



## **HERITAGE IMPACT ASSESSMENT**

**IN RESPECT OF THE PROPOSED YOUTH HOSTEL AT  
122A HOLLYWOOD ROAD HONG KONG**

**FEB 2015**

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#### **Prepared for**

Tung Wah Group of Hospitals and  
Home Affairs Bureau

#### **By**

OKO Consultants Limited

#### **In association with**

CYS Associates (H.K.) Ltd

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- Information Services Department
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## 1. Executive Summary

In accordance with the Youth Hostel Scheme (YHS) announced by the Chief Executive in 2012, Tung Wah Group of Hospitals (TWGHs), with the Home Affairs Bureau (HAB)'s support, proposes to redevelop a vacant school building at 122A Hollywood Road into a youth hostel ("Proposed Development"). This is in line with the policy objectives of YHS in easing the housing shortage faced by young people who wish to live independently from home, and providing an opportunity for youth to accumulate savings for future development.

The Proposed Development is located at Inland Lot No. 338 at 122A Hollywood Road ("the Project Site"), having a footprint of 445 sq.m.. It is currently a vacant school (the former TWGHs Lee Sai Chow Memorial Primary School ("LSCMPS")) which was completed in 1959 and has been disused since 2005. Under the current proposal, an 18-storey youth hostel with about 213 units will be constructed.

LSCMPS is not a declared monument or graded historic building. However, there are two "heritage sites" within 50 metres of the Project Site boundary, including the Man Mo Temple Compound (Sheung Wan) (MMTC) (Declared Monument); and the Ladder Street (Grade 1 Historic Structure).

In accordance with Development Bureau Technical Circular (Works) No. 06/2009 and Guidelines for Built Heritage Impact Assessment, an HIA is carried out to examine the impact of the Proposed Development on the heritage sites concerned with an objective to avoid or minimize the adverse impact of the proposed works, and, if possible, to generate beneficial impacts on the identified heritage sites.

The HIA includes studies of the history and the physical condition of the Project Site and its surroundings in **Section 3**. It also contains assessment of the cultural significance of the Project Site and its surroundings in **Section 4**, development of

conservation policy in **Section 5**, assessment of heritage impacts on the identified heritage sites, proposal of mitigation and enhancement measures in **Section 6**.

The design of the Proposed Development is evolved based on the conservation policy and it is considered to be an optimal model in balancing the constraints and opportunities. As no actual construction works will be carried out in the heritage sites, this HIA focuses on identifying the potential impacts, both direct and indirect, to the nearby heritage sites. Accordingly, measures are proposed to mitigate those impacts. In addition, this HIA suggests enhancement measures such as utilising the heritage bazaar and installing ventilation system for the Man Mo Temple in order to add value to the whole Tung Wah Compound.

The HIA has concluded that the proposal will minimize adverse impact of the proposed works to the “heritage sites” and generate beneficial impacts on the Man Mo Temple Compound and the community at large.



## **2. Introduction**

### **2.1 The Requirement of HIA**

- 2.1.1 The Project Site is part of Inland Lot No. 338 at 122A Hollywood Road, Sheung Wan, Hong Kong. It is planned for redevelopment by the Tung Wah Group of Hospitals (TWGHs). The project will involve demolition of the existing building and construction of a 18-storey youth hostel in close proximity to two “heritage sites” namely, the Man Mo Temple Compound (Sheung Wan) - Declared Monument and the Ladder Street - Grade 1 Historic Structure. The Antiquities and Monuments Office (AMO) of the Leisure & Cultural Services Department advised that a Heritage Impact Assessment (HIA) in accordance with Development Bureau Technical Circular (Works) No. 6/2009 (DevB TC (Works) No. 6/2009) was required for the project.

### **2.2 Project Background**

#### Government Policy

- 2.2.1 In Chief Executive’s (CE) Policy Address 2011-2012, CE expressed that the Government was aware of the concern of some non-governmental organizations (NGO) about the aspiration of working youths to have their own living space. In view of this, the Government would actively support NGO’s plan to use part of the land granted for Government, institution or community use to build hostels for youth. This initiative was intended to optimize land use and allow the Government to draw on NGO’s resources and experience to provide another housing alternative with reasonable rental for young people, thereby encouraging them to accumulate resources to prepare for their future development.
- 2.2.2 The Policy Address was taken further in July 2012 when CE announced that the Government would subsidize the NGOs with full capital costs of building youth hostels to speed up the implementation of the Youth Hostel Scheme (YHS). Two pilot schemes would be launched including one in Sheung Wan proposed by the TWGHs and one in Tai Po proposed by the Hong Kong Federation of Youth Groups.

2.2.3 At the Legislative Council (LegCo) Panel on Home Affairs Meeting on 18 February 2013, the Home Affairs Bureau (HAB) presented the key parameters of the two pilot projects in respect of their development and operations. It was also announced that the Government would provide capital funding to the NGOs through the Capital Works Reserve Fund (CWRP) subject to the endorsement of Public Works Subcommittee (PWSC) and approval of the Finance Committee (FC) of LegCo.

2.2.4 In CE's 2014 and 2015 Policy Address, he reiterated that the Government would continue to put emphasis on implementing the YHS as part of the youth development initiatives. In addition to the two projects in Sheung Wan and Tai Po, another two projects in Mong Kok and Jordan respectively would also be launched. It is expected the four projects will provide about 1,000 hostel places.

#### Aims and Objectives

2.2.5 The idea of YHS was to provide young people in need with affordable accommodation as well as an opportunity to accumulate savings to meet their aspirations. TWGHs' youth hostel project also aimed to enhance the capacity of youth residents to attain independent living and develop their capabilities in participating, serving and contributing to the community.

2.2.6 TWGHs has a long history of providing social services for youth and their families in Hong Kong. With the awareness of the housing shortage encountered by young people nowadays and the aspiration of some working youth having their own living spaces, TWGHs support the idea of YHS and is endeavoured to help relieve the situation by responding to the Government policy.

### Site Selection

- 2.2.7 To initiate the youth hostel proposal, available sites under TWGHs were searched, and the Hollywood Road site was identified. The primary school on site has been closed and the site has been disused since 2005. It is ideal for YHS development in terms of its accessibility to the Central Business District and readily available infrastructures.
- 2.2.8 TWGHs started the dialogue with the Government back in 2011, after the announcement of the policy address. HAB supports the proposal and the YHS at Hollywood Road was first presented to the Central and Western District Council (CWDC) and discussed at its meeting on 11 October 2012. The youth hostel proposal was generally well received by the CWDC as it could provide a channel for the youth to seek accommodation at an affordable cost. Subsequent consultation with CWDC was conducted on 24 July 2014 at its Food, Environment, Hygiene and Works Committee Meeting. While mentioning community's views on building height, hostel management, integration with Man Mo Temple etc., the Committee Chair concluded that the CWDC in-principle supported TWGHs to submit the application to rezone the subject site and relax the height restriction.

### Development Parameters of the Proposed Development

- 2.2.9 The development parameters of the Proposed Development is determined by several factors:
- commitment to provide the targeted number of hostel places to serve the vast demand
  - sustainable financial model in the future operation and management
  - compatibility with the surrounding environment

*(i) Commitment to provide the targeted number of hostel places to serve the vast demand*

2.2.10 As the demand for the hostel places is expected to be high, there is an imminent need to fully utilise the land resources in each YHS project. It is hoped that the Proposed Development could benefit as many youth as possible.

*(ii) Sustainable financial model in the future operation and management*

2.2.11 While the Government has committed to provide full capital funding through the CWRP for the development of the youth hostel and associated facilities, the Proposed Development will be operated by TWGHs under a self-financing mode. The premises, to be rented at a concessionary rate, will have to be managed, operated and maintained at TWGHs' own expenses. Hence, an appropriate development scale has to be maintained to ensure operational sustainability. Details on the eligibility and rental level is provided in **Annex I** for reference.

*(iii) Compatibility with the surrounding environment*

2.2.12 Reference has been made with the existing development in the vicinity. It is noted that there are high-rise developments such as CentreStage and Hollywood Terrace (marked as "A" and "B" respectively in **Figure 3.2**), which were completed in 2006 and 1999 respectively, with a building height of 35 to 37 storeys. At the same time, there are some low-rise residential developments which were built over 45 years ago along Hollywood Road, and they are of 5 to 7 storeys in general. The Proposed Development will be medium-rise development with 18-storey and will stand in harmony with the surrounding development context.

2.2.13 Besides the building height, it is noted that, due to the operation of MMTC with the burning of joss, air quality nuisance is expected. To mitigate air quality impact due to joss burning and vehicular emissions, all units of the Proposed Development will be provided with central fresh air supply system together with split type air



conditioning. This design can avoid the need of ventilation by means of openable window. Fresh air intake locations for the centralised fresh air will be installed with sufficient buffer distance. With this installation, traffic noise impact generated from the surrounding roads will also be reduced. With the mitigation measure imposed, it is envisaged that future occupants of the development will not be subject to insurmountable air quality impacts or noise impacts, thus it is acceptable from environmental point of view.

2.2.14 The development parameters and indicative schematic drawings for the proposed youth hostel development are presented in **Table 2.1**, **Table 2.2** below and **Annex II**.

*Table 2.1 – Development Parameters of the Proposed Development*

Development Parameters	Proposed Details
Site	Inland Lot No. 338
Address	No. 122A Hollywood Road, Sheung Wan
Site Area	Whole Lot: 1,632sq.m. Project Site: 445sq.m.
No. of Blocks	1
Total GFA (Maximum) - Domestic	7,973.7sq.m.
Plot Ratio (Maximum) - Domestic (based on lot area of 1,632sq.m.)	Not more than 4.89
Site Coverage - Domestic (based on lot area of 1,632sq.m.)	27.27%
No. of Units	Single room: 120 Double room: 93 Total: 213
No. of Storeys	18 (excluding mezzanine and roof floor)
Expected no. of residents	306
Building Height at Main Roof	94.8mPD
Actual Building Height at Main Roof	70m
Space for Heritage Bazaar	About 330sq.m.
No. of Car Parking Spaces/ Loading & Unloading Bays	As appropriate

Table 2.2 – Uses at Different Floor

Floor	Proposed Uses
G/F	Heritage bazaar Entrance lobby Car parking spaces Loading/unloading bay Electrical and mechanical (“E&M”) rooms
M/F	E&M rooms
1/F	Reading room Storage E&M rooms
2/F	Management office Self-help laundry Multi-purpose rooms Common kitchen
3/F-17/F	Hostel
R/F	E&M rooms Roof garden
Expected year of completion	2019

## 2.3 Objectives

- 2.3.1 This HIA report is prepared according to the agreed Study Brief and submitted on behalf of the Project Proponent, TWGHs and HAB, to seek endorsement from the AMO.
- 2.3.2 The objective of the HIA is to avoid or minimize adverse impact of the proposed works, and if possible to generate beneficial impacts to the “heritage sites” as defined in DevB TC (Works) No. 6/2009.
- 2.3.3 There is no “heritage sites” partly or wholly within the project site boundary (inclusive of works area). However, as shown in **Figure 2.1**, the following “heritage sites” are found within 50 metres of the project site boundary (inclusive of works area):
- (i) Man Mo Temple Compound (Declared Monument)

## (ii) The Ladder Street (Grade 1 Historic Structure)

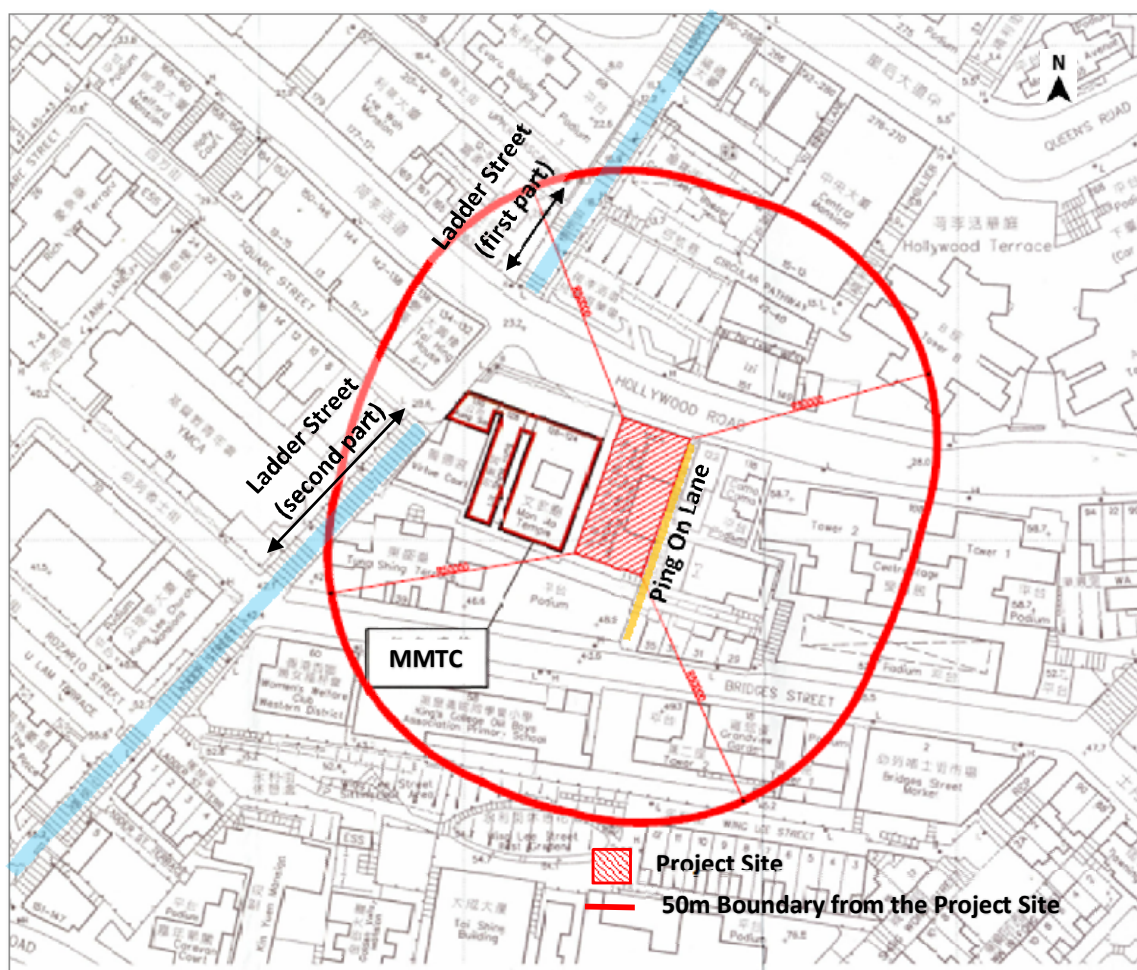


Figure 2.1 Concerned Heritage Sites within 50m Boundary from the Project Site

2.3.4 Man Mo Temple Compound with its proximity to the Project will be included in the assessment. For Ladder Street, it has an extent from Queen's Road Central to Caine Road, only the portion within 50 metres of the project site boundary (i.e. first part is from Upper Lascar Row to Hollywood Road and the second part is from Square Street to Bridges Street as indicated in **Figure 2.1**) will be covered in the assessment.

