wooded slope, natural vegetation, pier, seashore, mudflat and mangrove etc., have not been changed substantially in the past years. It represents a fine example of cultural landscape being preserved as a whole in relation to its unique site context and adjacent environment.

Character Defining Elements

The following items are the key Character Defining Elements (CDEs)⁴ that identified as important features contributing to the unique character and architectural merits of the Tai O Police Station.

External Features

- Old cannons and mountings; and
- Old searchlight and stand at SW corner of building

Exterior of the Main Building and Outhouse

- Verandahs with arched openings, keystone, cornices, architraves, cills and mouldings;
- Original wooden casement windows and jalousies, some with steel shutters;
- The two round watchtowers (the NE corner turret constructed to the 1961-62 extension block & the SE corner turret added to the back of the Main Building);
- The original pitched roof with timber purlins, Chinese roof tiles and chimneys;
- The covered walkway bridging the two buildings;
- All chimneys stacks
- The granite steps and steel gates at the entrance, and the external linking bridge and steps on 1/F;
- Cast iron rainwater pipes and hoppers

Interior of the Main Building and Outhouse

- Original timber purlins/battens and Chinese roof tiles exposed at 1/F verandah
- Original timber casement windows, burglar bars and steel shutters to windows to rooms on G/F of Main Building;
- Wooden staircase and balustrade in Main Building;
- French windows and jalousies to 1/F verandah entrances at 1/F Main Building;
- Segmental arched mouldings over doors and windows;
- All original fireplaces;
- The two original cells on G/F, the steel doors at the Charge Room;
- Original granite threshold on G/F

⁴ Referring to those features of High or Exceptional level of significance as identified in the assessment of the level of significance of the Character Defining Elements in Section 3.2 of this report.

3.1 PHYSICAL CONDITIONS

The existing police station has been categorized into a historic building. The structure comprises of two main components – Main Building and the Outhouse. The Main building and Outhouse were built around the early twentieth century while the Later Extension of the Outhouse was constructed around 1961. The Main building is constructed of reinforced concrete slabs supported by vertical brick masonry walls and/or columns down to the foundation below. The roof is composed of timber frame with tile roofing. The Outhouse is composed of conventional reinforced concrete slabs, beams and walls/columns with pad footings below.

PRELIMINARY APPRAISAL

Preliminary appraisal to the accessible areas of the Historic Buildings as given below:-

Main Building: according to information given in the Resource Kit and visual inspection, some minor cracks and few major cracks were found on walls and columns at each floor. No concrete spalling was observed during the visual inspection. The structural slab, brick walls appear in reasonable condition. Timber rafters and purlins were hidden up by false ceiling, further assessment is required.

Outhouse and later extension: Part of the roof has collapsed, minor cracks were found on walls at ground floor and minor concrete spalling was observed. As most of the rooms was inaccessible during the visual inspection, further assessment is required to ascertain condition and structural integrity of the buildings.

The structural components have been built for a significant period of times. Rotten or deterioration may exist on the outer skin of the structural elements. A comprehensive structural survey and investigation into the integrity and strength of all the structural elements – timber, concrete, steel reinforcement, brick masonry walls will be performed. Tests will be introduced to justify the actual integrity and condition of the structural elements.

PROPOSED STRENGTHENING WORKS

Strengthening works will be comprised of two main groups. The first one includes those parts of the existing structure found from the structural investigation mentioned above as being sub-standard in strength while the other includes those parts which need to be enhanced the capacity due to changes in usage.

The proposed strengthening works may be to add supports to reduce the spans of the existing

slabs such that the working stresses may be reduced to within the allowable limits of the slab elements. The additional supports will be in the form of steel sections to be erected right underneath the original slab and supported through the formation of recesses in the supporting walls/columns. The additional steel sections will be properly rust-protected and fire-protected.

The details of structural strengthening proposal so as to assess the actual impacts to the Character Defining Elements and structures of the Historic Buildings and the corresponding mitigation measures to be submitted upon completion of structural appraisal.

3.2 BUILDING FABRICS

This section covers a systematic analysis of the level of significance of the building fabrics, individual space and elements of the Police Station. Six levels of significance are being used in defining or assessing the relative degree of value of each individual component of the Police Station. This detailed assessment is provided to facilitate decisions to be made on the future conservation of the historic place concerning the establishment of the Conservation Policies, recommended treatments for the building fabrics as well as the interpretation for the historic place..






The categories of assessment are based on The Conservation Plan⁵.








Levels of Significance	Meaning
Exceptional	Where an Individual space or element is assessed as displaying a strong contribution to the overall significance of the place. Spaces, elements or fabric exhibit a high degree of intactness and quality, though minor alterations or degradation may be evident.
High	Where an individual space or element is assessed as making a substantial contribution to the overall significance of the place. Spaces, elements of fabric originally of substantial quality, yet may have undergone considerable alteration or adaptation resulting in presentation which is either incomplete or ambiguous. The category also includes spaces, elements or fabric of average quality in terms of design and materials, but which exhibit a high degree of intactness.
Moderate	Where an individual space or element is assessed as making a moderate contribution to the overall significance of the place. Spaces, elements or fabric originally of some intrinsic quality, and may have undergone alteration or degradation. In addition, elements of relatively new construction, where the assessment of significance is difficult, may be included. This category also includes original spaces, elements or fabric of any quality which have undergone extensive alteration or adaptation.
Low	Where an individual space or element is assessed as making a minor contribution to the overall significance of the place, especially when compared to other features. Spaces, elements or fabric originally of little intrinsic quality, any may have undergone alteration or degradation. This category also includes original spaces, elements or fabric of any quality which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive (resulting in a low degree of intactness and quality of presentation).
Neutral	Where an individual space or element is assessed as having an unimportant relationship with the overall significance of the place. Spaces elements or fabric are assessed as having little or no significance.
Intrusive	Where an individual space or element detracts from the appreciation of cultural significance, by adversely affecting or obscuring other significant areas, elements or items.



⁵ Kerr, J. 2000

The components of the existing building fabric including the key Character Defining Elements and the assessment of their level of significance of Tai O Police Station are identified as below:-






1. EXTERNAL AREA







Item No	Elements/Materials	Photo and Ref	Level of Significance
1.1	<ul style="list-style-type: none"> Old cannons and mountings (4 nos) 	 <p>(Ref: No 1.1a)</p>  <p>(Ref: No 1.1b)</p>  <p>(Ref: No 1.1c)</p>  <p>(Ref: No 1.1d)</p>	Exceptional
1.2	<ul style="list-style-type: none"> Old searchlight and stand at SW corner of building 	 <p>(Ref: No 1.2)</p>	Exceptional

Item No	Elements/Materials	Photo and Ref	Level of Significance
1.3	■ Iron ring set in concrete block for mast stay	 (Ref: No 1.3)	Moderate
1.4	■ D G Store at rear of building	 (Ref: No 1.4)	Moderate
1.5	■ Concrete steps and catch pit at rear	 (Ref: No 1.5)	Low
1.6	■ Surface water channels and gratings	 (Ref: No 1.6)	Low
1.7	■ Paths and steps	 (Ref: No .1.7)	Low
1.8	■ Underground water tank at NW corner of Main Building	 (Ref: No 1.8)	Low
1.9	■ Chain and post fencing along top of slope in front of building	 (Ref: No. 1.9)	Low






Item No	Elements/Materials	Photo and Ref	Level of Significance
1.10	■ Boundary fencing, safety railings and gates	 <p>(Ref: No 1.10)</p>	Low
1.11	■ Weapon loading/unloading shed at end of building	 <p>(Ref: No. 1.11)</p>	Intrusive






2. MAIN BUILDING - ELEVATIONS







Item No	Elements/Materials	Photo and Ref	Level of Significance
2.1	■ Stuccoed and painted walls	 (Ref: No 2.1)	Moderate
2.2	<ul style="list-style-type: none"> ■ Arched verandahs ■ Architraves ■ Keystones ■ Cills ■ mouldings, cornices, etc 	 (Ref: No 2.2)	High
2.3	■ Cast Iron rainwater pipes and hoppers	 (Ref: No 2.3)	High
2.4	■ Granite steps to entrances and balustrade	 (Re: No 2.4a)  (Ref: No 2.4b)	High







Item No	Elements/Materials	Photo and Ref	Level of Significance
2.5	<ul style="list-style-type: none"> ■ Original wooden casement windows ■ Jalousies, some with steel shutters with bullet traces 	 (Ref: No 2.5a)  (Ref: No 2.5b)	High
2.6	<ul style="list-style-type: none"> ■ Original wooden doors to stores and rear entrance 	 (Ref: No 2.6a)  (Ref: No 2.6b)	Moderate
2.7	<ul style="list-style-type: none"> ■ The covered walkway bridging the two buildings 	 (Ref: No 2.7)	High
2.8	<ul style="list-style-type: none"> ■ Rear fire escape bridge between 1/F bathroom 	 (Ref: No. 2.8)	Low




3 MAIN BUILDING - INTERNAL

Item No	Elements/Materials	Photo and Ref	Level of Significance
3.1	<ul style="list-style-type: none"> ■ Plastered and painted walls ■ Ceilings to rooms on G/F 	 <p>(Ref: No 3.1)</p>	Moderate
3.2	<ul style="list-style-type: none"> ■ Original wooden casement windows ■ Burglar bars and steel shutters to windows to rooms on G/F 	 <p>(Ref: No 3.2a)</p>  <p>(Ref: No 3.2b)</p>	High
3.3	<ul style="list-style-type: none"> ■ French windows ■ Jalousies to 1/F verandah entrances 	 <p>(Ref: No 3.3)</p>	High
3.4	<ul style="list-style-type: none"> ■ Original wooden paneled doors to offices 	 <p>(Ref: No 3.4)</p>	Moderate





Item No	Elements/Materials	Photo and Ref	Level of Significance
3.5.	■ Timber-framed French doors with louvered doors between 1/F rooms	 (Ref: No 3.5)	Moderate
3.6	■ Segmental arched mouldings over doors and windows	 (Ref: No 3.6)	High
3.7	■ Two cells at main building	 (Ref. No.3.7b)	High
3.8	■ Iron gates and grilled partitions in Armoury and under staircase on G/F	 (Ref: No 3.8a)  (Ref: No 3.8b)	Moderate

Item No	Elements/Materials	Photo and Ref	Level of Significance
3.9	<ul style="list-style-type: none"> Steel doors to Charge Room and rear exit on G/F 	 <p>(Ref: No 3.9)</p>	High
3.10	<ul style="list-style-type: none"> All fireplaces 	 <p>(Ref: No 3.10a)</p>  <p>(Ref: No 3.10b)</p>	High
3.11	<ul style="list-style-type: none"> Wooden staircase and balustrade to 1/F Security grille hinged to wall 	 <p>(Ref: No 3.11a)</p>  <p>(Ref: No 3.11b)</p>  <p>(Ref: No 3.11c)</p>	High






Item No	Elements/Materials	Photo and Ref	Level of Significance
3.12	<ul style="list-style-type: none"> ■ Boarded floors and ceilings to all rooms on 1/F ■ Plain cement skirting to walls 	 <p>(Ref: No 3.12a)</p>  <p>(Ref: No 3.12b)</p>	Moderate
3.13	<ul style="list-style-type: none"> ■ Plastered and painted walls to 1/F rooms with moulded wooden picture rails ■ Plaster ceiling cove 	 <p>(Ref: No 3.13a)</p>  <p>(Ref: No 3.13b)</p>	Moderate
3.14	<ul style="list-style-type: none"> ■ Redundant cables and conduit on external walls 	 <p>(Ref: No. 3.14)</p>	Intrusive
3.15	<ul style="list-style-type: none"> ■ Signage 	 <p>(Ref: No. 3.15)</p>	Low

Item No	Elements/Materials	Photo and Ref	Level of Significance
3.16	■ Shower and toilet cubicles	 <p>(Ref: No 3.16)</p>	Neutral
3.17	■ Kitchen and laundry	 <p>(Ref: No. 3.17)</p>	Neutral
3.18	■ The original natural colour and texture of the granite threshold on the ground floor	 <p>(Ref: No. 3.18)</p>	High



4. MAIN BUILDING - ROOF

Item No	Elements/Materials	Photo and Ref	Level of Significance
4.1	<ul style="list-style-type: none"> ■ Chinese tiles ■ Timber battens ■ Purlins 	 (Ref: No 4.1a)  (Ref: No 4.1b)	High
4.2	<ul style="list-style-type: none"> ■ Corner turret over bathroom on NE corner of building, including internal cat ladder 	 (Ref: No 4.2)	High
4.3	<ul style="list-style-type: none"> ■ All chimney stacks 	 (Ref: No 4.3)	High

5. OUTHOUSE -ELEVATION

Item No	Elements/Materials	Photo and Ref	Level of Significance
5.1	■ Stuccoed and painted walls	 (Ref: No 5.1)	Moderate
5.2	■ Open verandahs, cast iron posts, and railing at 1/F level	 (Ref: No 5.2)	Moderate
5.3	■ Cantilevered canopies to modern extension at front and rear	 (Ref: No 5.3)	Low
5.4	■ Corner turret at SE corner of building, including internal cat ladder	 (Ref: No 5.4)	High
5.5	■ External staircase at west	 (Ref: No. 5.5)	Low

6. OUTHOUSE - ROOF

Item No	Elements/Materials	Photo and Ref	Level of Significance
6.1	<ul style="list-style-type: none"> ■ Chinese tiles ■ Timber battens ■ Purlins 	 <p>(Ref: No 6.1)</p>	High
6.2	<ul style="list-style-type: none"> ■ Roof platform 	 <p>(Ref: No.6.2)</p>	Low

3.3 DEFICIENCIES AND STATUTORY REQUIREMENTS

Non-compliance with Current Building Regulations

The existing historic buildings originally built in 1902, as well as the extension block in 1961-62, do not comply with current building regulations and codes if they are going to be changed to the intended hotel use. Necessary upgrading and improvement works to the following aspects will be required.

Structural Loading Requirements

Detailed structural assessment to be conducted to Main Building and Outhouse although assumption was given in the Resource Kit that the estimated loading capacity of each floor would be 3.3.kPa, which is more than the required loading capacity of hotel of 2.0kPa.

Museum is located at ground floor of the Main Building which is rested on grade.

Structural strengthening might be carried out in the roof slab of the Later Extension to required loading capacity of 5.0kPa.

Strengthening proposal so as to access the actual impacts to the Character Defining Elements of the buildings and the corresponding mitigation measures will be submitted upon completion of structural appraisal.

Fire Resisting Construction (FRC)

Structural assessment of the existing structures would be conducted, should the existing concrete covers over steel reinforcement for slabs and beams of the conserved buildings do not meet the minimum requirement for a Fire Resistance Period (FRP) as prescribed in the Code of Practice for Fire Resisting Construction, upgrading of the concrete covers to the min. thickness of 25mm for RC slab and 40mm for continuous beams and 50mm for simply supported beams is required.

Means of Escape (MOE)

The existing provisions of staircases in the historic buildings do not meet the minimum MOE requirements prescribed in the 'Code of Practice for the Provision of Means of Escape in case of Fire 1996' nor the 'Code of Practice for Means of Access for Fire Fighting and Rescue 1995'. None of the three existing staircases complies with the requirements of a fire exit staircase. Therefore, additional fire staircases have to be added to the building in order to comply with the minimum requirements of exit route and staircase as well as the minimum travel distance between fire staircases.

Barrier Free Access Facilities

The existing historical buildings do not comply with the disabled access requirements prescribed in the 'Design Manual – Barrier Free Access 2008'.

A disabled lift, also serves as a fireman's lift, is required to be added to serve the hotel rooms at 1/F of the Main Building and Restaurant at 1/F of the Outhouse and Later Extension. A lifting platform will be installed at rear entrance of the wooden staircase (subject to final approval from relevant authorities) for access to Museum and Guestrooms at G/F of the Main Building.

Besides, the existing ramp leading from Shek Tsai Po Street to the site is too steep and not up to the required standard for barrier free access, an inclined lift (or other form of transportation facilities as appropriate) to be provided.

Two hotel rooms at G/F of the Later Extension which have bathroom facilities adequate for the person with a disability.

Besides, different barrier free facilities including ramps, handrails, floor tact tiles, signage, disabled toilets etc should be added to appropriate locations within or outside the existing buildings in order to comply with various barrier free requirements.

Fire Services Installation

The existing fire services provisions do not comply with the minimum requirements prescribed in the 'Code of Practice for Minimum Fire Service Installations and Equipment 1998', which requires for additional Fire Service installations for new commercial use, including but not limited to additional street hydrant at G/F and hose reel systems, sprinkler system, exit sign system, fire alarm system and emergency back-up power supply for all Fire Service systems. The existing floor loading conditions and physical constraints of the historical buildings restrict the location of additional water tanks and plant rooms within the existing structures.

Building Services Installation

Since the conserved buildings will be adapted to new commercial use, the existing building services system will not be adequate and have to be upgraded to comply with contemporary statutory requirements prescribed mainly as follows:

- a) Electricity Supply – the 'Code of Practice for the Electricity (Wiring) Regulations'
- b) Plumbing System – the 'Guide to the Preparation of Plumbing Proposals' for submission to the Water Authority for approval
- c) Sanitary Provision – Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations

Upgrading and addition of other building services systems are also required to cater for the adaptation of future use within the existing buildings including but not limited to the following systems:

- a) Electrical Power Supply System – new switch rooms, meter rooms, MCB boards & switches, cable pipe ducts, trunking & conduits, and power & lighting points etc.
- b) Air Conditioning & Mechanical Ventilation System – addition of A/C plants, depending on the type of A/C systems adopted, additional ventilation ducts & louver areas for exhaust & fresh air etc.
- c) Plumbing & Drainage Provisions – Addition of toilets, pump rooms, water meter cabinets, water pipe ducts, and improvement of underground drainage system etc.
- d) Kitchen Provisions – additional licensing & environmental protection requirements for ventilation, underground grease trap etc for restaurants or all F& B outlets.

In general, new addition of provisions for barrier free access facilities, fire services and building services installation shall take into consideration of the principles of relevant international conservation standards for adaptive reuse projects such as the Burra Charter and Venice Charter. The new barrier free access facilities and fire services installations shall comply with the requirements of Design Manual of Barrier Free Access 2008 and Fire Services Department's Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment 1998.

4.1 CONSERVATION OBJECTIVES

Based on the Statement of Significance established in the previous Section 2 and the assessment of the existing conditions of the historic buildings in Section 3, the following are the basis Conservation Objectives adopted for the adaptive reuse of the historic place of Old Tai O Police Station:

- a) Preserve and restore the existing building fabrics of the old Tai O Police Station as practical as possible and in the long term, to protect the buildings from further deterioration by effective management and maintenance plan.
- b) Conserve and adapt the old Tai O Police Station for a compatible new use as Hong Kong's first "rural heritage boutique hotel" and revitalize the historic place as a living heritage.
- c) Recover and further enhance the cultural heritage of the old Tai O Police Station by interpretation of its heritage value for appreciation by the users and general public.
- d) Promote public awareness and education in heritage conservation and encourage community engagement in local cultural and eco-tourism in Tai O thus for bringing various social benefits to the local community.
- e) As a model conservation project, demonstrate how a social enterprise run by a non-profit organization can achieve the goals of a self-sustainable heritage conservation project.

4.2 CONSERVATION PRINCIPLES FOR ADAPTIVE REUSE

This section sets the broad standard of conservation process of making possible a compatible use for the historic buildings through repair, alterations, and additions, for retention of the heritage values of the Old Tai O Police Station.

The establishment of this Conservation Management Plan (CMP) is taken general reference to the conservation principles and standards set in the following international charters:

- ◆ Venice Charter (1964) – ICOMOS International Charter for the Conservation and Restoration of Monuments and Sites UNESCO
- ◆ Burra Charter (1999) – The Australia ICOMOS Charter for Places of Cultural Significances

Since the main Conservation Objective of this project is to cater for adaptive reuse of the conserved historic buildings, when conserving the existing building fabrics, sufficient flexibility for new additions & alteration works for meeting new requirements should be balanced off. Any new additions and/or alterations to the existing structures, if required to meet current safety standards or user's functional needs should be well considered and allowed provided that such alterations will not impair the heritage value, essential form and integrity of the historic buildings and can be reversed in future.

The followings are the guiding principles of determining appropriate treatments and level of intervention for future conservation works adopted for the adaptive reuse of the Old Tai O Police Station with reference to the international charters and other relevant conservation standards such as the USA / Canada National Parks Standards.

4.2.1 Conserve Heritage Value

- ◆ Conserve the heritage value of a historic place, and respect its changes over time which represents a particular period of time. Do not remove, replace, or substantially alter its intact or repairable character-defining elements which contributing to its heritage value.

4.2.2 Retain Authenticity & Integrity

- ◆ Respect the original character or architectural style of the building fabric and retain its traditional building materials or construction system as much as possible.
- ◆ Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or by combining features of the same property that never co-existed.

4.2.3 Minimum Intervention

- ◆ Keep any treatment or intervention to building fabric to the minimum and respect the heritage value when undertaking an intervention. Use the gentlest means possible for any intervention.
- ◆ Make any intervention physically and visually compatible and identifiable upon close inspection and document any intervention for future reference.
- ◆ Repair rather than replace character-defining elements. Only when such elements are too severely deteriorated to repair, and with sufficient physical evidence, replace them with new elements that match the forms, materials and detailing of the same elements. Where there is no sufficient evidence, make the form, material and detailing of the new elements compatible with the character of the historic buildings.

4.2.4 Reversible Additions

- ◆ Make any intervention, including alteration and new addition, to the building fabric reversible without causing any damage to the existing structure when such intervention is to be removed in future.
- ◆ Create any new additions or related new construction so that the essential form and integrity of a historic place or its building fabrics will not be impaired if the new work is removed in future.