2.3.5 As identified from our preliminary research, Ping On Lane, though not a graded historic structure, may be culturally linked with the site and the Man Mo Temple

Compound, impacts on this lane by the Proposed Development will thus be included in the assessment.

- 2.3.6 Adverse impact, if unavoidable due to other constraints, will be explained in the HIA with mitigation measures proposed as far as possible.

## **2.4 Methodology**

- 2.4.1 The HIA has been prepared in accordance with DevB TC (Works) No. 6/2009, “Guidelines for Built Heritage Impact Assessment (as at 16 May 2008)” and the principles set out in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance - The Burra Charter (2013). In terms of the construction technology and mitigation measures, best practice and examples applied locally and overseas will be referred for feasible application to this project.
- 2.4.2 Public engagement such as consultation at district level and communications with stakeholders will be carried out to explain the benefit, as well as anticipated adverse impact on the “heritage sites” whenever necessary.
- 2.4.3 To understand the place, evidence was gathered by background research and field survey. Data including literatures, publications and images were then coordinated and analysed in order to assess and identify the significance of the “heritage sites” in the surroundings.
- 2.4.4 The appraisal formed a base for the development of conservation policies to guide the redevelopment in the Project Site, to enhance the compatibility of the future development with the existing “heritage sites” and ensure the significance of the “heritage sites” will not be adversely affected by the Proposed Development during the construction and operation stages.



## 2.5 Authorship

2.5.1 This HIA is undertaken by OKO Consultants Limited (Heritage Consultant) in association with CYS Associates (H.K.) Ltd (Design Architect). The key personnel in the research and preparation of the HIA report are

- Nigel Ko (Project Leader); and
- Candy Chan.

2.5.2 Photos taken in 2013 or 2014 are provided by OKO Consultants Limited and the graphical schemes and plans are prepared by CYS Associates (H.K.) Ltd.

## 2.6 Definitions

- “Project Site” refers to the parcel of land that LSCMPS is standing and planned for redevelopment as shown in **Figure 2.1**.
- “Man Mo Temple Compound” refers to the Declared Monument which consists of Man Mo Temple, Lit Shing Kung and Kung Sor at 124-126, 128 and 130 Hollywood Road.
- “Man Mo Temple” refers to the two-hall structure within the Man Mo Temple Compound.
- “Lit Shing Kung” refers to the three-hall structure to the left of Man Mo Temple.
- “Kung Sor” refers to the one-hall structure to the left of Lit Shing Kung.
- “Tung Wah Compound” refers to the site bounded by Hollywood Road, Ladder Street, Bridges Street and Ping On Lane.

## 2.7 Limitations

2.7.1 Building bulk and building height have been determined by balancing the three criteria as set out in **Section 2.2**. The acceptability of the development parameters from planning and environmental point of view should be considered by other Authorities under separate legislation, focus of this HIA should be the compatibility

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of the Proposed Development with the concerned heritage sites and the improvement that the Proposed Project can bring in the cultural heritage aspect.

### 3. Understanding the Site

#### 3.1. Description of the Site and Its Surrounding

- 3.1.1 The Project Site is located at No. 122A Hollywood Road, Sheung Wan (**Figure 3.2** refers). It is bounded by Hollywood Road to its north, Ping On Lane to its east, a residential development, Tung Shing Terrace to its south and Man Mo Temple Compound to its west. There is currently a vacant 6-storey school, the former TWGHs Lee Sai Chow Memorial Primary School (“LSCMPS”), which has been disused since 2005.



Figure 3.1 Project Site – The former TWGHs Lee Sai Chow Memorial Primary School (OKO, 2014)

- 3.1.2 In its immediate neighbourhood, it is mainly a residential area comprises high-rise residential blocks, serviced apartments, an office block and low-rise composite development with ground floor used for retail and food and beverage. Hollywood Road (marked as “C” in **Figure 3.2**) is popular for antiques shops and galleries, there are also an increasing number of restaurants with the spread from the Soho area. There is an open space diagonally opposite to the Project Site which is the Un On Lane West Children’s Playground (marked as “D” in **Figure 3.2**). Behind the Project Site is Tung Shing Terrace (marked as “E” in **Figure 3.2**), which is a residential development also owned by TWGHs and there is a day care centre for the elderly on the ground floor.

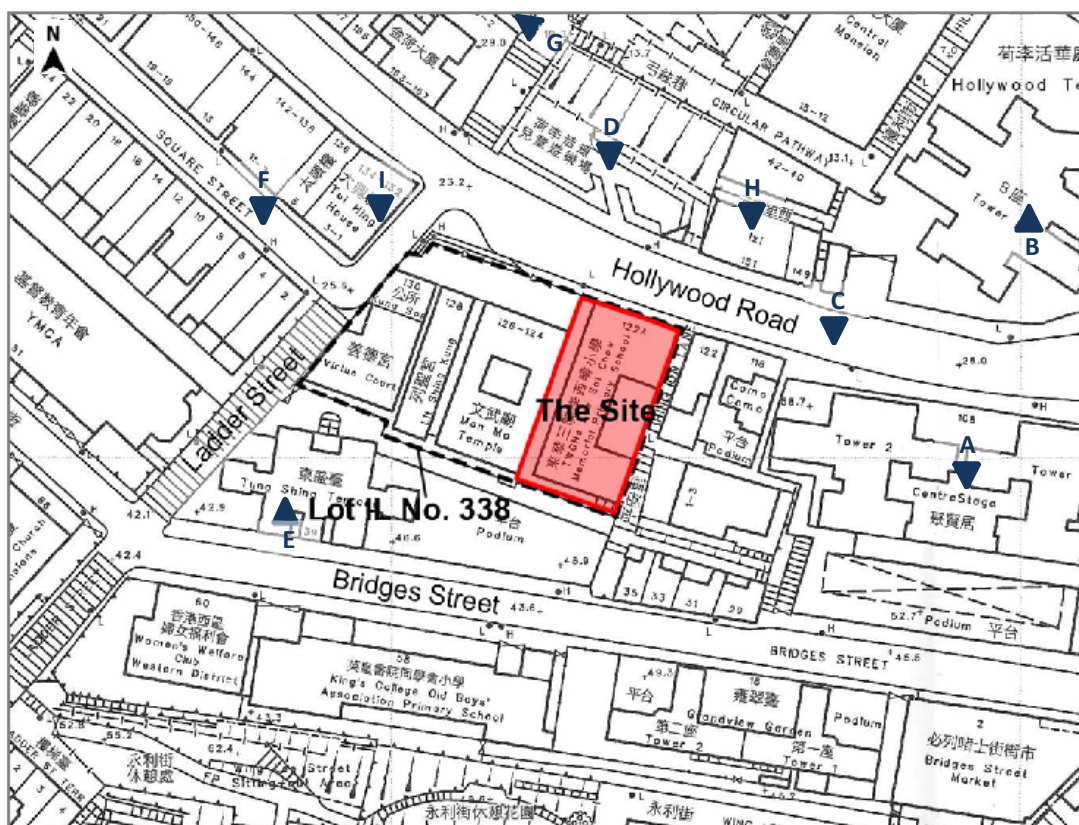


Figure 3.2 Site Location Plan (Survey and Mapping Office, Lands Department, HKSAR Government)



Figure 3.3 Developments in the surrounding (OKO, 2014)





Figure 3.4 Un On Lane West Children's Playground (OKO, 2014)

3.1.3 Further to the west of the Project Site, there were a few shops doing funeral services related business in the Square Street (marked as “F” in **Figure 3.2**) and some stalls and shops selling antiques along Upper Lascar Row (marked as “G” in **Figure 3.2**).



Figure 3.5 Square Street (OKO, 2014)



Figure 3.6 Upper Lascar Row (OKO, 2014)

- 3.1.4 In the locality, there are PMQ, the coming Bridges Street Market and the former Central Police Station Compound, which are all revitalisation projects promoting the conservation of heritage.



Figure 3.7 PMQ (OKO, 2014)

- 3.1.5 Vehicular access to the Project Site will be provided via the ingress/egress point off Hollywood Road only.

### 3.2. Historic Development

- 3.2.1. The significance and importance of the history is not limited to the Project Site but also Man Mo Temple Compound and its surroundings. Therefore, to address the heritage impact of the Proposed Development, history of the Project Site and its surroundings are studied in this section by breaking down into four periods, those are 1850s, 1900s, 1950s and 2000s.

#### 1850s

##### Project Site

- 3.2.2. Cheung Wa Su Un (中華書院) or known as Chung Wah College was built at the Project Site around the same time as Man Mo Temple (i.e. 1847). It was founded by



some local Chinese businessmen for the education of the poor (TWGHs, 1963, Chinese: P.43).



Figure 3.8 Chung Wah College (left), Man Mo Temple (middle) and Lit Shing Kung (right) in about 1893 (Source: Wattis Fine Art, 2007)

- 3.2.3. In the early colonial period, there were only a few free Chinese private schools, including schools organized by churches and few village schools supported by small amount of government subsidies.
- 3.2.4. According to *The History of Education of Tung Wah Hospitals* (TWGHs, 1963, English: P.8), in 1879, some influential businessmen including Mr Leung Wen Hon (梁雲漢), who were either the former board members of or the gentry with a close relation to Tung Wah Hospital, advocated to give the under-privileged children a free education so that they could be saved from being illiterates. The proposal was welcomed by the public and thus, Kai Fong (街坊) donated the premises at Hollywood Road i.e. Chung Wah College next to Man Mo Temple to be used for the school. In order to provide continuous education to the children, the school needed a stable financial

support, so the advocates came to the managers of Man Mo Temple, asked them to designate some of the temple's income to support the operation of the free school. At that time, Man Mo Temple was highly visited and the offerings were more than sufficient, so the two were matched up and this first free school was named Man Mo Temple Free School (文武廟義學) to commemorate Man Mo Temple's generosity (TWGHs, 1963, Chinese: P.43).

- 3.2.5. The school was commenced in 1880, with Tung Wah Hospital (TWH) providing the administrative support and Man Mo Temple contributing their offerings. It began with only one class and only Chinese literature was taught and the school itself was an old fashioned native type institution (TWGHs, 1963, English: P.8).

#### Surroundings

- 3.2.6. The Man Mo Temple Compound was originally composed of four blocks, namely Man Mo Temple (文武廟) which is generally believed to be built in the 27<sup>th</sup> year of the reign of Emperor Daoguang (道光二十七年) (i.e. 1847), Lit Shing Kung (列聖宮) built around the same time as Man Mo Temple, Kung Sor (公所) (means Communal Hall) built in the first year of the reign of Emperor Tungzhi (同治元年) (i.e. 1862) and Cheung Wa Su Un (中華書院), according to **Figure 3.9**, probably built around the same time as Man Mo Temple.



Figure 3.9 Chung Wah College (left), Man Mo Temple (middle) and Lit Shing Kung (right) in the 1850s  
(Source: Information Services Department and Lau and et al. (劉潤和 · 王惠玲 · 高添強), 2006, P:11)

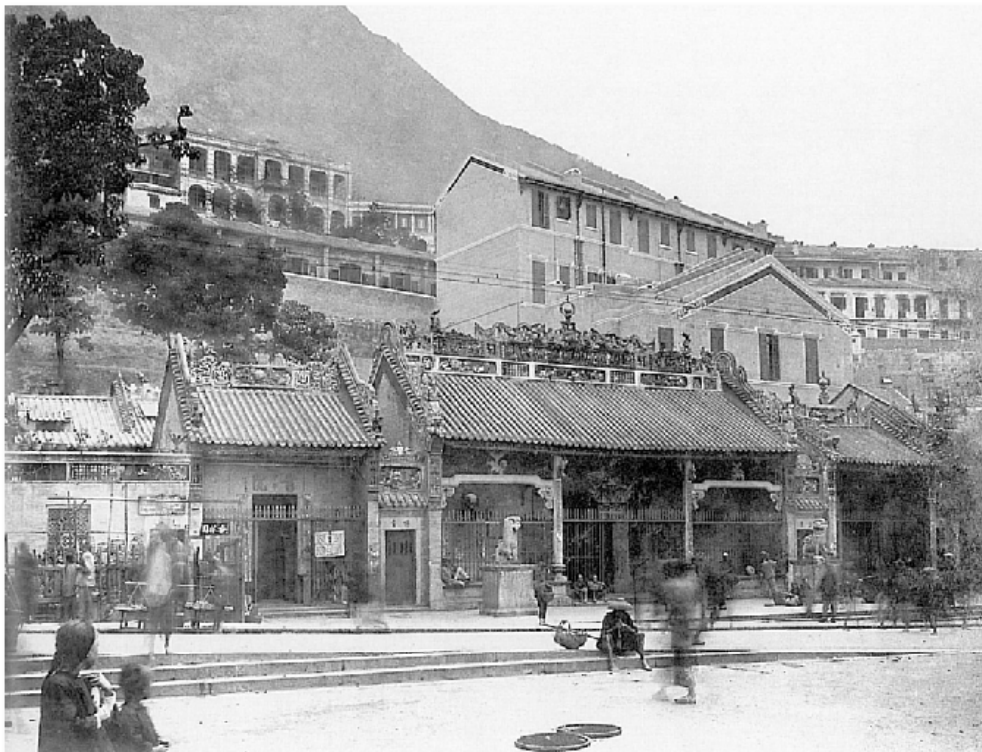


Figure 3.10 Chung Wah College (left) Man Mo Temple (middle) and Lit Shing Kung and Kung Sor (right)  
in around 1900 (Source: Chan (陳天權), 2010)

3.2.7. The Man Mo Temple in Sheung Wan, the biggest Man Mo Temple in the territory, was built in or before 1847. The construction was supported by two wealthy merchants Lo Ah-guo (盧亞貴) and Tam Ah-choy (譚亞財). In setting up the Man Mo Temple, a committee was formed for managing the temple. The fund collected from temple operations later became an important financial support to Tung Wah Hospital (東華醫院) and Po Leung Kuk (保良局) (Antiquities Advisory Board, 2014).