4.2.5 Integrating Old and New

- ◆ Conserve the heritage value and character of the building fabric when creating any new additions to a historic place or any new construction of compatible design.
- ◆ Make the new work physically and visually compatible with and distinguishable from the original fabric of the historic place.

4.3 ADAPTIVE REUSE PROPOSAL

The transformation of the historical Old Tai O Police Station into Tai O's first hotel and the first rural "heritage boutique hotel" in Hong Kong will undoubtedly create an exciting platform to spur economic activity in Tai O district.

The architectural transformation will be primarily achieved through a series of conservation-oriented and eco-themed architectural adaptations and enhancements (Please refer to Design Proposal for Adaptive Reuse in Appendix C):

- ◆ Adaptation of the historical police station into a themed boutique hotel with 9 suites with interiors compatible with the colonial style architecture of the period.
- ◆ Adaptation of the roof terrace at the extension wing into a specialty rooftop café / restaurant with addition of a 'reversible' glass structure.
- ◆ Repair and improvement of slope and landscape, and integration of outdoor historic pieces of interest with the historical buildings.
- ◆ Introduction of a police museum and library at Heritage Library/ Museum / Gift Shop (referred as the "Heritage Interpretation Centre" in this report) and Business Centre at the cells.
- ◆ Eco-themed architectural enhancements such as re-opening the verandahs to provide natural ventilation.

Through the newly-created hotel rooms, the new café / restaurant, and the various services provided such as tours and workshops, the Tai O Heritage Hotel will stimulate economic growth and create jobs, while preserving one of the most beautiful heritage buildings in Hong Kong. The Tai O Heritage Hotel will attract a diverse range of visitors who will be invited to participate in community-based activities and tours hosted by the villagers. This will help to promote and preserve Tai O's unique cultural traditions, simultaneously enabling local businesses to flourish.

The profits generated from the Tai O Heritage Hotel will be reinvested into the Tai O community in several ways:

- ◆ To preserve / maintain this heritage building and site.
- ◆ To establish a Heritage Library / Museum at the Tai O Heritage Hotel, showcasing memorabilia and photographs to commemorate the days when the Police Station was still in use.
- ◆ To promote existing heritage eco-tours and workshops run by local community groups.

The Hong Kong Heritage Conservation Foundation Limited will continuously evaluate community needs to determine other charitable contributions to Tai O.

This section will cover the specific standards and guidelines for implementation of the recommended conservation processes in term of intervention in the building fabric, structure, materials, building services, paintings & artworks...etc., and specify the implementation requirements and procedures throughout the conservation works stages.

5.1 CONSERVATION POLICIES AND GUIDELINES

The following Conservation Policies and Guidelines are formulated to provide guiding principles for future conservation and adaptive reuse of the existing buildings of the Old Tai O Police Station.

Management of Change of Use

The following Policies and Guidelines are for guiding the future use of the existing site:

Policy 5.1.1

The original use of the Old Tai O Police Station was a police station with accommodation and service facilities. It is recommended that the proposed new hotel use is considered compatible to the original accommodation use of the Old Tai O Police Station and should be allowed for adaptive reuse. The proposed new hotel use and its associated services are considered appropriate if such use.

Policy 5.1.2

It is recommended that an interpretation room should be provided in the new hotel premises for interpreting the cultural significance of the site of the Old Tai O Police Station to visitors and the public.

Policy 5.1.3

It is recommended that the existing two cells located on G/F should be retained and changing use of the cells to an appropriate new functional use such as business centre for hotel guests, that does not require extensive alteration, can be considered.

Guidelines:

- ◆ New hotel guest rooms with auxiliary accommodations such as reception / museum / library, café / restaurant, lounge / bar counter, souvenir / gift shop, seating area / function rooms, pantry and kitchen, laundry, store, wine cellar, back-of-the-house, mechanical rooms and other associated rooms for new services etc., related to hotel facilities, should be allowed to be accommodated in the historic buildings.
- ◆ The proposed reception area / museum / library area located on G/F in the Main Building should be designed and used as an “Heritage Interpretation Centre” with display of historical documents, information, objects and artefacts etc., for interpreting the cultural heritage of the Old Tai O Police Station.
- ◆ The existing internal walls of the two cells located on G/F in the Main Building should not be removed and any alteration to these two rooms should be kept as minimum as possible. Interior decoration and new services and fittings etc., not affecting the existing structure can be provided in these two rooms to suit the designed new uses.

Building Fabrics

The following Policies and Guidelines are for guiding future conservation treatments for existing building fabrics and retention of the identified Character Defining Elements:

Policy 5.1.4

The main façade of the original Main Building being the key feature of the historic building should be kept intact with the verandahs re-opened revealing the original look of the building.

Policy 5.1.5

Minimum intervention to the key architectural features that contributing to its character and heritage value of Old Tai O Police Station is recommended. They should be retained as far as possible as to retain the architectural merits of the historic buildings.

Guidelines:

- ◆ The key Character Defining Elements (CDEs) and features identified in Sections 2.3 and 3.2 in this report should be retained and repaired according to the Recommended Treatments for CDEs as stated in Section 3.2 and Appendix D.

- ◆ The identified features or elements should be retained in-situ for repair and restoration as practical as possible, except those of low / neutral / intrusive level of significance which can be either altered, salvaged for reuse or removed from the site, as to recover the heritage value of the historic buildings.
- ◆ The verandahs currently closed off by modern windows added in later period should be open up and restored to its original state as far as possible; the exposed timber purlins / rafters at the 1/F verandahs of the Main Building and Outhouse should be retained, repaired and left uncovered.
- ◆ The original timber windows and doors, louvers and French doors, wooden ceilings and board floorings, timber purlins and original stucco wall plaster, cast iron shutters and doors etc., should be repaired as existing or if deteriorated beyond repair, replaced by new materials matching the existing.
- ◆ The original fireplaces should be retained intact as a key feature of the future guest rooms without being totally covered up by new enclosure or fittings. Temporary decorations that can be easily removed without damaging the fireplaces may be allowed if considered necessary.
- ◆ The existing armory metal cages located on G/F should be retained and incorporated into an “Armory Suite”. Temporary decorations not permanently covering up or and can be easily removed without causing damages to the metal cages, are allowed if considered necessary for meeting the user’s requirement.
- ◆ The existing quarry floor tiles at the verandahs of the Main Building appearing not original. They can be salvaged for reuse or covered up by new floor finishes matching the architectural style of the Main Building.
- ◆ Any additional floor finishes if needed to be added on top of the existing floor finishes such as existing wooden board floorings or quarry tiles for new functional use, can be allowed; the existing floor finishes being covered should be separated and protected by materials such as plywood boards or protective plastic / foam sheets and such new floor finishes can be removed in future without causing damage to the existing floor finishes.

- ◆ New door openings to be formed to improve internal circulation or barrier free access may be considered if such alteration does not have significant visual impact on the main building facade. It is recommended that new door openings can be formed by altering an existing window opening not affecting the existing structure. The new doors created should be of similar design matching the existing building style.
- ◆ It is recommended that any new interior decoration or additional services and fittings designed and installed for the new hotel use should be reversible and not causing unnecessary damage to the existing structure when removed in future.
- ◆ New wall opening to be created in the Southeast Watchtower (corner turret) for access from the existing roof of the extension block.

New Additions and Alterations

The following Policies and Guidelines are for guiding future design of any new additions and alteration works to the existing structures:

Policy 5.1.6

New structures for meeting current building safety codes, universal access for disabled or for accommodating new services and auxiliary rooms are allowed to be at less obstructive locations and not affecting the main façade of the Main Building.

Policy 5.1.7

The new additional structures should be of compatible design with and distinguishable from the existing building fabrics, and such additions should be reversible without causing unnecessary damage to the existing building fabrics when removed in future.

Guidelines:

- ◆ New structures of additional fire escape staircases and lift for disabled access, platform and new service rooms etc., are allowed to be constructed to the back of the existing buildings and set away from the existing wall surfaces.
- ◆ The new staircases, lift and platforms should be designed as lightweight structure and detached from the existing buildings as practical as possible. The new structures can be constructed either in steel, timber or glass instead of concrete as to minimize the amount of wet trades and its nuisance on site.

- ◆ Construction of a new platform and stairs at 1/F level connecting the existing roof of the extension block to the Main Building and the new lift should be allowed for improved universal access for the disabled.
- ◆ Conversion of two existing Dangerous Goods Stores (D.G. Stores) located on the slope behind the Main Building into wine cellar can be considered. Removal of the soil between the stores to link the cellars may also be considered if there is no adverse impact to the existing slope. Improvement works to the existing slope covered by chunam plaster should also be considered.

Policy 5.1.8

Adequate provision for universal access for disabled to the site from Shek Tsai Po Street should be considered and such provision should have the minimum impact to the existing building and the overall setting of the site.

Policy 5.1.9

Extensive disable ramps or a conventional lift with lift shaft are not recommended due to their potential adverse impact to the existing slope and adverse visual impact. Other types of mechanical lifting devices such as an inclined lift or a lifting platform, which has less visual impact to the existing site, is considered more appropriate.

Guidelines

- ◆ The new inclined lift or mechanical lifting platform for disable access can be erected or installed at the eastern side of the existing slope connecting the site to Shek Tsai Po Street.
- ◆ The overall height and extent of the new lift and its associated works should be kept as minimum as possible in order to minimize any adverse visual impact to the overall setting of the site and its surrounding natural landscape including the trees existed on the slope.
- ◆ Construction of a standard lift machine room or vertical lift shaft enclosure is not recommended as that will cause adverse visual impact to the overall setting and landscape of the historic place.
- ◆ The positioning and alignment of the inclined lift should avoid unnecessary cutting of the existing natural trees on the slope as practical as possible.

Policy 5.1.10

Provision for a weather protection glass cover to the existing roof of the single storey extension block should be allowed to make better use of the limited floor space and for long term protection to the existing flat roof from future water leakage problem.

Guidelines:

- ◆ Construction of the glass cover structure – it is recommended that new glass cover structure should be designed as a lightweight structure and constructed of steel or timber and glass materials that are considered more appropriate than heavy concrete structures.
- ◆ New supporting structures of the glass cover should be set back and detached from the existing building surfaces as practical as possible.
- ◆ The design of the new glass cover should be compatible with the existing pitched roof form of the Main Building and Outhouse.

Provisions of Services

The following Policies and Guidelines are for guiding future additions, upgrading and improvement of building services and utilities to suit the adaptive re-use requirements:

Policy 5.1.11

Provisions for new building services systems such as new water tanks should be accommodated in the new buildings as far as possible.

Policy 5.1.12

Conceal new services as much as possible and, where exposure of such services is unavoidable, make them distinguishable from the original building elements in neat and careful arrangement. Main services or pipelines exposed at the ceilings, in particular the verandah, should be avoided as far as possible.

Policy 5.1.13

New services such as electrical and fire services installation which are unavoidable can be housed in the historical buildings but should be carefully arranged and installed to minimize unnecessary damage to the existing building fabrics.