3.2.8. **Man Mo Temple** is for the worship of the civil or literature god - Man Cheong (文昌) and the martial god - Kwan Tai (關帝). Man Cheong is the God of Literature who was popularly patronized by scholars and students seeking achievement in their studies or ranking in the civil examinations in the Ming and Qing dynasties. While Kwan Tai refers to Kwan Yu, the God of Martial Arts. Kwan Tai is a symbolic figure of righteousness, loyalty and justice, and has been a patron god of the locals especially those of the police, martial arts, forces and other trades (Antiquities Advisory Board, 2014).

3.2.9. **Lit Shing Kung** is for the worship of Kwun Yam (觀音) and all heavenly gods, Tai Sui (太歲).

3.2.10. In addition to its function as a religious venue, Man Mo Temple was used as a place (somewhat like a local court) for resolving disputes among local Chinese and other matters concerning the welfare and livelihood of the community. In the past, **Kung Sor** to the west of Lit Shing Kung was a communal hall where community affairs and disputes were settled, and watchmen of the Kung Sor patrolled the streets for the sake of maintaining peace and social order (Antiquities Advisory Board, 2014).

**1900s****Project Site**

3.2.11. In the beginning, the Man Mo Temple Free School in the Project Site offered only one class, which increased to two classes in 1903 and a total of three classes in 1912. It reformed from lower primary school to upper primary school and began to teach multiple subjects in 1917 (TWGHs, 1963, Chinese: P.43-47).

3.2.12. In 1920, in order to make use of the space at the rear of Chung Wah College, the original Chung Wah College was demolished and redeveloped into a bigger building with a scale similar to Man Mo Temple (TWGHs, 1963, Chinese: P.49). The new Chung Wah College fronting Hollywood Road was leased to Confucius Association (or Confucius Society) (孔聖會) as their administration office (TWGHs, 1963, Chinese: P.49) and the part accessed from No. 37 Bridges Street (i.e. 4/F of the new Chung Wah College) was used by TWH to continue their Man Mo Temple Free School (TWGHs, 1963, Chinese: P.52 & 54) (**Figure 3.11** refers). With the new campus, TWH started their night school programme (半夜學堂) and the government also borrowed the top floor for Chinese teachers training school (華人師範學校) (TWGHs, 1963, Chinese: P49).





Figure 3.11 Man Mo Temple Free Primary School, Central District (文武廟中區免費小學) (From the name of the school, the photo should be taken between 1920-1936) (Source: TWGHs, 1963, Chinese: P.106)

3.2.13. During the Japanese Occupation (1941-1945), the schools were closed. In 1945, the schools at the Project Site (referred as No. 124 Hollywood Road at that time) and together with the school at No. 37 Bridges Street were temporarily leased to the Government. These were returned to TWGHs in 1946. G/F, 2/F and 3/F of No. 124 Hollywood Road was leased to Confucius Society as office and schools (TWGHs, 1963, Chinese: P 59) and 4/F of No. 124 Hollywood Road (i.e. G/F of No. 37 Bridges Street), with the approval from the government, was resumed as school and re-named as “Tung Wah Group of Hospitals Hong Kong No. 1 Free Primary School (東華三院香港第一免費小學)” (TWGHs, 1963, Chinese: P 59). The setting of the Project Site is illustrated in **Figure 3.12** and **Figure 3.13**.



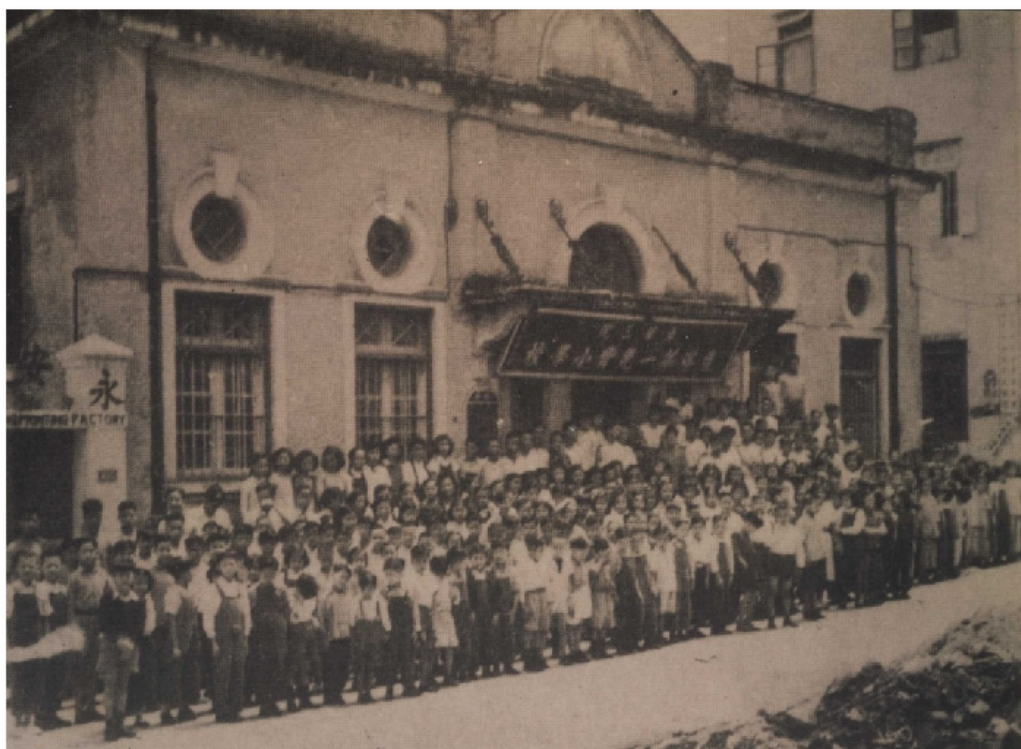


Figure 3.12 Students gathered in front of Tung Wah Group of Hospitals No. 1 Free Primary School (東華三院香港第一免費小學) at No. 37 Bridges Street (From the name of the school, the photo should be taken in 1946-1951) (Source: Tung Wah Museum).



Figure 3.13 Confucius Society on the G/F of the new Chung Wah College (中華書院). At the rear of Confucius Society was Tung Wah Group of Hospitals No. 1 Primary School (東華三院香港第一小學校) (From the name of the school, the photo should be taken in 1951-1957) (Source: Tung Wah Museum)



Figure 3.14 Confucius Society with tablet written with “孔聖堂” hanging above the main entrance (With reference to the cars and furniture outside the building, this photo should be taken at the same time as Figure 3.15 i.e. 1950s) (Source: Tung Wah Museum)

### Surroundings

3.2.14. In 1908, Man Mo Temple Ordinance was passed and promulgated<sup>1</sup>. Since then, Man Mo Temple and its properties were taken over by the Tung Wah Hospital<sup>2</sup>. The policy of using the revenues derived from those properties to support all the free schools under control of the Tung Wah Hospital Administration in addition to aids by Government has been carried out without fail (TWGHs, 1963, English: P.9-10).

<sup>1</sup> A handful of properties including Man Mo Temple were originally taken in charge by a number of trustees, who did so on behalf of some local Chinese public bodies or the Man Mo Temple. As the trustees either passed away or their whereabouts were unknown and with the fact that the Board of Directors of Tung Wah Hospital had acted as trustees of the same for many years, the Ordinance provides that all affairs in connection with the Man Mo Temple and its properties be entrusted to the care of Tung Wah Hospital Administration (TWGHs, 1963, English: P.9).

<sup>2</sup> In 1931, Tung Wah Hospital together with Kwong Wah Hospital and Tung Wah Eastern Hospital were amalgamated into a single entity named "Tung Wah Group of Hospitals" under the management of one Board of Directors (TWGHs, 2014).



3.2.15. In order to make use of the land resources in hand, TWH converted the back hall of Kung Sor to a 3-storey school in 1929 and it was called the Free Primary School of Man Mo Temple in Central District (文武廟中區初級免費小學) (TWGHs, 1963, Chinese: P.53) and it was accessed from Ladder Street (TWGHs, 1963, Chinese: P.54). During the Japanese Occupation, all schools under TWGHs were closed as resources were allocated to save lives (TWGHs, 1963, Chinese: P.58). After war, this school was leased to the government and was not returned until 1950 (TWGHs, 1963, Chinese: P.61).

### **1950s**

#### Project Site

3.2.16. In 1956, the building at the Project Site though leased to the Confucius Society, the free school was not opened<sup>3</sup>. The building was in a bad state of repair. In 1957, TWGHs in view of the demand of a new school with better facilities and more classrooms, resumed the ground floor from Confucius Society, for redeveloping a 6-storey school. It is the second demolition and rebuilding in the Project Site and the building work was completed in 1959 (TWGHs, 1963, Chinese: P. 69).

3.2.17. Tung Wah Group of Hospitals combined the Group's former Hong Kong No. 1 Primary School<sup>4</sup> (東華三院香港第一小學) at No. 37 Bridges Street and Hong Kong No. 5 Primary School (東華三院香港第五小學) at the back of Kung Sor and named

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<sup>3</sup> According to the Public Records Office, Enclosure (1) in File: HKRS156-1-5208, "a single storey building occupied by the Confucius Association free of charge for use as a free school and the Association's Office. The free school has not been re-opened since the re-occupation. The building was in a bad state of repair and the Tung Wah Hospital Board of Directors decided to pull it down and to building a modern school building thereon."

<sup>4</sup> The school was called TWGHs Hong Kong No. 1 Free Primary School (東華三院香港第一免費小學). In 1951, according to the Education Department, day school should charge their students annual school fee. Since then, TWGHs' schools were renamed and deleted the word "Free (免費)" in their names (TWGHs, 1963, Chinese: P. 69).

the new school as “Tung Wah Group of Hospitals No. 1 Primary School (東華三院香港第一小學校 / 東華三院小學香港第一校)”. The school was designed by Mr Chow Yiu Nin (周耀年) (TWGHs, 1963 Chinese: P.69 & 70). It was commenced in spring 1959 and there were morning, afternoon and night sessions with a total of 54 classes and could take 2,430 students (TWGHs, 1963 Chinese: P.64 & 65).



*Figure 3.15 This photograph shows the Man Mo Temple Compound and its surrounding in the 1950s (Based on the name of the school, the photo should be taken in 1950-1959) (Source: Tung Wah Museum)*

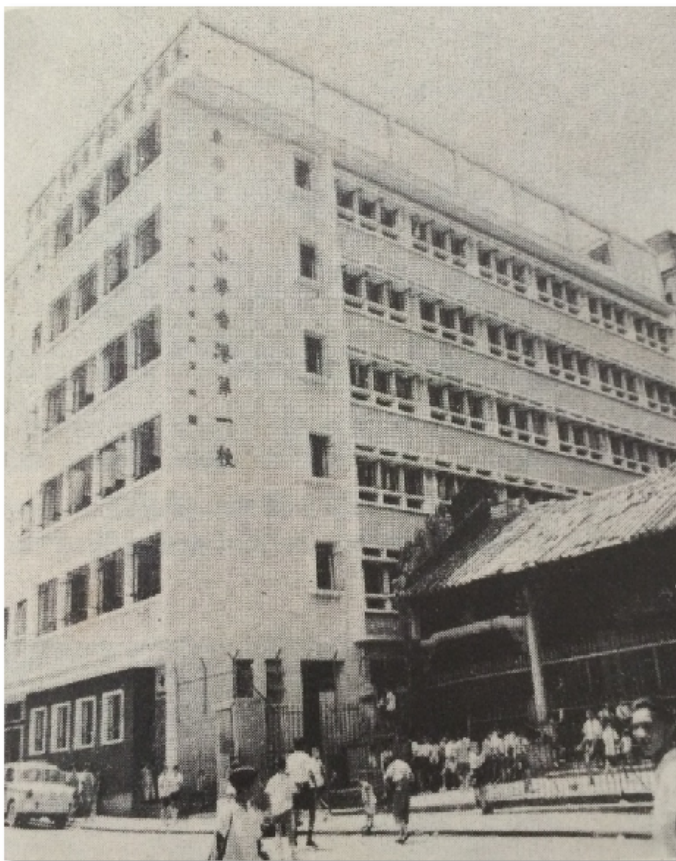


Figure 3.16 The newly completed Tung Wah Group of Hospitals No. 1 Primary School (東華三院小學香港第一校) in 1959 (Source: TWGHs, 1963, Chinese: P.108)

3.2.18. The school at No.122A Hollywood Road was renamed as TWGHs Lee Sai Chow Memorial Primary School (東華三院李西疇紀念小學) in 1973 after receiving the donation from Mr. Lee Sai Chow's family.