Guidelines:

- ◆ New services and plant installation taking up large floor space or involving extensive alterations or excessive floor load, including new plant and pump rooms, air conditioning plants, fire services and sprinkler water tanks etc., except those necessary installation such as meter room, should be housed in the additional structures located at the back of the Outhouse and Extension Block
- ◆ Any new enclosure for housing new services such as meter cabinets or telephone pipe ducts etc., should be carefully designed in such an architectural style compatible with and distinguishable from the existing building fabric.

Integration between Old and New

The following Policies and Guidelines are for guiding future design of new additions and their integration with the existing old building fabric:

Policy 5.1.14

Conserve the heritage value of the preserved historic buildings while making new additions or related new construction of compatible design. The new construction is to be designed to integrate with yet distinguishable from the old buildings in order to enhance rather than diminish their architectural value.

Policy 5.1.15

The new construction should be set away or detached from the existing structure as practical as possible and at where new materials interface with the old fabric; they should be distinguished from each other.

Guidelines:

- ◆ The design and construction of the additional staircases, lift, platforms, service rooms and glass cover structure etc., should be kept as simple as possible. New construction materials of steel, timber and glass construction, can be used for new additions provided that the construction of such new structure is physically and visually distinguishable from and its design compatible with and subordinate to the original structures.

Setting and Landscape

The following Policies and Guidelines are for guiding future intervention to the existing natural environment and setting of the site:

Policy 5.1.16

The overall setting and landscape of the site of the Old Tai O Police Station should be protected and conserved as a whole as to retain the integrity of the site as well as its tranquil atmosphere, restful ambience and natural environment of this historic place which is significant and compatible to its future use.

Policy 5.1.17

The existing wooded slope, the footpath, lamp posts and railing along the seashore, pavilion, pier and jetty, the nearby seashore, mudflat and mangroves etc., are all important natural and man-made elements contributing to the unique character of this site. They should not be disturbed by any inappropriate intervention in future.

Policy 5.1.18

Preserve and improve the adjacent slope and landscape, and integrate the existing landscape and the outdoor historic pieces of interest with the historic buildings

Guidelines:

- ◆ The surrounding natural environment should not be adversely changed by any future works. For any future upgrading or improvement work to any of these elements, e.g., repaving the footpath, reconstructing the pier / seashore embankment, replacing the railings / lamp posts etc., they should not be carried if likely would affect or impair the heritage value of this site and its existing setting and landscape.
- ◆ Any improvement works for these elements if necessary should be designed in such a way compatible to the architectural style and ambience of this historic site. It is recommended that the project proponent of these improvement works should obtain prior comment and agreement from related authorities, the Development Bureau as well as the Hong Kong Heritage Conservation Foundation Limited regarding before carrying out any of these works.
- ◆ Preserve the existing trees around the historic buildings and the wooded slope as far as possible. It is recommended to carry out a tree survey by a qualified landscape architect to identify the existing trees and vegetation and make detailed recommendation on tree preservation proposal.

- ◆ The landscape design should respect the existing natural vegetation and architectural style of the heritage buildings. It is recommended to integrate the existing trees, natural vegetation with the historic building and landscape design and make use of the natural greenery in designing new gardens or courtyard space as much as possible.
- ◆ Preserve and restore all external historic features and items of interest including the canon, mast and searchlight as to give the visitors an insight of the action once associated with the former police station.
- ◆ The positioning and alignment of the proposed inclined lift or mechanical lifting device should be carefully designed in order to avoid excessive cutting of existing mature trees or natural species.

5.2 POTENTIAL IMPACTS AND MITIGATION MEASURES

Explanation

The table in Appendix D represents and relates Heritage Impact Assessment and Mitigation Measures regarding the adaptive reuse of Old Tai O Police Station as Tai O Heritage Hotel.

The explanations of terms are as follow:-

- | | | |
|-----------------------|---|------------------------------------------------------------------------------------------------------------------------------------|
| Affected Elements | - | Affected elements are identified for each impact |
| Level of significance | - | As defined in Character Defining Elements |
| Mitigation Measures | - | Practical advice is given to mitigate adverse impact effects. |
| Impact Level* | - | Overall level of impact on elements, after application of mitigation measures, is assessed as follows:- |
| High | - | an impact that significantly alters or reduces significant characteristics of the heritage resource; |
| Medium | - | an impact that alters the character or surroundings of the heritage resource, but is consistent with existing and emerging trends; |
| Low | - | an impact capable of measurement but with no alteration of significant characteristics; and |
| Neutral - | - | a change that does not affect the value of the heritage resource and/or its surroundings. |

* *“Impact Levels” framework courtesy of Commonwealth Historic Resource Management Ltd*

5.3 SITE INTERPRETATION

One of the prime objectives of this adaptive reuse project is to promote public appreciation of the conserved cultural heritage of the Old Tai O Police Station by proper site interpretation.

This goal can be achieved by the following means:

- ◆ Preserve and revitalize the main entrance reception and G/F verandah area in their historic settings and to create a unique experience for the visitors and allow them to re-discover the history of the former police station.
- ◆ To establish a Heritage Library / Museum at the Tai O Heritage Hotel, showcasing memorabilia and photographs to commemorate the days when the Police Station was still in use.

It is recommended that the proposed G/F Reception area in the Main Building as indicated as Reception / Library / Museum / Gift Shop area in the design proposal submitted to the Development Bureau will be designed and used as a Heritage Interpretation Centre to tell the story and cultural heritage of the Old Tai O Police Station to visitors and public by display of old photographs, interpretive panels, historical objects and artefacts as to for interpreting the history of the former police station.

The Interpretation Centre will be open to public visitors during daytime hours as to reduce disturbance to the overnight guests. Besides, daily guided hotel tours (may include vacant guest rooms if possible) will be arranged to public or guests by appointments. The official opening hours of the Heritage Interpretation Centre and Hotel Tour should be agreed separately between the Development Bureau and the Hong Kong Heritage Conservation Foundation Limited. Other activities will also be arranged for appreciation of the place, where appropriate, including an open day will also be held before the grand opening of the hotel, as well as promotion of existing heritage eco-tours and workshops run by local community groups.

Information of the story of the Old Tai O Police Station site can be provided in various forms such as pamphlets, electronic media, photograph prints or other small souvenir gifts for visitors. Retired police officers who once stationed in this police station will be recruited as volunteer interpreters if needed. The reception desk staff or other reception personnel of the hotel will be well trained to introduce the brief history of the site to visitors when needed.

It is also proposed to document the whole process of restoration and adaptation of the Old Tai O Police Station for future interpretation material.

5.4 MANAGEMENT PLAN

It is recommended that this Conservation Management Plan together with an implementation programme indicating the critical stages and time frame of future implementation of management and maintenance as well as the interpretation programmes for the Old Tai O Police Station, will be prepared by the Hong Kong Heritage Conservation Foundation Limited for advance comment and agreement by the Development Bureau and the Antiquities and Monuments Office prior to the completion of project or before the official commencement of hotel operation for this project.

The Management Plan will aim at guiding the long term protection of the historic place and historic buildings in post-construction periods. The standard and requirements of maintenance, management and monitoring procedures for protection of the preserved historic buildings will be documented in the Management Plan, which will be used as a control document for guiding the future up-keeping and maintenance as well as the management of the Old Tai O Police Station. The Management Plan shall be reviewed regularly and updated by the Conservation Architect / Heritage Consultant of this project for incorporating any relevant requirements if appropriate.

A property management team consisting of building management professionals, technical supervisors and skilled workers, all with good understanding of conservation and maintenance for historic buildings, will be provided to oversee the regular up-keeping, maintenance, repairs works for the Tai O Police Station. The frequency of Management Plan review and the structure of the property management team to implement and uphold the Management Plan will be addressed in the Management Plan. Future interpretation and maintenance programme will also be covered in the Management Plan

Recording and Documentation

All conservation studies, conservation plans, site inspection record during the construction work stage, record drawings of this project, and record of any future alteration works, should be documented and filed at the site office and made available to future users or professional personnel who are responsible for up-keeping the existing buildings and reviewing the development history of this historical place. Details of any major repair, alteration or additions should be documented before and after the carrying out of such works for record and inspection by building management personnel. Documentation of the conservation process during the implementation stage will be required.

Salvage Historic Objects before Site Works

It is recommended that the site should be inspected by the Conservation Architect / Heritage Consultant before carrying out of any site works to review the conditions of all the identified Character Defining Elements. A List of Historic Objects will be prepared if applicable to identify any historic objects or items that need to be salvaged for future reuse or storage.

The dismantling and protection of all the salvaged historic items should be carried out by specialist contractor or trained workers in strict accordance with the specifications and method statement and under supervision by the Conservation Architect / Heritage Consultant.

An Inventory List of Historic Objects and of all the buildings and features at site, including photographs, their original locations and condition, and a record of alteration/addition on the objects will be prepared before and during the carrying out of any construction works on site. Photographic and cartographic surveys should be carried out to support such inventory establishment. The historic items of the demolished buildings should be salvaged as much as possible for possibly future usage at the site.

Protect Historic Buildings during Construction

Adequate protective and monitoring measures including hoardings, fencing and catch fans, scaffolding and prohibited access...etc., should be provided to protect the existing historic buildings during construction works and such protective measures should be well maintained throughout the whole construction period.

Specifications & Drawings

Detailed specifications and documented construction drawings in relation to the conservation works and design treatment for the Character Defining Elements based on the approved Conservation Management Plan should be prepared by the Conservation Architect / Heritage Consultant and included in the tender document. The carrying out of conservation works in strict compliance with the endorsed Conservation Management Plan shall form part of the tender requirements.

The standard and quality of work would be set by the degree of detail that was provided on all conservation and design documentation. Interfacing between the old building fabrics and new additions/alterations or building services installation is to be focused on.

Advance consultation with representatives of the Development Bureau and Antiquities and Monuments Offices on the conservation works in respect of any change to the adopted design scheme or affecting any Character Defining Elements will be sought at early design development stage.

Site Supervision & Monitoring

It is recommended that site supervision and monitoring by qualified Conservation Architect / Heritage Consultant and site supervisors experienced in historic building projects will be required for this project during and throughout the construction work stages from dismantling of historical objects or artefacts, demolition, construction and post-construction / maintenance period, to ensure the conservation works is properly conducted on site and the quality of workmanship is up to the specifications and standards prescribed in the tender document, which has been complied in compliance with this Conservation Management Plan.

The frequency and level of such site supervision by qualified Conservation Architect / Heritage Consultant and site supervisors will be determined as part of site monitoring requirements documented in the Management Plan and the tender document as well.

Routine Maintenance

Routine maintenance and small scale interior decoration work shall follow the recommendations of this Conservation Management Plan. The recommended conservation guidelines should be made known to the frontline building management & site operational staff, technicians and workmen who are responsible for carrying out or supervising the routine maintenance or regular repair works. The required information should be summarized and documented in a simple form of manuals or handbooks and included in the standard Operation and Maintenance Manual. Briefing session or training workshop should be arranged for all frontline staff to ensure their full understanding of the essential details and requirements when they carry out their duties in looking after the historic buildings.

Future Large Scale Renovation or Alterations & Additions

It is very unlikely that extensive alterations and additions would be required at this site in the near future. For any large scale renovation works or other works involving substantiate alterations and additions if required in future, prior consultation and consent should be obtained from the Development Bureau and Antiquities & Monuments Office. The recommendations of this conservation plan should be followed. Such works shall be designed and supervised by a qualified Conservation Architect or supervised by a qualified Conservation Consultant when it is designed by others.

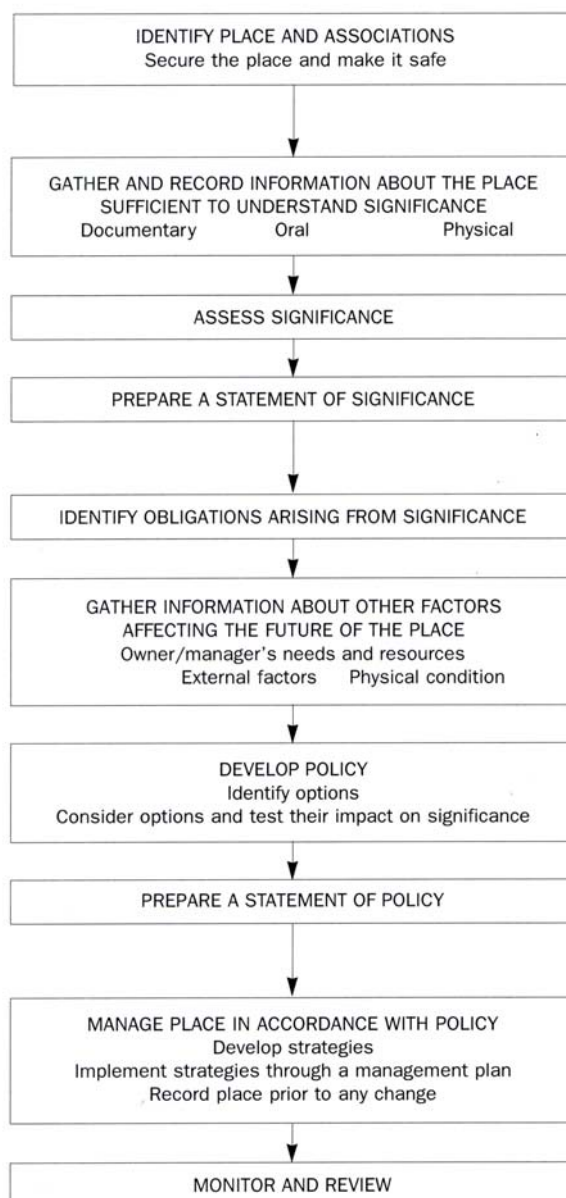
6. RECOMMENDATION

The planning, design and implementation of the adaptive reuse of the Old Tai O Police Station shall follow the recommendations made in this Conservation Management Plan prepared by the Conservation Architect / Heritage Consultant.

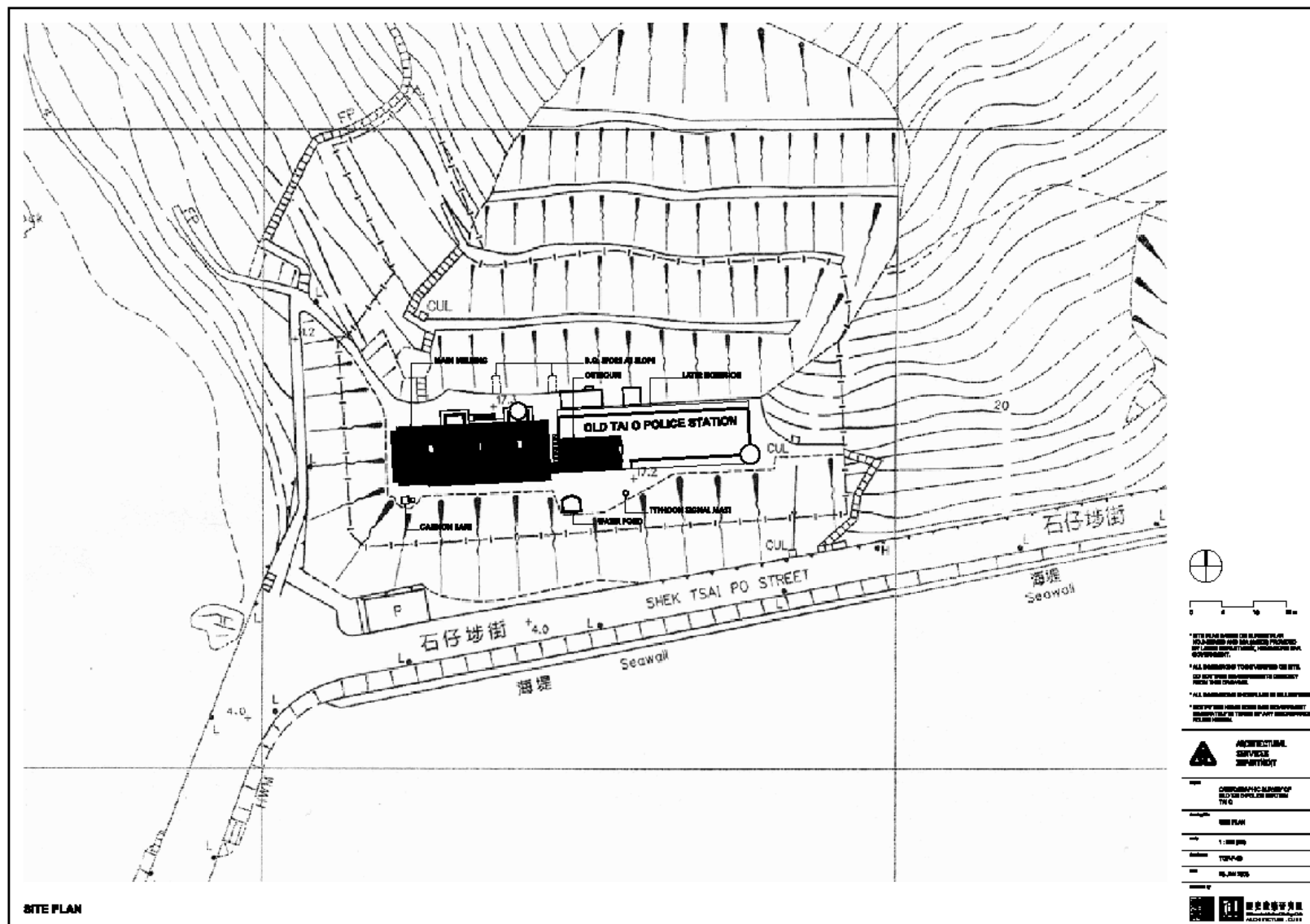
This Conservation Management Plan shall be regularly reviewed and updated with recommendation by a qualified Conservation Architect / Heritage Consultant. The frequency of review of the CMP will be addressed in the Management Plan.

The Burra Charter Process

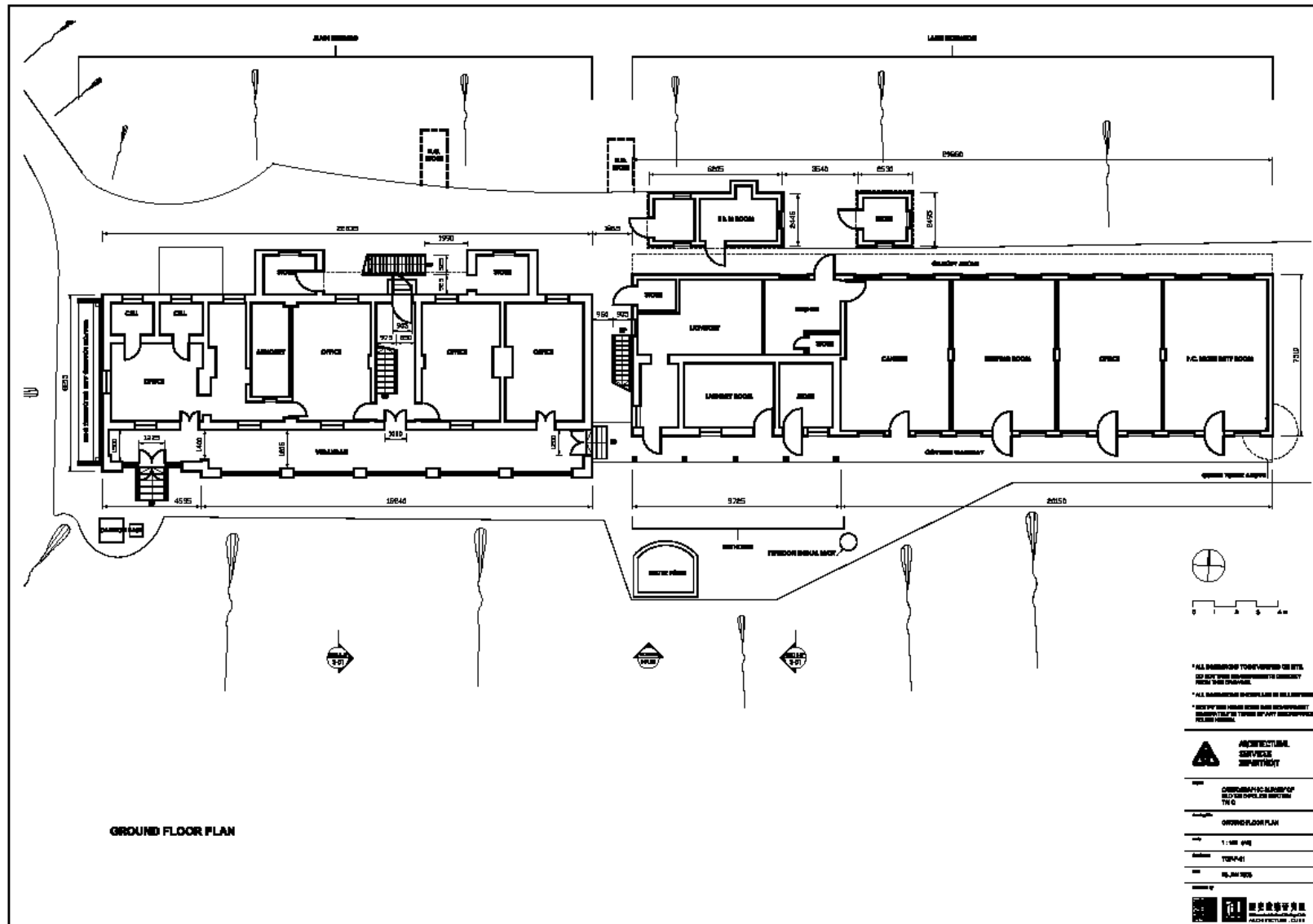
Sequence of investigations, decisions and actions