#### Surroundings

3.2.19. In 1950, the school behind Kung Sor, the former Free Primary School of Man Mo Temple in Central District, was returned from the government to TWGHs. The Group then set-up Tung Wah Group of Hospitals Hong Kong No. 5 Free Primary School there (TWGHs, 1963, Chinese: P.61). After 1959, this school building was leased to St. Matthew's Primary School (聖馬太小學) (TWGHs, 1963, Chinese: P.64). After it was demolished, a modern structure attached to the back of Kung Sor named Virtue Court (善德宮) was built in 1994 with niches for people to worship their ancestors.





Figure 3.17 Man Mo Temple Compound in the 1970s (Source: Tung Wah Museum)



Figure 3.18 Man Mo Temple Compound and LSCMPS in 1983 (Source: Information Services Department)

**2000s***Project Site*

3.2.20. In September 2005, the TWGHs Lee Sai Chow Memorial Primary School was restructured by combining with TWGHs Hok Shan School (東華三院鶴山學校), followed the name of the latter and relocated to Wah Fu Estate, Aberdeen. TWGHs Lee Sai Chow Memorial Primary School was therefore closed.

*Surroundings*

3.2.21. A new development called CentreStage was completed in 2006 which provide an upscale residential development in the area. Man Mo Temple and Ladder Street became Grade 1 historic structures in 2009 and Man Mo Temple Compound was declared a monument in 2010.

3.2.22. A summary of historic development of the Project Site and its surroundings is provided in **Table 3.1**.

*Table 3.1 Summary of Historic Development of the Project Site and its surroundings*

<b>Year</b>	<b>School Established</b>	<b>Activities</b>
1847-1862	-	Man Mo Temple was built on site (Inland Lot Nos. 338, 338A, 395 and 396) and Inland Lot No. 338A was specially granted for the Chinese community for educational purposes only (PRO, 1900)
1847-1880	Chung Wah College or Cheung Wa Su Un School (中華書院)	Chung Wah College at the site of Hollywood Road (Inland Lot No. 338A) to the east of Man Mo Temple was a free vernacular school (PRO, 1907 and TWGHs, 1963, English: P.8).
1880	Man Mo Temple Free School (文武廟義學)	Kai Fong donated Chung Wah College for the set-up of Man Mo Temple Free School (TWGHs, 1963, English: P.8).



Year	School Established	Activities
1880-1903	Man Mo Temple Free School (文武廟義學)	School was expanded from one class (called “Gun” (鎗)) to two classes as lower primary school (TWGHs, 1963, Chinese: P.43-44).
1912	Hang Lam Garden (杏林園)	One more class was added by altering Hang Lam Garden (杏林園) (Inland Lot No. 394) at the back of Chung Wah College as part of the school (TWGHs, 1963, Chinese: P.46).
1917	-	Changed the two classes at Man Mo Temple Free School from lower primary to upper primary and reformed the teaching style from traditional literature to multiple subjects. It was the first school under TWH to undergo such reform (TWGHs, 1963, Chinese: P.47).
1918	-	The school building at Hang Lam Garden was altered and the class was reformed as upper primary school (TWGHs, 1963, Chinese: P 47).
1919	-	Confucius Society (孔聖會) <sup>5</sup> wanted to make use of the land resources and asked TWH if they could have the rear courtyard of Chung Wah College for the building of club, free school and sports ground (TWGHs, 1963, Chinese: P 47). The proposal was rejected as TWH wanted to get involved in the provision of education services and decided to build the new school themselves (TWGHs, 1963, Chinese: P48).
1920	Chung Wah College (new campus) (文武廟中華書院)	TWH redeveloped Chung Wah College in the Project Site and it was reopened on 1 December 1920 (TWGHs, 1963, Chinese: P49).  Director of Education Department had requested for borrowing the top floor of the new Chung Wah College for Chinese

<sup>5</sup> Confucius Society was founded in 1909 to promote free education and Confucianism (Hong Kong Confucius Society, 2014) and they had about 20 free schools in 1919 (TWGHs, 1963, Chinese: P 48).

Year	School Established	Activities
		<p>teachers training school (華人師範學校). <i>(It showed that the new campus was a multi-storey building.)</i> (TWGHs, 1963, Chinese: P49).</p> <p>Confucius Society (孔聖會) wanted to rent the whole new building for the operation of free school but was rejected by TWH. They only agreed to lease out the ground floor of the new Chung Wah College to Confucius Society as their administration office (TWGHs, 1963, Chinese: P.49).</p> <p>With this new campus, TWH also agreed to start their night school programme there (TWGHs, 1963, Chinese: P49).</p>
1929	Free Primary School of Man Mo Temple in Central District (文武廟中區初級免費小學)	Converted the back hall of Kung Sor to a 3-storey school, it was called the Free Primary School of Man Mo Temple in Central District (TWGHs, 1963, Chinese: P.53) and it was accessed from Ladder Street (TWGHs, 1963, Chinese: P.54).
1931	-	The 4/F of the new Chung Wah College was used as Man Mo Temple Free School and it was referred as Free School at No.37 Bridges Street in 1931 (TWGHs, 1963, Chinese: P.52 & 54).
1936	Man Mo Temple and Kwong Fuk Temple Girls' Primary School (文武廟廣福祠合辦女義學)	In order to cut cost, Man Mo Temple Free School at the new Chung Wah College offered lower primary classes instead of upper primary classes and the school was named Man Mo Temple and Kwong Fuk Temple Girls' Primary School (TWGHs, 1963, Chinese: P.55 and English: P.19).
1940	Free Girls' Primary School of Man Mo Temple (文武廟女子免費初級小學)	No. 37 Bridges Street was referred as Free Girls' Primary School of Man Mo Temple (TWGHs, 1963, Chinese: P.56).
1941-1945	-	During the Japanese Occupation, all schools under TWGHs were closed and resources were allocated to save lives (TWGHs, 1963, Chinese: P 58).

Year	School Established	Activities
1945	Government Chinese Language School (漢文學校)	In October 1945, TWGHs leased the schools at No. 124 Hollywood Road (i.e. Project Site and now numbered as No. 122A Hollywood Road); No. 130 Hollywood Road (i.e. the school behind Kung Sor, Free Primary School of Man Mo Temple in Central District) and No. 37 Bridges Street (i.e. the previous Free Girls' Primary School of Man Mo Temple) to the government for school use (TWGHs, 1963, Chinese: P 59).
1946	Tung Wah Group of Hospitals Hong Kong No. 1 Free Primary School (東華三院香港第一免費小學)	<p>The schools at No. 124 Hollywood Road and No. 37 Bridges Street were returned from the government (TWGHs, 1963, Chinese: P 59).</p> <p>G/F, 2/F and 3/F of No. 124 Hollywood Road was leased to Confucius Society as office and schools (TWGHs, 1963, Chinese: P 59).</p> <p>4/F of No. 124 Hollywood Road (i.e. G/F of No. 37 Bridges Street), with the approval from the government, was resumed as school and re-named as "Tung Wah Group of Hospitals Hong Kong No. 1 Free Primary School" (TWGHs, 1963, Chinese: P 59).</p> <p>Together with the other schools under TWGHs, the schools' name no longer included the Temples' name (TWGHs, 1963, Chinese: P.59).</p>
1949	-	2/F and 3/F of No. 124 Hollywood Road was returned from Confucius Society but the status of 2/F was unsuitable for school use, only 3/F was used by TWGHs as upper primary school (TWGHs, 1963, Chinese: P.60).

Year	School Established	Activities
1950	Tung Wah Group of Hospitals Hong Kong No. 5 Free Primary School (東華三院香港第五免費小學)	No. 130 Hollywood Road was returned from the government and TWGHs set-up Tung Wah Group of Hospitals Hong Kong No. 5 Free Primary School there (TWGHs, 1963, Chinese: P.61)
1957	-	Resumed G/F of No. 124 Hollywood Road from Confucius Society for the redevelopment of a new school (TWGHs, 1963, Chinese: P.64)
1959	Tung Wah Group of Hospitals Hong Kong No.1 Primary School (New) 東華三院香港第一小學)	<p>Redevelopment at the Project Site was completed and Tung Wah Group of Hospitals Hong Kong No.1 Primary School was opened in February 1959 (TWGHs, 1963, Chinese: P.64).</p> <p>The building at No.37 Bridges Street was leased to Zhi Yong Middle School (知用中學) and the building at No.130 Hollywood Road was leased to St. Matthew's Primary School (聖馬太小學) (TWGHs, 1963, Chinese: P.64).</p>
1973	Tung Wah Group of Hospitals Lee Sai Chow Memorial Primary School (東華三院李西疇紀念小學)	With the donation of Mr. Lee Sai Chow's family, Tung Wah Group of Hospitals named the building as "Tung Wah Group of Hospitals Lee Sai Chow Memorial Primary School".
2005	-	LSCMPS was combined with "Tung Wah Group of Hospitals Hok Shan School (東華三院鶴山學校)" in September 2005 and relocated to Wah Fu Estate, Aberdeen (Tung Wah Group of Hospitals Hok Shan School, 2014).

*Remarks: According to the description of the Project Site in The History of Education of Tung Wah Hospitals (TWGHs, 1963), the Project Site (now numbered as No. 122A Hollywood Road) was referred as No. 124 Hollywood Road.*

### 3.3. Current Physical Conditions

#### Subject Site

- 3.3.1. The building of LSCMPS was completed in 1959. Since it has ceased operation from 2005, that is almost ten years, the building is lack of repair, the internal paint has been peeled off and there are graffiti on its side wall.



Figure 3.19 General appearance of LSCMPS (OKO, 2014)

- 3.3.2. Based on our site inspection, there are memorial plaques on the ground floor inside the school building which recorded the establishment of the school. However, trace of the previous Chung Wah Colleges, both the first and the second generations, on site is not found.



Figure 3.20 Memorial plaques at LSCMPS (OKO, 2014)

### Man Mo Temple Compound

- 3.3.3. MMTC comprises three grey brick structures with pitched roofs, namely Man Mo Temple, Lit Shing Kung and Kung Sor. They are separated by two lanes and the granite doorframes with the words Bo Yuet (步月) and Lei Jung (履中) are found.





Figure 3.21 Open forecourt and granite doorframes at MMTC (OKO, 2014)

- 3.3.4. Man Mo Temple is a two-hall building fronted by two open platforms on both sides and the two halls are connected by a covered courtyard in between. Lit Shing Kung and Kung Sor are respectively a three-hall and one-hall building. The roofs of the three buildings are timber rafters and purlins supported by timber trusses and load-bearing flush gable walls. The roofs are covered with green ceramic tiles with Shiwan (石灣) fish, pearl, floral, opera figurines and other geometrical decorations installed on their ridges.
- 3.3.5. There is an open forecourt in front of MMTC and it is surrounded with low walls. There is a later addition attached to the back of Kung Sor which is called the Virtue Court.
- 3.3.6. MMTC has annual refurbishment, usually carried out before the Autumn Sacrificial Rites, in which, both interior and exterior of the temple will be cleaned and in some areas retouched or repaired.



- 3.3.7. The general condition of the temple is fair and it is mostly kept intact in the past fifty years. According to Tung Wah Museum's photo record, half of the ceramic figurines at the main ridge of Man Mo Temple were damaged in 1960 and the broken parts were roughly resembled; however, the undamaged part remains to show the unique craftsmanship both in terms of the details and the colour.



Figure 3.22 Ceramic figurines at the main ridge of Man Mo Temple (OKO, 2013)

#### Ladder Street

- 3.3.8. Ladder Street has an extent from Queen's Road Central to Caine Road. Two parts of Ladder Street fall within the assessment area i.e. 50 metres of the Project Site boundary, the first part is from Upper Lascar Row to Hollywood Road and the second part is from Square Street to Bridges Street (**Figure 2.1** refers).



Figure 3.23 From Hollywood Road northward down Ladder Street (OKO, 2014)



*Figure 3.24 Ladder Street from Square Street to Bridges Street portion (OKO, 2014)*

3.3.9. The first part (i.e. from Upper Lascar Row to Hollywood Road as shown in **Figure 2.1** and **Figure 3.23**) is modern, paved with concrete and railing is also made of modern style. The condition is good in general.

3.3.10. The second part (i.e. from Square Street to Bridges Street as shown in **Figure 2.1** and **Figure 3.24**) is made up of granite blocks, with grouting filled in the gaps. The railing is also newly installed but with a classical style. There are uneven steps and moved joints and the condition is fair.

3.3.11. The more authentic part of Ladder Street is further up towards Caine Road (as shown in **Figure 3.25**) with brickwork parapet on the side and granite blocks paving which is outside the 50m of the project boundary in this case.



Figure 3.25 Ladder Street towards Caine Road portion (OKO, 2014)

### Ping On Lane

3.3.12. It is a lane in between the Project Site and the residential building at No. 122 Hollywood Road. Direct access to Bridges Street has been blocked and up the staircase, one can turn to the left and through a side lane go up to the Bridges Street. There is a granite doorframe with the word Tao Wo (蹈和) and similar granite doorframes are found in MMTC.

3.3.13. The hygiene condition in the lane is not satisfactory and the walls on the two sides are covered with graffiti. The top end of the lane has been occupied by the restaurant next door to put some soft drinks bottles and boxes.



Figure 3.26 Granite doorframe at Ping On Lane (OKO, 2014)



#### **4. Assessment of Cultural Significance**

##### **4.1. Introduction and Criteria of Assessment**

- 4.1.1. The assessment of cultural significance of a historic site is to identify and assess the criteria which make the place of value to the people and the community. According to the Burra Charter (2013), “cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations”.
- 4.1.2. Taking relevant criteria to this HIA, significance of the Project Site itself and its surroundings are assessed according to their aesthetic, historic, social and spiritual value in the following paragraphs, which then give the Statement of Significance.

##### **4.2. Aesthetic Significance**

###### *Project Site*

- 4.2.1. The school building is a functional 6-storey school building built in the late 1950s. Built with reinforced concrete, the building has continuous window openings on its north and west facades.

###### *Surroundings*

- 4.2.2. MMTC acts as a focal point in the vicinity, it is surrounded by a mix of old and new buildings as well as trades. The modern buildings nearby are usually pencil developments and the old buildings are typical composite buildings without much architectural features. There are trades selling antiques, doing funeral services, at the same time, there are nicely decorated high-end restaurants and cafés meeting the western living style.
- 4.2.3. The focus remains on MMTC, it showcases a mix of traditional craftsmanship in Chinese building construction. There are grey bricks carving and ceramic figurines on the gable front, granite carving at the doorframe and near the ground, wooden

carved eave boards and murals. Man Mo Temple is featured with a main ridge decorated with Shiwan ceramic figurines dated back in the Qing Dynasty and humpbacked roofs on the two side chambers. There are other wooden carvings inside Man Mo Temple but these are not seen from the exterior and are usually overlooked due to the smoky atmosphere inside the temple.

#### **4.3. Historic Significance**

##### *Project Site*

- 4.3.1. As part of the Tung Wah Compound, the Project Site acted as a place for education since its establishment. Although it had been rebuilt twice, it continued its mission to provide education to the general public.
- 4.3.2. It was a historical spot where TWGHs started their first free private school, Man Mo Temple Free School, which was a milestone of TWGHs' education history. TWGHs' education services have been hugely expanded, at present, it operates 18 secondary schools, 13 primary schools, 15 kindergartens and 2 special schools for children with intellectual disability as well as an educational psychology service centre. In addition, the Tung Wah College has been set up to offer degree and sub-degree programmes for secondary school leavers (TWGHs, 2014).

##### *Surroundings*

- 4.3.3. MMTC being the oldest building standing near the Tai Ping Shan area, it witnesses the massive changes throughout these 160 years. Having gone through the bubonic plague in 1894, the Japanese Occupation in 1941-1945, various typhoons over the years including Wanda in 1962 and remains standing in its original location today.
- 4.3.4. In the past, it served as a temple for the community to pray for good health and fortune; it served as a local court to resolve disputes among Chinese and other

matters concerning the welfare and livelihood of the community; it provided a public space for the neighbourhood to gather.

#### **4.4. Social Significance**

##### *Project Site*

- 4.4.1. The school building has ceased operation since 2005, being occasionally used by the MMTC as a works area during refurbishment, the school is not opened to the public. LSCMPS was combined with TWGHs Hok Shan School and relocated to Wah Fu Estate to continue their services.

##### *Surroundings*

- 4.4.2. MMTC is a temple for the community and also a popular destination for tourists. Being strategically located in Sheung Wan near the Central Business District, it is the largest Man Mo Temple in Hong Kong which has since its establishment maintained its chief function for the worship of Man Cheong and Kwan Tai. It is also easily accessible by the locals and for many families of Hong Kong. It is an annual event to visit Man Mo Temple to pray for good academic results and to Lit Shing Kung to pray for blessings if their Chinese Zodiac are offended.
- 4.4.3. Together with the antiques shops along Hollywood Road and the Upper Lascar Row, it attracts tourists around the world. With the latest completion of PMQ, the area is rich in traditional Chinese culture and modern creative industries.

#### **4.5. Spiritual Significance**

##### *Project Site*

- 4.5.1. Although connecting to MMTC, there is no spiritual event carried out in the Project Site.

##### *Surroundings*

- 4.5.2. MMTC attracts thousands of worshippers and it is believed that the gods worshipped in the temples will bring them good health, prosperities, wealth and peace. Every year, there is Autumn Sacrificial Rites held in MMTC. Directors of the TWGHs will gather, representing the community to thank gods for the past year and ask gods for blessings in the coming year. It is an important event for TWGHs and the temple. MMTC will be refurbished and decorated for the event and the Directors will all dress up and bow sincerely in the rites.

#### **4.6. Statement of Significance**

##### *Project Site*

- 4.6.1. The cultural significance of the Project Site rests with its physical location as part of the Tung Wah Compound and its connection with Tung Wah's history of providing education services to the community. It is where the first free private school, Man Mo Temple Free School, started in 1880. The Project Site has been redeveloped twice but as remained as school since the 19<sup>th</sup> century. Nevertheless, the present school building on site, LSCMPS, has ceased operation since 2005, and the primary education services have continued in another TWGHs school in Aberdeen and the extensive education services provided by TWGHs have been carried on in different parts of Hong Kong to meet the changing demand.



Surroundings

- 4.6.2. The cultural significance of the surroundings lies mainly the rich history attached with MMTC. It was where the Chinese resided in the early colonial period and MMTC was a place for them to pray for good health and fortune and also a place to resolve disputes and matters concerning welfare and livelihood among the Chinese community.
- 4.6.3. Besides, MMTC, being a declared monument, has high aesthetic value with its traditional Chinese craftsmanship in architecture. It also has an important role as the largest Man Mo Temple in Hong Kong, not only popular to the local but also to the tourists from all over the world. It is highly respected by the worshippers and has a spiritual value to the TWGHs.

## **5. Conservation Policy**

### **5.1. Conservation Principles**

- 5.1.1. There is no historic building grading accorded to the building in the Project Site at present. However, with the proximity to the heritage sites, a HIA is required to prevent or minimize adverse impacts on the identified heritage sites.
- 5.1.2. Having understood the cultural significance of the Project Site and its surrounding and applied the conservation principles in international standard such as the Burra Charter (2013) and China Principles (2004), conservation guidelines have been developed to guide the Proposed Development with a view to taking into account the need for heritage conservation.
- 5.1.3. For instance, as stated in the Burra Charter (2013),
- “Policy development should also include consideration of other factors affecting the future of a place such as the owner’s needs, resources, external constraints and its physical condition” (Article 6.3);
  - “A place should have a compatible use” (Article 7.2, Burra Charter 2013);
  - “Conservation requires the retention of an appropriate setting. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the cultural significance of the place...” (Article 8, Burra Charter 2013); and
  - “Co-existence of cultural values should always be recognised, respected and encouraged...” (Article 13, Burra Charter 2013).
- 5.1.4. For the Proposed Development in the Project Site, the conservation guidelines are developed based on factors and external constraints such as the Government Policy and limitation in terms of building bulk and building height. The conservation guidelines are also developed to ensure the use, setting and co-existence of cultural values are respected.

## 5.2. Conservation Guidelines

### *(i) Record the contribution of the Project Site and MMTC to the Chinese community*

5.2.1. In response to the cultural significance of the Project Site and MMTC, there should be interpretation in the Proposed Development about the history of Man Mo Temple's (and later TWGHs') contribution to provide free education to the Chinese community since the late 19<sup>th</sup> century. Education has become one of the important services under TWGHs for the community and the Project Site, with the generous donation from Man Mo Temple, was the historical spot where TWGHs started their first free private school and spread their seeds.

### *(ii) Compatible use as part of the Tung Wah Compound*

5.2.2. Although the Project Site will no longer be used as school, it will continue to take part in this Tung Wah Compound to provide community services to the public. In the past, this piece of land was used for worship, education, resolve disputes and social gathering; nowadays, it is used for worship, memorial to ancestors, residential and elderly services. With the Proposed Development, it will also provide alternative accommodation at a more affordable rate for the young people as well as provide a covered space for social and cultural activities. The mix has changed but the mission remains. The new use will enrich TWGHs' community services for youth and add value to the Tung Wah Compound as a whole.

### *(iii) Compatibility with MMTC*

5.2.3. As the cultural significance of the surroundings mainly arises from MMTC, in redeveloping the Project Site, the Proposed Development has to be compatible with MMTC in terms of its use and setting.

5.2.4. For the new use for the Project Site, it should be compatible with the sacredness and operation of MMTC. And if possible, to offer improvements to MMTC, it can be in terms of offering space for shared use or improve the circulation with MMTC.

5.2.5. Efforts should be made in designing the Proposed Development and selecting the appropriate materials in the appearance, while balancing the opportunities and constraints, the Proposed Development should respect the presence of MMTC, stand in harmony with the historic monument and should not override it.

*(iv) Respect the neighbouring heritage sites*

5.2.6. In view of the rich history of the surroundings, the Proposed Development shall play down in its design, not to overtax the heritage sites in the vicinity.

*(v) Protection of the nearby heritage sites*

5.2.7. Besides, sufficient mitigation measures shall be implemented to protect these heritage sites and prevent any adverse impacts during the demolition and construction stages.

## 6. Heritage Impact Assessment

### 6.1. The Use of Conservation Guidelines

6.1.1 In this chapter, impacts from the Proposed Development to the identified heritage sites are evaluated, appropriate mitigation measures and enhancement are proposed in accordance to the Conservation Policy in **Section 5**, with a view to preserving the cultural significance of the Project Site and its surroundings.

6.1.2 In the evaluation, mitigation measures are given as practical advices on remedial actions to mitigate any adverse impact effects. After taking the mitigation measures into account, the impacts are evaluated in accordance to the five levels of significance as set out in the Guidelines for Built Heritage Impact Assessment (**Table 6.1**).

*Table 6.1 Levels of impact*

Impact Level:	<ul style="list-style-type: none"> <li>• <b>Beneficial Impact:</b> The impact is beneficial if the project will enhance the preservation of the heritage sites;</li> <li>• <b>Acceptable Impact:</b> if the assessment indicates that there will be no significant effects on the heritage sites;</li> <li>• <b>Acceptable Impact with Mitigation Measures:</b> if there will be some adverse effects, but these can be eliminated, reduced or offset to a large extent by specific measures;</li> <li>• <b>Unacceptable Impact:</b> if the adverse effects are considered to be too excessive and are unable to mitigate practically;</li> <li>• <b>Undetermined Impact:</b> if the significant adverse effects are likely, but the extent to which they may occur or may be mitigated cannot be determined from the study. Further detailed study will be required for the specific effects in question.</li> </ul>
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### 6.2. Potential impact and mitigation measures

#### A. Project Site

**Potential Impact 01: Lost connection with the history of education services provided by the TWGHs and with the Tung Wah Compound**



6.2.1. The Project Site has been redeveloped twice but has remained as school since the 19<sup>th</sup> century. Owing to the limited footprint, the existing building could not be renovated or redeveloped to a school that meets the current standard. Despite the fact that the existing building has been disused since 2005, demolition of the vacant building may cease its connection with the history of education services provided by the Man Mo Temple (in the past) and TWGHs.

**Mitigation Measures 01: Maintain the link and improve the connection by introducing a heritage bazaar**

6.2.2 In order to maintain the link of the Project Site to its history and improve the connection between the Proposed Development and MMTC, TWGHs has proposed a heritage bazaar at the G/F, offering spaces for social and cultural activities.

6.2.3 The conservative approach will be to free up the rear portion of the ground floor space for a heritage bazaar (**Figure 6.1**).

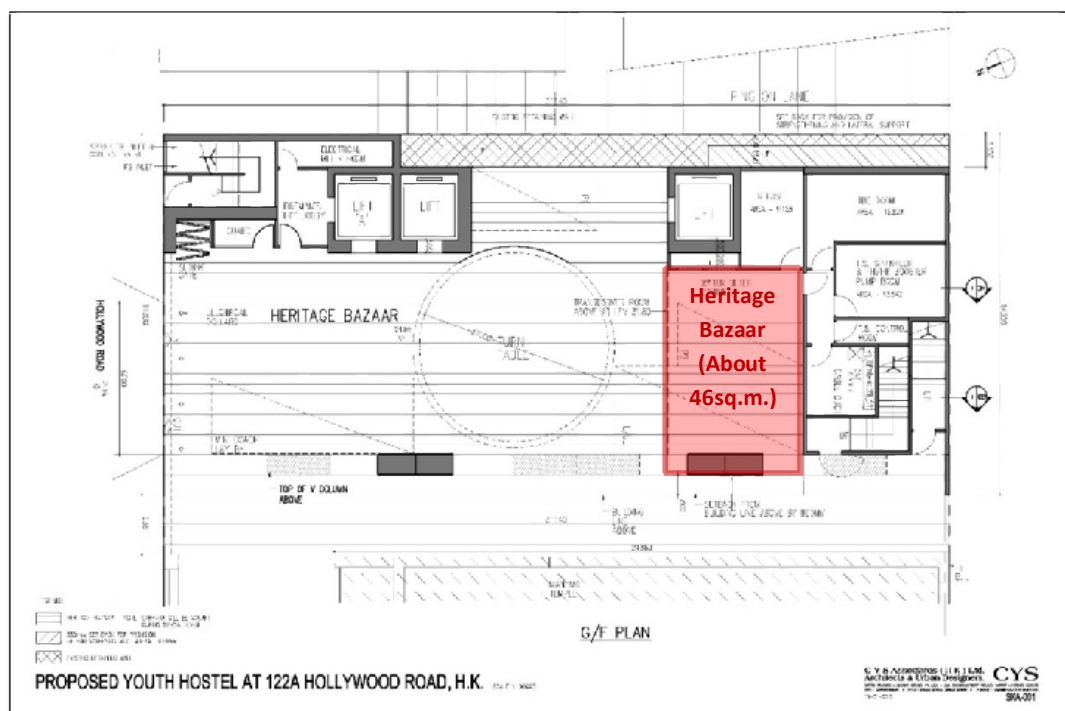


Figure 6.1 Proposal of Heritage Bazaar

6.2.4 Subject to approval by the relevant Government departments, the car parking space and loading and unloading bay could be removed, so that all the unused floor space on ground floor of the Project Site can be used as the heritage bazaar which will give about 330sq.m. of space (**Figure 6.2**).