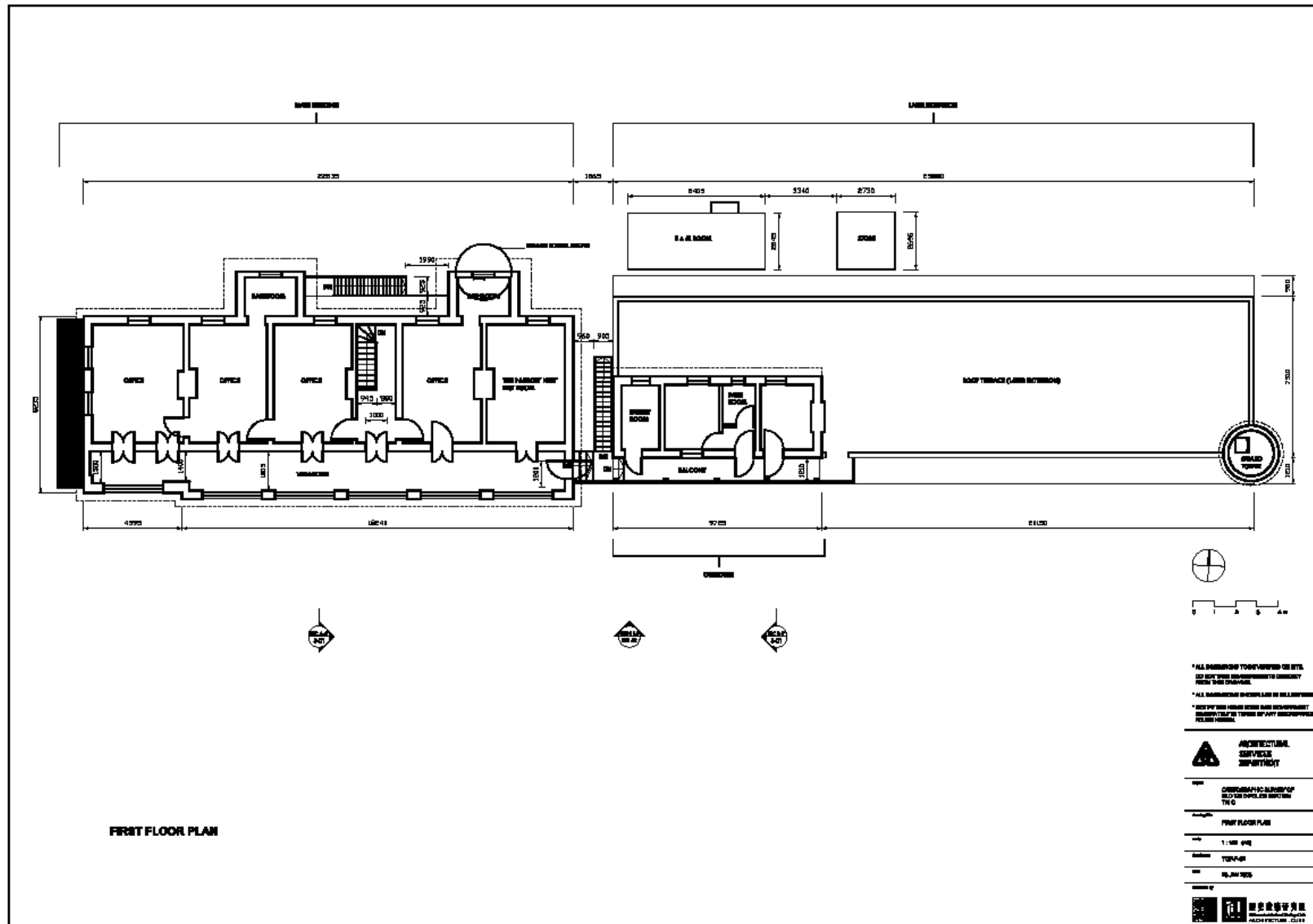
*The Burra Charter Process (Conservation Management Plan), Australia ICOMOS Inc,
The Burra Charter 1999*



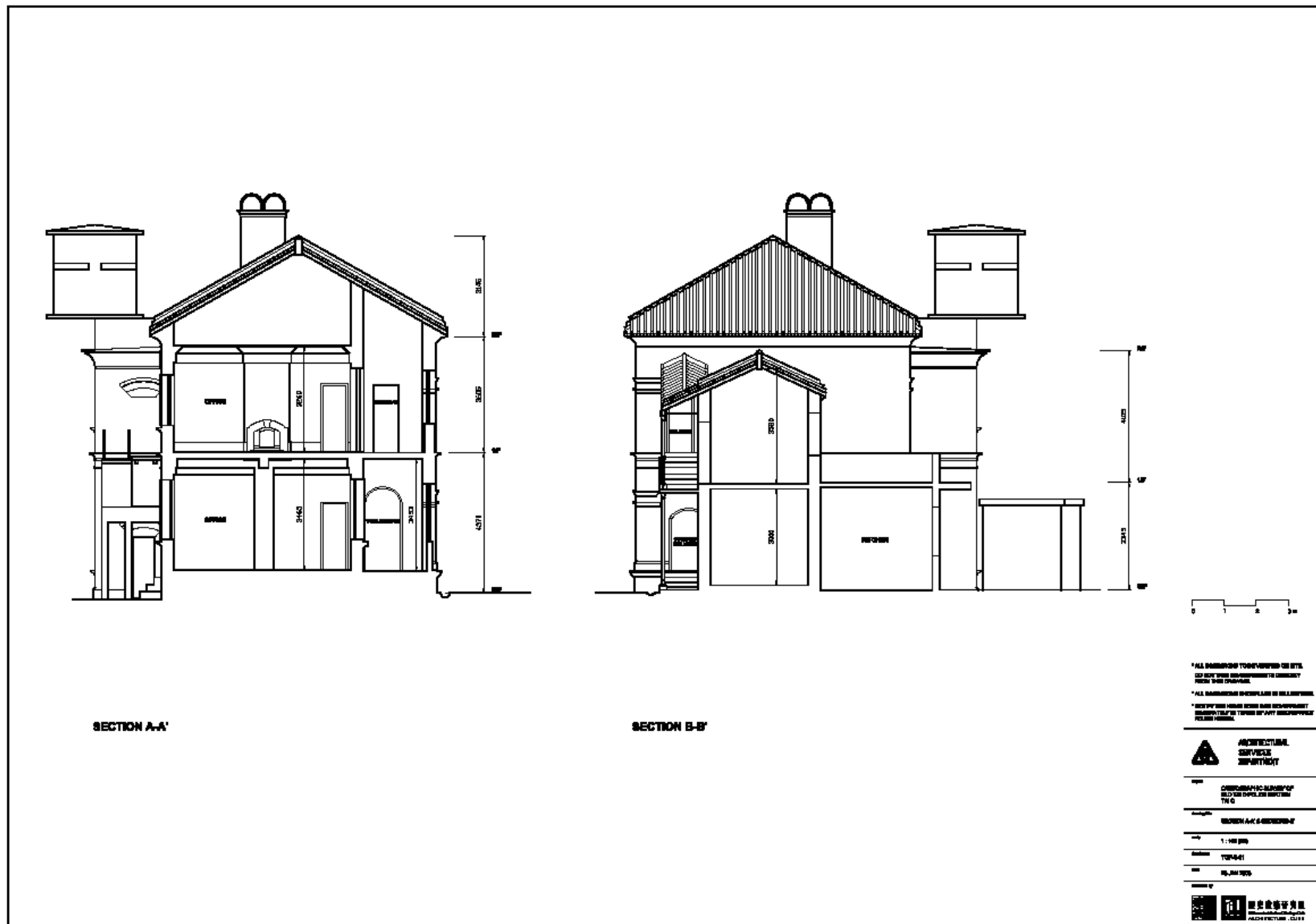
SITE PLAN



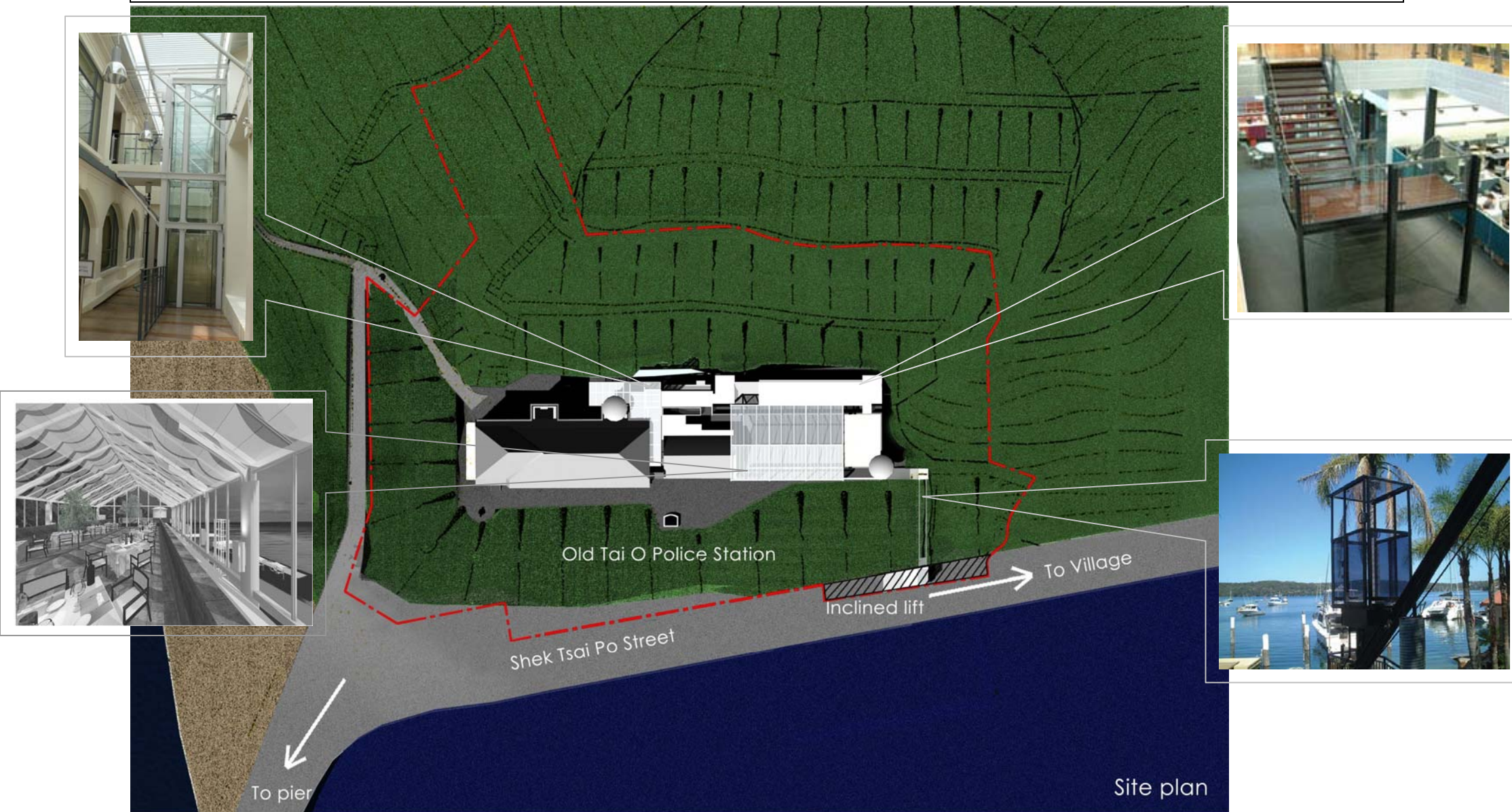
GROUND FLOOR PLAN



FIRST FLOOR PLAN

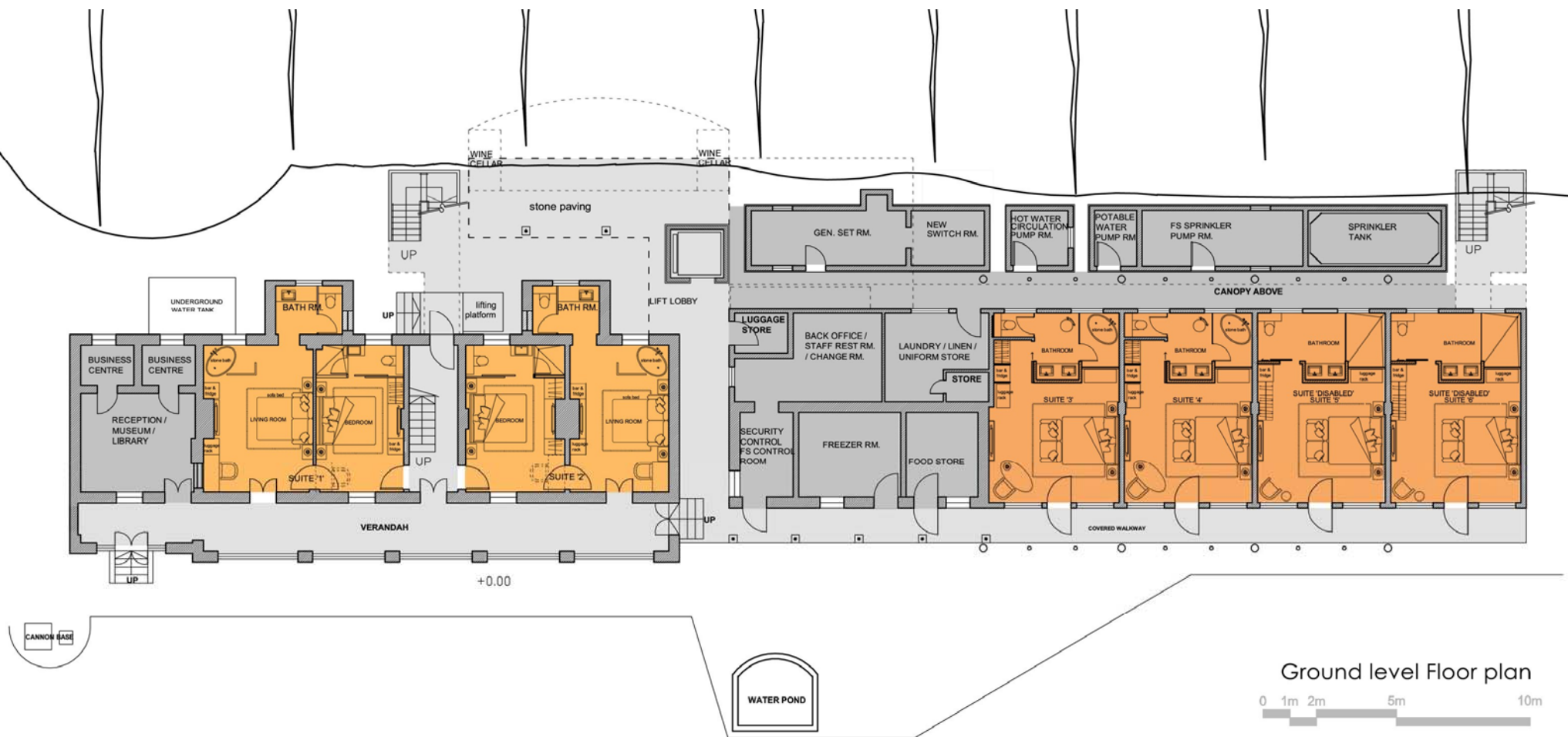


SECTION



SITE PLAN

Note: A small area at Shek Tsai Po Street for the provision of an inclined lift (or other form of transportation facilities) for barrier free access to the hotel as shown hatched would be further studied.



GROUND FLOOR PLAN



First level Floor plan

FIRST FLOOR PLAN

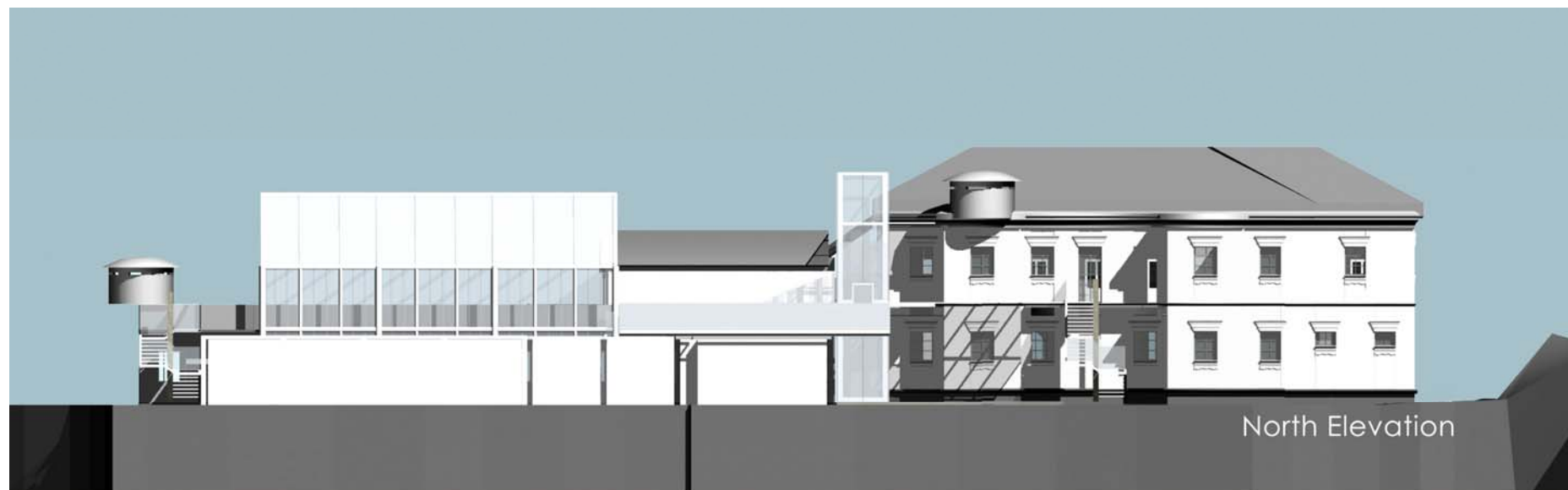


Roof plan

0 1m 2m 5m 10m



ROOF PLAN











ELEVATIONS









PERSPECTIVE

1. EXTERNAL AREA



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
1.1	<p>Old cannons and mountings (4 nos)</p> <div>     </div> <p>(Ref: No 1.1a) (Ref: No 1.1b) (Ref: No 1.1c) (Ref: No 1.1d)</p>	Exceptional	<ul style="list-style-type: none"> - Preserve in-situ - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair 	Low
1.2	<p>Old searchlight and stand at SW corner of building</p> <div>  </div> <p>(Ref: No 1.2)</p>	Exceptional	<ul style="list-style-type: none"> - Preserve in-situ 	Low




Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
1.3	Iron ring set in concrete block for mast stay	Moderate	- Preserve in-situ	Neutral
	 <p>(Ref: No 1.3)</p>			
1.4	D.G. Store at rear of building	Moderate	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Create new wall openings for adaptive reuse as wine cellar <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Existing space and structure retained except forming new openings for passage - Documentation of the structure before and after modification work 	Low
	 <p>(Ref: No 1.4)</p>			
1.5	Concrete steps and catchpit at rear	Low	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
	 <p>(Ref: No 1.5)</p>			





Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
1.6	Surface water channels and gratings	Low	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair 	Low
	 <p>(Ref: No 1.6)</p>			
1.7	Paths and steps	Low	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair 	Low
	 <p>(Ref: No .1.7)</p>			
1.8	Underground water tank at NW corner of Main Building	Low	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Diversion of drainage pipes to public sewage in Shek Tsai Po Street 	Low
	 <p>(Ref: No 1.8)</p>			



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
1.9	Chain and post fencing along top of slope in front of building	Low	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Addition of balustrade as protective barrier for safety <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize visual impact to existing landscape - Design new balustrade to compatible style but distinguishable from existing building fabric 	Low
	 <p>(Ref: No. 1.9)</p>			
1.10	Boundary fencing, safety railings and gates	Low	<ul style="list-style-type: none"> - Take down and remove from site <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize visual impact to existing landscape - Addition of balustrade as protective barrier for safety - Design new balustrade to compatible style but distinguishable from existing building fabric 	Low
	 <p>(Ref: No 1.10)</p>			
1.11	Weapon loading/unloading shed at end of building	Intrusive	<ul style="list-style-type: none"> - Take down and remove - Restore exposed wall surface with similar materials <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize damage to adjacent wall surface when removing the item - Restoration to be carefully done in respect of authenticity - Documentation of the removal of shed before and after restoration work 	Low
	 <p>(Ref: No. 1.11)</p>			

2. MAIN BUILDING - ELEVATIONS





Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
2.1	Stuccoed and painted walls  (Ref: No 2.1)	Moderate	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
2.2	Arched verandahs, Architraves, Keystones, Cills, Mouldings, Cornices, etc  (Ref: No 2.2)	High	<ul style="list-style-type: none"> - Remove aluminum windows and guard bars to restore the verandah to its original condition - Repair window cills and fabrics to with same materials to match existing - Addition of protective barrier after restoration if required by BD to comply with Buildings Regulations <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Apply exemption of additional protective barrier and if unavoidable, addition of horizontal rail bar / glass barrier; fixing details subject to BA's approval & AMO's agreement. - Design of protective barrier to be compatible with and distinguishable from the existing building fabric - Fixing details to minimize damage to existing building fabric - Documentation of the verandah before and after restoration work 	Low



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
2.3	Cast Iron rainwater pipes and hoppers  (Ref: No 2.3)	High	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
2.4	Granite steps to entrances and balustrading  (Re: No 2.4a)  (Re: No 2.4b)	High	<ul style="list-style-type: none"> - Preserve in-situ - Addition of railing on sides of the steps matching existing building style <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize nos. of fixing point and damage to existing stone work - Vertical post of new railing not directly fixed to the wall surface - Design of new railing compatible with and distinguishable from the existing building fabric - Documentation of the steps and balustrading before and after modification work 	Low