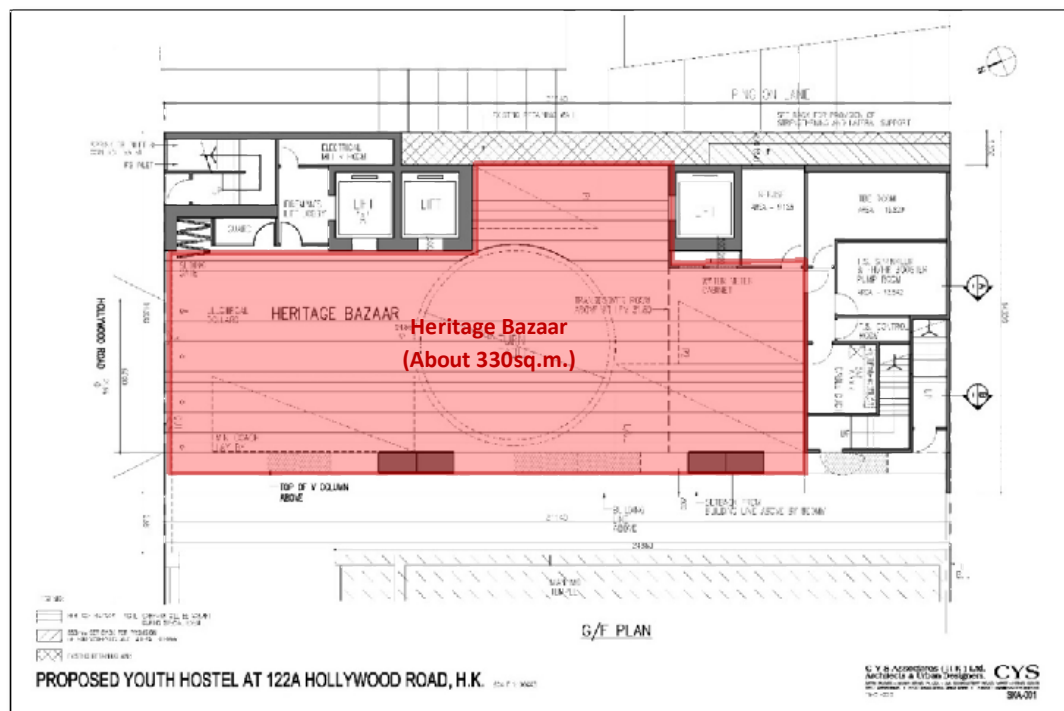


Figure 6.2 Proposal of Extended Heritage Bazaar

6.2.5 Interpretation can be inherited in the design to tell the history of the provision of free education service by TWGHs to the Chinese community. For instance, design elements which reflect the presence of the old Chung Wah College can be subtly included, to add character to the heritage bazaar and at the same time, recall the history of MMTC as a whole compound with Man Mo Temple, Chung Wah College, Lit Shing Kung and Kung Sor.



Figure 6.3 Coherent designs at the Heritage Bazaar

- 6.2.6 In **Figure 6.3**, it shows the building outline of the old Chung Wah College (1<sup>st</sup> generation in 1847-1920) on the east wall at the heritage bazaar. It subtly relates the heritage bazaar to the presence of Chung Wah College, trying to raise the audiences' curiosity to find out more about the past.
- 6.2.7 Brickwork like material can be used as external finishes at the heritage bazaar. Screening brick wall can be used at the lower wall fronting Hollywood Road. As it is a staircase behind the wall, bricks can be used to fill up this area with pattern, allow natural lighting to the staircase and correlate the Project Site with the screening windows usually found in traditional Chinese architecture.
- 6.2.8 Although the scale of this heritage bazaar will not be comparable with Bridges Street Market, PMQ or the former Central Police Station Compound, together with the rehabilitation of Wing Lee Street and Revitalisation of Pak Tsz Lane by the Urban

Renewal Authority, it will be an additional element added to this heritage theme in Sheung Wan which may generate a conglomeration effect.

<b>Impact Level 01: Acceptable impact with mitigation measures</b>
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*B. Man Mo Temple Compound*

<b>Potential Impact 02: Visual impact on the MMTC</b>
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- 6.2.9 When viewed from Hollywood Road towards the Project Site, the Proposed Development with a 18-storey structure will stand amongst the cluster of high-rise residential developments along Hollywood Road which are of similar or even of a larger scale. At such, the Proposed Development will stand harmoniously with the surrounding development context, including the high-rise residential development in the mid-levels. Having said that, visitors of the Temple may raise concern on the visual impact of the Proposed Development.

<b>Mitigation Measures 02: Study different design options, the optimal option with respectful and coherent design with MMTC and greater buffer area is proposed</b>
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- 6.2.10 In order to minimize the potential visual impact on MMTC, continuous efforts were made to study different design options which give the most harmonic and sympathetic considerations to the monument. As the proposal will still have to go through planning applications, detailed design and building plan submission, the following options are schematic in nature and will be further developed in the agreed direction and subject to the statutory approvals.

*(i) Option 1*

- 6.2.13. To develop a Youth Hostel with about 213 units in 18-storey, a practical and functional building was designed at the initial design stage. There was already the

idea of a heritage bazaar on the ground floor and it would occupy a headroom of 5.8m (more details on plans and photomontage are provided in **Annex III**).

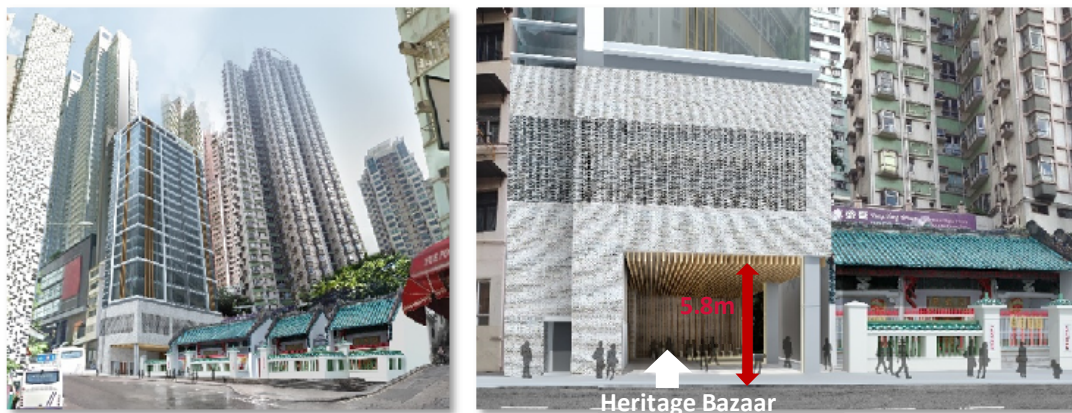


Figure 6.4 Option 1 design with a Heritage Bazaar

(ii) Option 2

6.2.14. After a series of working sessions with the Antiquities and Monuments Office, the need to create a greater buffer area was considered necessary to reduce the visual and physical impact on the MMTC. The overall proportion of the whole compound with Man Mo Temple in the middle, the Project Site on the left and Kung Sor on the right should be referred.

6.2.15. The design was revised through relocation of the Electrical and Mechanical rooms so as to free up the space at G/F for the heritage bazaar. Besides, the headroom of other floors is shuffled so as to give an unobstructed headroom of about 13m to the heritage bazaar (more details on plans and photomontage are provided in **Annex III**).





Figure 6.5 Option 2 design with a higher headroom Heritage Bazaar

(iii) Option 3

6.2.16. In order to redesign the column on ground floor to minimise the obstruction in viewing MMTC from the East of Hollywood Road and to enlarge the buffer zone between the proposed development and the Man Mo Temple which is separated with a lane of 2.3m, different options had been investigated by the Registered Structural Engineer and Architect.

6.2.17. In Option 3, the headroom of the heritage bazaar is kept at about 13m, the number of columns near MMTC has been reduced to two and the outer one has been setback from the boundary line from Hollywood Road by 8.5m to align with the gable wall of Man Mo Temple. Furthermore, the two columns are also set back from the side abutting the gable wall of Man Mo Temple by 0.8m, allowing an overall separation of 3.1m from Man Mo Temple. Such increase in separation will minimize the interruption to Man Mo Temple arising from the construction works and provide more working space for carrying out required maintenance works in the future. This will allow an unobstructed view of the MMTC from the east of Hollywood Road and give a uniformity in the building alignment when visitors are going between the forecourt and the heritage bazaar (more details on plans and photomontage are provided in **Annex III**).

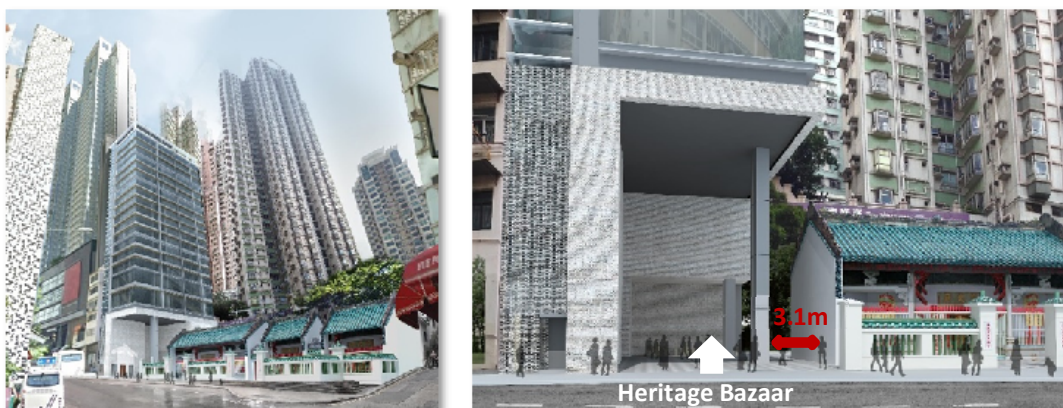


Figure 6.6 Option 3 design with setback column

(iv) Option 4

6.2.18. In order to echo with the pitched roof of Man Mo Temple and reduce the obstruction at the pedestrian level, we have explored to redesign the column into “V-shape” (Figure 6.7); however, based on structural point of view, the lateral resisting frame along critical wind direction has been reduced significantly due to the “V column” system and it is concluded that such “V column” is not structurally viable.

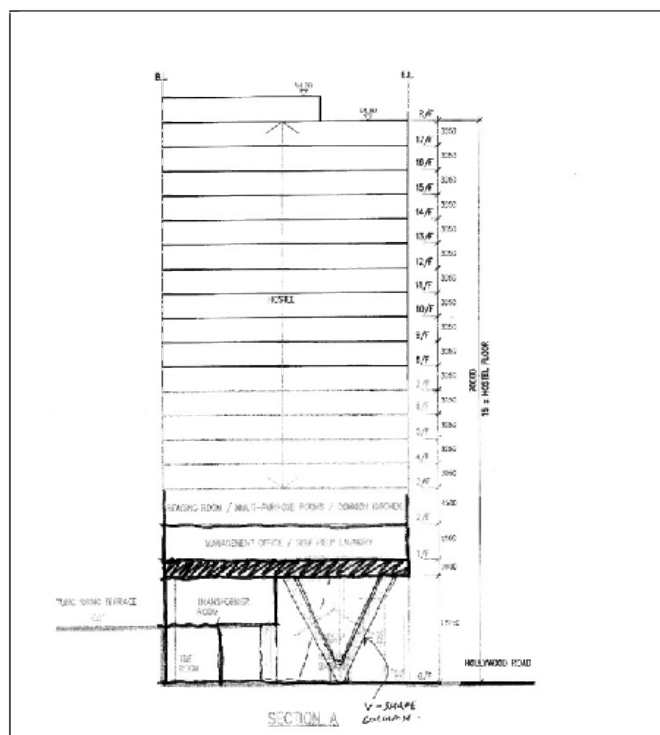


Figure 6.7 “V-Column” design

6.2.19. To overcome this structural difficulties and give the least obstruction on the pedestrian level, a “W column system” at G/F which echoed and aligned with the main ridge of the pitched roof of Man Mo Temple has been developed (Figure 6.8). To achieve this improved design, the headroom of 1/F and 2/F had been reduced to

accommodate the additional thickness of the structural system, so that the headroom of the heritage bazaar will be maintained at 13m and the overall building height proposed would remain unchanged. Separation between the columns and the gable wall of Man Mo Temple will also be maintained at 3.1m from Man Mo Temple (more details on plans and photomontage are provided in **Annex III**).

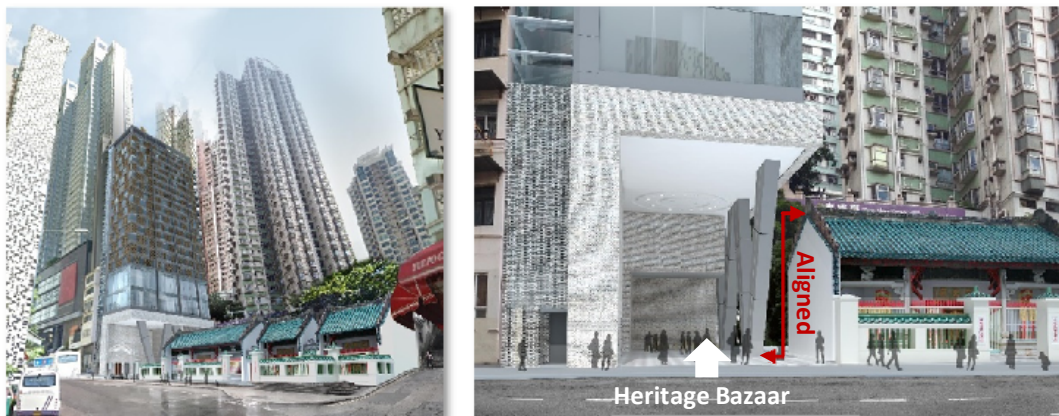


Figure 6.8 Option 4 design with “W column”

6.2.20. It is considered to be the optimal design for which visual impact of the Proposed Development to MMTC has been minimised. The columns have been set back from the side abutting the gable wall of Man Mo Temple to give a larger buffer zone at G/F level. With the heritage bazaar headroom at 13m, which is higher than the building height of the MMTC, the visual permeability of the proposed development at pedestrian level will be greatly enhanced. The employment of transparent materials and special architectural articulations to shield off the concrete structures at lower level will soften the edge of the development and play down the new building to respect the MMTC. It also represents an improvement in terms of visual impact at the pedestrian level and streetscape enhancement as compared with previous school development with a blank wall at lower levels.

6.2.21. Although the sensitive receiver is mainly at the pedestrian level, considerations are also made to give a harmonious and sympathetic design at the upper level.

6.2.22. The use of shutters for window panes at the domestic floors will provide sun shading effect, so as to give a more transparent and light feeling which effectively help to integrate the development with the adjacent MMTC.

6.2.23. In coherent with the axes of Man Mo Temple, three vertical fins are proposed at the façade which will be aligned with the ridges and pavilion of Man Mo Temple (**Figure 6.9** and **Figure 6.10**). The grey colour is chosen which subtly relates the Proposed Development with Man Mo Temple in a harmonious tone.

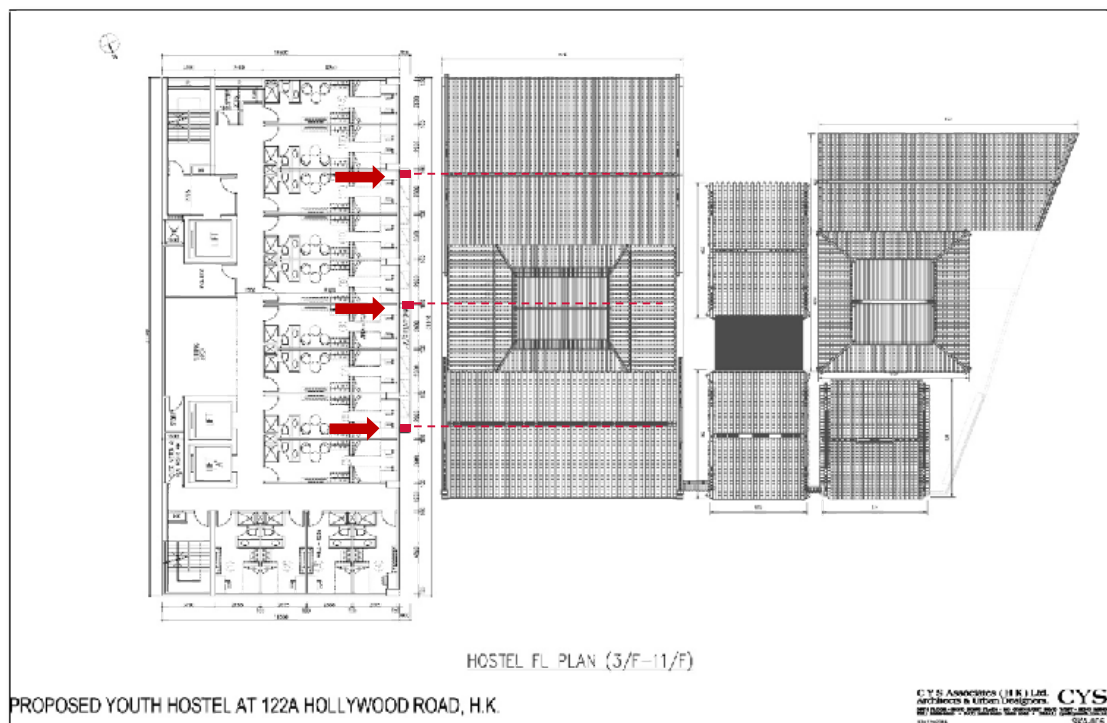


Figure 6.9 Relationship with the ridges and pavilion of Man Mo Temple





Figure 6.10 Relationship with the ridges and pavilion of Man Mo Temple

6.2.24. As summarised in **Table 6.2**, in order to minimize the visual impact from the Proposed Development to MMTC, continuous efforts were made to improve the design, both in terms of the spatial connection and appearance.

Table 6.2 – Summary of different design options

Design Options	Aims	Features	Cons
Option 1	<ul style="list-style-type: none"> <li>Practical and functional</li> <li>Creating a space for heritage interpretation &amp; connection to MMTC</li> </ul>	<ul style="list-style-type: none"> <li>Including a heritage bazaar with headroom at 5.8m</li> </ul>	<ul style="list-style-type: none"> <li>Headroom of the heritage bazaar is lower than the height of MMTC's pitched roof, still creating certain degree of visual impact on MMTC from street level</li> </ul>
Option 2	<ul style="list-style-type: none"> <li>Greater buffer area vertically</li> <li>Reduce visual impact on</li> </ul>	<ul style="list-style-type: none"> <li>Heritage bazaar headroom increased to about 13m</li> </ul>	<ul style="list-style-type: none"> <li>Columns fronting Hollywood Road obstructing street view to MMTC</li> </ul>



Design Options	Aims	Features	Cons
	MMTC from pedestrian level		
Option 3	<ul style="list-style-type: none"> <li>Further reduce visual impact on MMTC from pedestrian level</li> <li>Greater buffer area horizontally</li> <li>Subtly relate to MMTC</li> </ul>	<ul style="list-style-type: none"> <li>Heritage bazaar headroom maintained at 13m</li> <li>Column set back from Hollywood Road</li> <li>Column set back from the side lane with MMTC</li> <li>Column reposition to align with the gable wall of Man Mo Temple</li> </ul>	<ul style="list-style-type: none"> <li>This is a sensible scheme in view of visual impact minimization, but the design scheme can be fine-tuned to give a more harmonious design with MMTC</li> </ul>
Option 4	<ul style="list-style-type: none"> <li>Further reduce visual impact on MMTC from pedestrian level</li> <li>Subtly relate to MMTC</li> <li>Harmonious design</li> </ul>	<ul style="list-style-type: none"> <li>Heritage bazaar headroom maintained at 13m</li> <li>Column set back from Hollywood Road</li> <li>Column set back from the side lane with MMTC</li> <li>W column system echoed with the main ridge of Man Mo Temple</li> <li>Transparent material at lower level to soften the edge of the development and play down the design</li> <li>Glass panel combined with shutter at upper level to give a transparent and light feeling</li> <li>Vertical fins aligned with the ridges and pavilion of Man Mo Temple</li> </ul>	<ul style="list-style-type: none"> <li>It is considered to be the optimal design in view of minimised visual impact and harmonious design with MMTC</li> </ul>

**Impact Level 02: Acceptable impact with mitigation measures**

**Potential Impact 03: Physical impact on the MMTC during demolition and construction stages**

6.2.25. As a redevelopment project involving demolition and construction, there may be direct impact on the physical fabric of MMTC or indirect impact through vibration and settlement.

**Mitigation Measures 03: Minimize impacts on the Man Mo Temple Compound through preventive and monitoring measures***(i) Design Stage*

6.2.26. In order to prevent any direct physical impact from the Proposed Development to MMTC, the present 2.3m buffer between the Proposed Development and MMTC will be kept. On the ground floor level, this buffer will be extended to 3.1m.

6.2.27. In the detailed design stage, the use of prefabrication such as the precast façade will be considered so as to minimize the wet trades on site.

6.2.28. Prior to any works in the Proposed Development Site, a condition survey shall be carried out to MMTC and monitoring proposal with necessary stabling and strengthening measures should be submitted to the Antiquities and Monuments Office before the commencement of site works if required.

*(ii) Demolition and Construction Stage*

6.2.29. For the demolition of the school building in the Proposed Development Site, sufficient precautionary measures, such as double row scaffolding with net and tarpaulin shall be installed and shall cover the external face of the school building in order to prevent any debris/materials from falling onto MMTC. The precautionary measures would be submitted to the Buildings Department for approval prior to the installation/demolition.

6.2.30. During demolition and construction, intermediate catch fans will be erected on the outside of the building facing MMTC at close intervals of not more than 10m to meet the statutory requirement. They will serve as effective protective barriers to prevent materials from falling onto ground or towards MMTC. In addition to this basic protective measure, cantilevered protective catch platform in a double-deck manner will be erected along the corridor between the Proposed Development and MMTC (Refer **Annex IV**) subject to the approval by the Buildings Department. This will extend 5m into the overhead space of Man Mo Temple i.e. about one-third of the width of the Man Mo Temple. The catch platform will be erected at an angle such that any falling objects/debris will be bounced back into the Project Site instead of towards the MMTC. Noting that falling objects from any construction site is prohibited, the above measures are proposed to provide extra safety to warrant against unexpected circumstances.

6.2.31. While demolition and construction is carried out in the Project Site, it shall not affect the operation of MMTC and the declared monument will be opened throughout the year. Extra care will be required by the contractor in handling the construction waste and materials and it is intended to keep the site clean and tidy without affecting the appearance and impression for visitors coming to MMTC.

6.2.32. During construction stage, non-percussive piling construction method such as Bored Piles Foundation shall be employed to minimize impact on the adjoining foundation and ground stability. With the advancement in technology, the impact on MMTC should not be higher than the time when the school was built.

*(iii) Post-Construction Stage*

6.2.33. In the post-construction stage, by making use of the space at the ground floor level any required maintenance works of the Youth Hostel shall be confined within its own site.

**Impact Level 03: Acceptable impact with mitigation measures**

*C. Ladder Street*

**Potential Impact 04: Indirect impact on the second part of Ladder Street (i.e. from Square Street to Bridges Street)**

6.2.34. For the two parts of Ladder Street which fall within the assessment area as shown in **Figure 2.1** and reviewed in **Section 3.3.8** to **Section 3.3.10**, the first part (i.e. from Upper Lascar Row to Hollywood Road) has already been paved in modern style, given its distance from the Project Site, no direct or indirect impact is expected. The second part (i.e. from Square Street to Bridges Street) which is made up of granite blocks, as uneven steps and moved joints are found, it may be indirectly affected by vibrations generated from the Proposed Development.

**Mitigation Measures 04: Minimize impacts on the second part of Ladder Street through condition survey and appropriate monitoring measures**

6.2.35. Condition survey should be carried out to the second part of Ladder Street from Square Street to Bridges Street and monitoring proposal with necessary stabling and strengthening measures should be submitted to the Antiquities and Monuments Office if required before the commencement of site works.

**Impact Level 04: Acceptable impact with mitigation measures**

*D. Ping On Lane*

**Potential Impact 05: Physical impact on the granite doorframe at Ping On Lane**

6.2.36. The granite doorframe with the word Tao Wo (蹈和) found at Ping On Lane is similar to those found in MMTC. The setting of the lane will not be affected by the

Proposed Development. As the lane is adjacent to the Project Site, the doorframe may be physically affected by the Proposed Development.

**Mitigation Measures 05: Minimize impacts on the granite doorframe at Ping On Lane through condition survey and appropriate monitoring measures**

6.2.37. Condition survey should be carried out to the doorframe at Ping On Lane and monitoring proposal with necessary stabling and strengthening measures should be carried out and submitted to the Antiquities and Monuments Office for consideration if required before the commencement of site works.

**Impact Level 05: Acceptable impact with mitigation measures**

#### *E. Surroundings*

**Potential Impact 06: Incompatible changes in the urban context**

6.2.38. The Proposed Project involves the demolition of the existing 6-storey school building and the development of a new 18-storey youth hostel in close proximity to the MMTC, it may generate incompatible changes in the urban context.

**Mitigation Measures 06: The front view of the Tung Wah Compound and the general streetscape will be kept**

6.2.39. In the urban design context, the Project Site, MMTC and Tung Shing Terrace at the back should be viewed as a whole of a “Tung Wah Compound” on Hollywood Road. It has always been compacted, as shown in historic photos in 1950s (**Figure 3.15**), the intention was to use the limited resources of land to provide the most services for the community. However, no matter it was LSCMPS or the future Proposed Development, the front view of this “Tung Wah Compound” and the general streetscape will be kept with MMTC in the middle and Tung Shing Terrace up the hill as the Proposed Development will not be higher than Tung Shing Terrace.



<b>Impact Level 06: Acceptable impact with mitigation measures</b>
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6.2.40. A summary of the impacts identified and mitigation measures proposed are provided in **Table 6.3**.

*Table 6.3 – Impacts identified and respective mitigation measures proposed*

<b>Impacts Identified</b>		<b>Mitigation Measures Proposed</b>	<b>Impact Level</b>
01	Lost connection with the history of education services provided by the TWGHs and with the Tung Wah Compound	Maintain the link and improve the connection by introducing a heritage bazaar	Acceptable impact with mitigation measures
02	Visual impact on MMTC	Study different design options, the optimal option with respectful and coherent design with MMTC and greater buffer area is proposed	Acceptable impact with mitigation measures
03	Physical impact on Man Mo Temple Compound during demolition and construction stages	Minimize impacts on the Man Mo Temple Compound through preventive and monitoring measures	Acceptable impact with mitigation measures
04	Indirect impact on the second part of Ladder Street (i.e. from Square Street to Bridges Street as shown in <b>Figure 2.1</b> )	Minimize impacts on the second part of Ladder Street through condition survey and appropriate monitoring measures	Acceptable impact with mitigation measures
05	Physical impact on the granite doorframe at Ping On Lane	Minimize impacts on the granite doorframe at Ping On Lane through condition survey and appropriate monitoring measures	Acceptable impact with mitigation measures
06	Incompatible changes in the urban context	The front view of the Tung Wah Compound and the general streetscape will be kept	Acceptable impact with mitigation measures

### 6.3. Enhancement Proposals

6.3.1 MMTC is a precious cultural asset managed by TWGHs and it is of TWGHs' interest to provide the finest protection to it. In addition to the mitigation measures proposed above, we will consider adopting further enhancement measures such as utilising the heritage bazaar and installing ventilation system for the Man Mo Temple. These measures are further elaborated below.