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
2.5	Original wooden casement windows and jalousies, some with steel shutters	High	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Take down the window mount AC unit to restore the original building fabric and install windows of similar materials to match existing 	Low
	  <p>(Ref: No 2.5a) (Ref: No 2.5b)</p>			
2.6	Original wooden doors to stores and rear entrance	Moderate	<ul style="list-style-type: none"> - Take down and keep in store for possible reuse in future - Conceal existing door opening with brick work with finishes match existing. <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Do not flush new wall surface with existing wall surface to distinguish it from old fabric - Minimize fixing points to existing wall - Make possible to re-open the concealed door opening & re-install original door in future - Documentation of the door opening before and after modification work 	Low
	  <p>(Ref: No 2.6a) (Ref: No 2.6b)</p>			




Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
2.7	<p>The covered walkway bridging the two buildings</p>  <p>(Ref: No 2.7)</p>	High	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize nos. of fixing point and damage to adjacent wall surface - Addition of balustrade as protective barrier if required by BD to comply with regulations - Vertical post of new railing not directly fixed to the wall surface 	Low
2.8	<p>Rear fire escape bridge between 1/F bathroom</p>  <p>(Ref: No. 2.8)</p>	Low	<ul style="list-style-type: none"> - The existing staircase does not comply with the current statutory requirements. - Take down and remove from site for addition of new fire escape staircase to comply with current statutory requirement <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - New staircase structure to be detached from existing building - Place new staircases in a less prominent position - New staircases to be distinguishable from existing building fabric and reversible in future. - Documentation of the removal of staircase before and after modification work 	Medium






3. MAIN BUILDING - INTERNAL





Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.1	Plastered and painted walls and ceilings to rooms on G/F  (Ref: No 3.1)	Moderate	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
3.2	Original wooden casement windows, burglar bars and steel shutters to windows to rooms on G/F  (Ref: No 3.2a)  (Ref: No 3.2b)	High	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Removal of burglar bars and salvage for future reuse - Convert existing one window opening in Suite 1 to form new door opening to comply with building regulations <u>Mitigation Measures:</u> - Minimize damage to adjacent wall surface when repairing / removing the item - Salvage existing wooden windows for future re-use - Documentation of the window opening before and after modification work	Medium
3.3	French windows and jalousies to 1/F verandah entrances  (Ref: No 3.3)	High	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low




Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.4	Original wooden paneled doors to offices  (Ref: No 3.4)	Moderate	<ul style="list-style-type: none"> - Take down and keep in store for future re-use. - Conceal existing door openings by acoustic drywall partition with required FRP to comply with building regulations <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Concealed door opening does not flush with existing wall surface to distinguish it from old fabric - Minimize fixing point & damage to adjacent wall surface - Make the alteration work reversible - Documentation of the door opening before and after modification work 	Medium
3.5.	Timber-framed French doors with louvered doors between 1/F rooms  (Ref: No 3.5)	Moderate	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair 	Low



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.6.	Segmental arched mouldings over doors and windows  (Ref: No 3.6)	High	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
3.7	Two cells at main building  (Ref. No.3.7)	High	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Convert the cell to business centre with the metal gates retained. <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Retain existing internal partitions - Minimize alteration, fixing points and damage to wall surface - Addition of new services to be kept minimum as far as possible 	Low

Item No	Affected Elements/Materials	Level of Significance	Recommended Treatment/ Justification / Mitigation Measures	Impact Level
3.8	Iron gates and grilled partitions in Armoury and under staircase on G/F	Moderate (Armoury)	Armoury - Set back the iron gates and partitions for operation need <u>Mitigation Measures:</u> - Documentation of original location before and after modification work - Make alteration reversible	Medium
	<div>   </div> <div> <p>(Ref: No 3.8a)</p> <p>(Ref: No 3.8b)</p> </div>	Low (Under staircase)	Under staircase - Preserve in-situ - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair -	Low
3.9	Steel doors to Charge Room and rear exit on G/F	High	- Preserve in-situ	Low
	 <p>(Ref: No 3.9)</p>			





Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.10	<p>All fireplaces</p> <div>   </div> <p>(Ref: No 3.10a) (Ref: No 3.10b)</p>	High	<ul style="list-style-type: none"> - Preserve in-situ - Chimneys of existing fireplaces will be blocked to fulfill fire resisting construction requirement <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize fixing points & damage to the fireplace during installation - Do not alter the appearance of fireplace - Make alteration reversible - Documentation of the installation before and after modification work 	Low
3.11	<p>Wooden staircase and balustrade to 1/F and security grille hinged to wall</p> <div>    </div> <p>(Ref: No 3.11a) (Ref: No 3.11b) (Ref: No 3.11c)</p>	High	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Retain existing wooden stairs and fence off for display only due to safety reason 	Low

Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.12	Boarded floors and ceilings to all rooms on 1/F with plain cement skirting to walls	Moderate	Boarded floor - Deck over existing flooring with reversible floor finishing <u>Mitigation Measures:</u> - Existing wood boarded floor to be protected by protective layer before laying any new floor finish Boarded ceiling - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair -	Low
	<div>  <p>(Ref: No 3.12a)</p> </div> <div>  <p>(Ref: No 3.12b)</p> </div>			
3.13	Plastered and painted walls to 1/F rooms with moulded wooden picture rails and plaster ceiling cove	Moderate	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
	<div>  <p>(Ref: No 3.13a)</p> </div> <div>  <p>(Ref: No 3.13b)</p> </div>			




Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.14	Redundant cables and conduit on external walls	Intrusive	<ul style="list-style-type: none"> - Take down and remove from site - Re-wiring of E&M Services 	Low
	 <p>(Ref: No. 3.14)</p>			
3.15	Signage	Low	<ul style="list-style-type: none"> - Take down and salvage for possible reuse in other area 	Low
	 <p>(Ref: No. 3.15)</p>			
3.16	Shower and toilet cubicles	Neutral	<ul style="list-style-type: none"> - Take down and remove the partitions, sanitary fittings and finishes - Conversion to Back Office 	Medium
	 <p>(Ref: No 3.16)</p>			



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
3.17	Kitchen and laundry	Neutral	<ul style="list-style-type: none"> - Take down and remove the fittings and finishes - Conversion to Laundry/Linen Store 	Medium
	 <p>(Ref: No. 3.17)</p>			
3.18	The original natural colour and texture of the granite threshold on the ground floor	High	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair 	Low
	 <p>(Ref: No. 3.18)</p>			

4. MAIN BUILDING - ROOF



Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
4.1	Chinese tiles, timber battens and purlins	High	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
	  <p>(Ref: No 4.1a) (Ref: No 4.1b)</p>			
4.2	Corner turret over bathroom on NE corner of building, including internal cat ladder	High	- Preserve in-situ	Neutral
	 <p>(Ref: No 4.2)</p>			
4.3	All chimney stacks	High	- Preserve in-situ	Neutral
	 <p>(Ref: No 4.3)</p>			

5. OUTHOUSE - ELEVATIONS

Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
5.1	Stuccoed and painted walls	Moderate	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
	 <p>(Ref: No 5.1)</p>			
5.2	Open verandahs, cast iron posts, and railing at 1/F level	Moderate	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
	 <p>(Ref: No 5.2)</p>			
5.3	Cantilevered canopies to modern extension at front and rear	Low	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
	 <p>(Ref: No 5.3)</p>			

Item No	Affected Elements / Materials	Level of Significance	Recommended Treatment / Justification / Mitigation Measures	Impact Level
5.4	<p>Corner turret at SE corner of building, including internal cat ladder</p>  <p>(Ref: No 5.4)</p>	High	<ul style="list-style-type: none"> - Repair and/or replace by similar new materials to match existing if deteriorated beyond repair - Form opening to rear of corner turret for access from restaurant, building's main façade will not be altered - Cat ladder to be preserved in-situ <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize damage to existing walls and adjacent fabric when forming new opening - Documentation of the corner turret before and after modification work 	Medium
5.5	<p>External staircase at west</p>  <p>(Ref: No. 5.5)</p>	Low	<ul style="list-style-type: none"> - The existing staircase does not comply with the current statutory requirements. - Take down and remove from site to make room for new means of escape/access provisions to comply with building regulations - Erect steel deck over void between Main Building and Outhouse to comply with barrier free access requirement. <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize damage to adjacent wall surface when dismantling the staircase - New support for the platform to be detached and distinguishable from existing building - Set back or detach new platform from the external walls of the Main Building and Outhouse to distinguish new structure from existing building fabric - Documentation of the removal of staircase before and after modification work 	Medium

6. OUTHOUSE - ROOF

Item No	Affected Elements/Materials	Level of Significance	Recommended Treatment/ Justification / Mitigation Measures	Impact Level
6.1	Chinese tiles, timber battens and purlins  (Ref: No 6.1)	High	- Repair and/or replace by similar new materials to match existing if deteriorated beyond repair	Low
6.2	Roof platform  (Ref: No.6.2)	Low	- Take down existing worn roofing system and re-roofing to be converted to roof-top restaurant. <u>Mitigation Measures:</u> - Minimize damage to adjacent parapet wall when repairing / removing the item - Addition of new reversible glass enclosure with independent support steel frame to be constructed to roof top restaurant. - New support structures to be detached and distinguishable from existing building - The slab to be strengthening with support distinguishable from the existing building fabric - Make additional work reversible - Documentation of the alteration to the roof before and after modification work	Medium

7. ADDITIONAL BUILDINGS / INSTALLATIONS (INCLUDING NEW E&M ROOMS)

Item No	Affected Elements / Materials	Location	Recommended Treatment / Justification / Mitigation Measures	Impact Level
7.1	Shuttle lift with landings at G/F, Roof of Later Extension and 1/F of Main Building	Rear of Main Building near D.G. Store	<ul style="list-style-type: none"> - Addition of new lift for barrier free access to suites at 1/F of Main Building and roof restaurant of later extension (built 1961-62) to comply with barrier free requirements. <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize damage to adjacent wall when repairing / removing the item - New support structures to be detached and distinguishable from existing building - Additional lift of steel structure with glass enclosure distinguishable from the existing building fabric - New lift to be located at less prominent location - Documentation of the lift installation before and after the additional work 	Medium
7.2	Vertical platform with landings at external area and G/F of Main Building	Rear entrance of Main Building at G/F	<ul style="list-style-type: none"> - Installation of new lifting platform at the existing rear entrance of the wooden staircase for barrier free access to ground floor of the Main Building. <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize damage to adjacent building fabric when repairing / removing the item - Documentation of the rear entrance and wooden staircase before and after modification work 	Medium

Item No	Affected Elements / Materials	Location	Recommended Treatment / Justification / Mitigation Measures	Impact Level
7.3	Inclined lift (or other transportation facilities as appropriate) with landings at Shek Tsai Po Street and G/F external area of the site	SE corner of the site	<ul style="list-style-type: none"> - For barrier free access to connect the street level to the site <p><u>Mitigation Measures:</u></p> <ul style="list-style-type: none"> - Minimize damage to adjacent trees & slope - Inclined lift (or other transportation facilities as appropriate) in simple and subordinate design compatible with and not dominating the existing environment - Inclined lift to be located at less prominent location - Minimize visual impact to the existing slope by careful alignment and avoid excessive cutting of trees - Documentation of the installation of the inclined lift before and after the modification work 	Medium

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