#### (i) Reconnecting the two spaces

6.3.2 In between the Project Site and the MMTC stands a fence wall which is not an original structure. TWGHs proposes to demolish the fence wall, such that the heritage bazaar and the forecourt of MMTC will be reconnected (**Figure 6.11**). From spatial point of view, the heritage bazaar will be connected with the forecourt of MMTC, which not only open up the right gable wall and grey bricks carving of MMTC for appreciation but also reconnect the two spaces which have been fenced off from each other in the past fifty years.

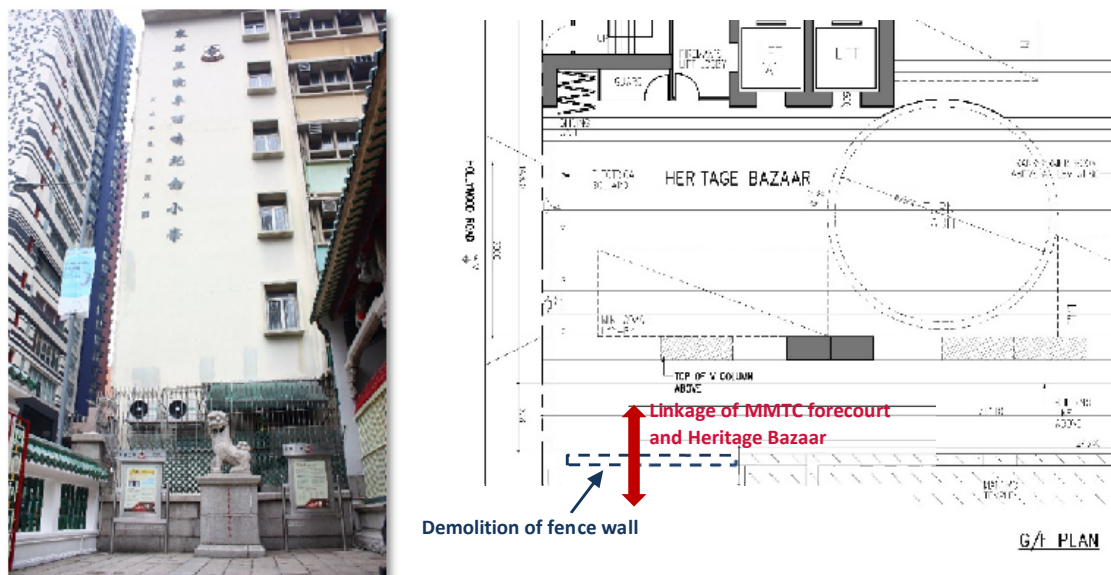


Figure 6.11 Fence wall now separating MMTC and the Project Site will be demolished

6.3.3 The heritage bazaar shall be paved with granite, similar to the forecourt at MMTC, so as to create a continuous space between the two.

6.3.4 The anchor bolts of the fence shall be removed and the brick wall shall be made good (**Figure 6.12**). The fence wall, which was added when the school was built in 1959, shall be taken off with care and these granites from the parapet can be reused in the new development as far as possible. The attachment to the pillar shall also be removed and the boundary wall of MMTC and the pillar will become free standing.



Figure 6.12 Fence wall to be removed

- 6.3.5 The space at the heritage bazaar can cater for multi-purpose uses, for example, it can show the images of the Chung Wah College in the Project Site in 1880, the second structure in the Project Site in 1920 and the existing structure, LSCMPS, to illustrate the historical development of the Project Site and its linkage with the education services provided by TWGHs; it can be an interpretation area or exhibition area for social and cultural activities that aim to complement with the adjacent MMTC. The Proposed Development will increase the provision of public activity space for the community to enhance social cohesion and build up social capital. The community at large will be able to benefit from the Proposed Development. It will be more accessible by the public and attract younger generation to MMTC.
- 6.3.6 The space can be used by MMTC as temporary works area and storage space during their annual maintenance for Autumn Sacrificial Rites.
- 6.3.7 The reconnected space will blend in the new building with the existing monument. It can be used by both the MMTC and the Youth Hostel, which gives more space for MMTC's festive events, allows flexibility for the activities to be held, increases the tie between the Project Site and MMTC and also improves the connection between two TWGHs service units.
- 6.3.8 In the future, TWGHs may revisit the use and existence of boundary wall in front of the forecourt of MMTC (which was built in 1961 according to the Building Plan), if there is opportunity that the boundary wall is removed, it will recreate the open space outside the Temple like the old days.

*(ii) Ventilation Improvement System to Man Mo Temple*

- 6.3.9 Furthermore, the smoke from incense burning in Man Mo Temple has long been a problem. Currently, the smoke is trapped inside the Temple, generating grease and darkening the beams, purlins, plaques, altar tables and the like. In the past,

repainting had been carried out every year before the Autumn Sacrificial Rites to give a fresh and pleasant look of the Temple; cleaning, instead of repainting, has been mostly adopted since the building became a declared monument in November 2010.

6.3.10 With the site constraints, there is no space in front or behind the Temple or installation of ventilation system at the moment. With the Proposed Development, TWGHs will explore the possibility of installing a treatment plant to serve Man Mo Temple in order to tackle this long-term problem.

6.3.11 It is suggested that a detailed air flow and ventilation study to be carried out in Man Mo Temple and find out a feasible method to improve the ventilation. If a treatment plant can facilitate the ventilation improvement in the temple, such installation is possible to be placed in the Proposed Development.

6.3.12 While the viability of installing such treatment system inside Man Mo Temple should be further explored and would not be finalized within a short period of time, the supporting facilities on 1/F and 2/F of the Proposed Development have been rearranged so that the disposition of the storage room has been relocated to 1/F and at the rear corner immediately next to Man Mo Temple. Once the proposal of ventilation improvement work is confirmed and approved by the management of the Youth Hostel and the relevant Government departments, and subject to the availability of funding, the storage room at 1/F would be one of the possible space for housing the treatment plant.



6.3.13 As this ventilation improvement will involve construction works at Man Mo Temple directly, sophisticated design in the air duct, vent pipes etc. is needed as minimum intervention to the historic fabric will be required and also how to avoid visual impact will need to be addressed. The project itself may require an Environmental Permit under the Environmental Impact Assessment Ordinance. And if the proposed work will affect the historic fabric of the declared monument, permit under s6 of the Antiquities and Monuments Ordinance is required.

#### **6.4. Implementation of the Mitigation Measures**

6.4.1 The mitigation measures and enhancement proposals set out in this HIA will be implemented with the cooperation of a number of stakeholders and they are listed as follows:-

- **The Project Proponent i.e. TWGHs and HAB** will take lead to ensure the mitigation measures and improvement proposal will be adopted in the detailed design stage and further implemented in the construction stage. As the Project Site will be managed by TWGHs, it shall take up the management and interpretation works and facilitate the communications between the management teams of the Youth Hostel and the MMTC.
- **Project team including architect, engineers, heritage consultant and other consultants** shall refer to the HIA from time to time to ensure the mitigation measures and improvement proposals are observed as far as possible, subject to relevant regulations and statutory approvals. If there is variation from the proposed works as stated in the HIA, additional impact assessment and mitigation measures shall be proposed to the AMO and other relevant authorities for approval if necessary under the HIA mechanism. A heritage consultant taking part in both design and construction stage in the project team is essential to ensure the implementation of this HIA.

- **The Project Architect or the Authorised Person** shall oversee the programme in the demolition and construction stages to ensure the mitigation measures and necessary protection works as addressed in the HIA have been implemented. He/she shall also act as the Contract Administrator, to ensure that the tasks required are included in the Contract and implemented in order, and to consult and coordinate with the heritage consultant on HIA implementation.
- **Contractor** shall designate a representative to go through the HIA and ensure relevant workers are aware of the main points that they shall be alerted, for instance to be especially cautious on falling objects, vibration monitoring and any works in close proximity to the historic fabric of the MMTC.

## **7. Conclusion**

- 7.1 The Proposed Development is one of the pilot Youth Hostel projects endeavoured to ease the housing shortage faced by young people who wish to have their own living space and provide an opportunity for youth to accumulate savings for future development in response to Government Policy.
- 7.2 Through understanding the history and physical conditions of the Project Site and its surrounding, the cultural significances of the Project Site as well as its surrounding are identified, which are developed into the conservation guidelines to guide the Proposed Development with a view to taking into account the need for heritage conservation.
- 7.3 Based on the conservation policy, impacts on the identified heritage sites are identified and respective mitigation measures are proposed. It is concluded that the proposal will minimize adverse impacts of the proposed works to the “heritage sites” and generate beneficial impacts to the Man Mo Temple Compound and the community at large.

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## ANNEX

## **Annex I – Eligibility and Rent Level of Youth Hostel**

### **Eligibility Criteria of the Tenants**

The basic eligibility criteria for the tenants of the proposed Youth Hostel are briefly listed below:

- target beneficiaries should be working youth of age 18 to 30;
- the income limits for single applicant is the 75th percentile of the monthly employment earnings of employed persons aged 18-30; the limit for a two-person household would be twice this level
- the asset limit for single applicant is HK\$300,000 and for two-person household is HK\$600,000 (subject to adjustment by the Government with regard to a suitable Consumer Price Index);
- An applicant shall not own solely or jointly any residential property in Hong Kong, or hold any residential property in Hong Kong through a company;
- An applicant should not be allowed to continue queuing for a singleton public rental housing once allocated a hostel unit.

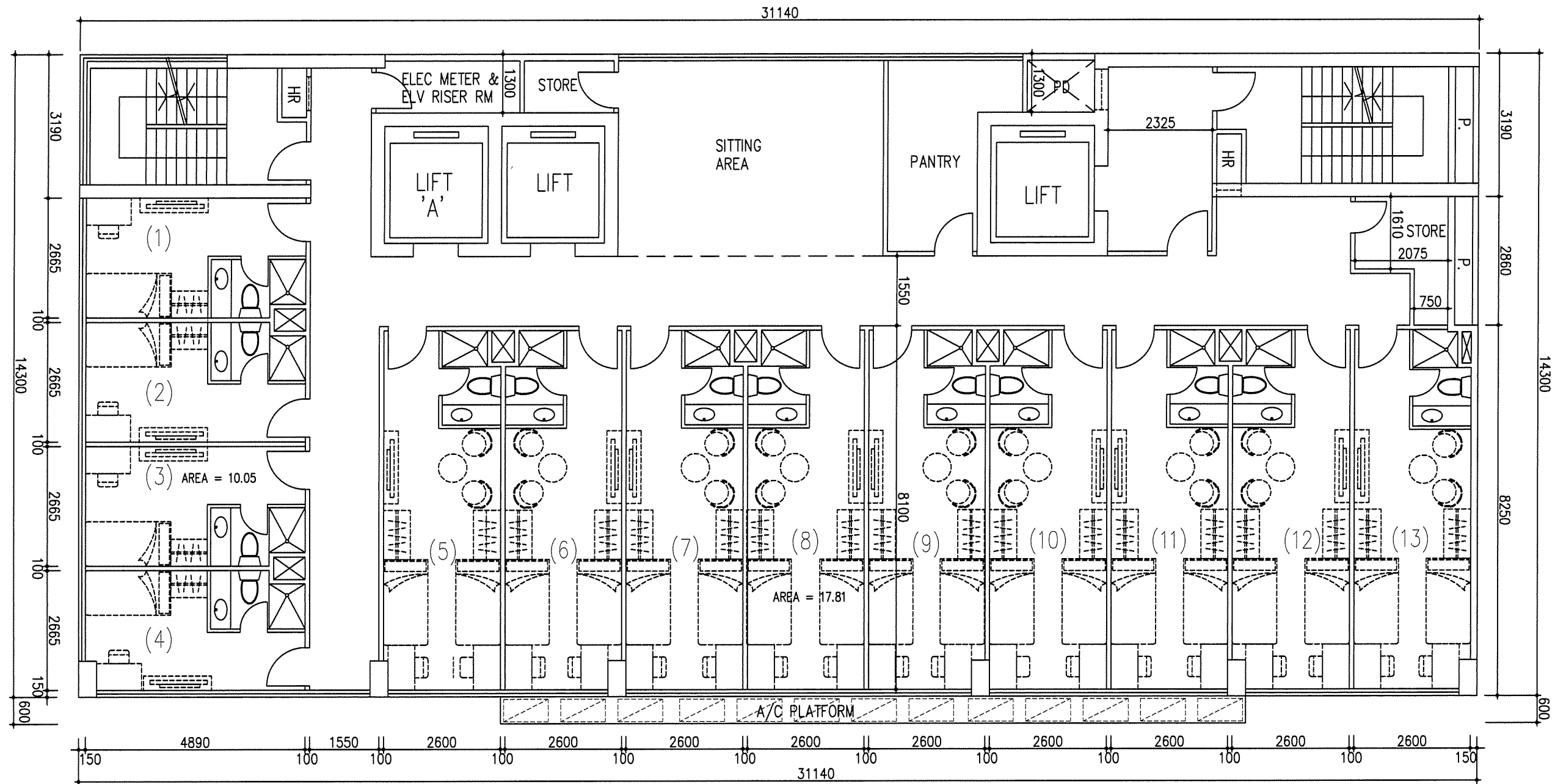
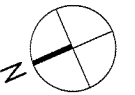
### **Rent Level**

The rental of youth hostel units will not exceed 60% of the market rent of flats with similar size in the nearby area.

## **ANNEX II     Indicative Schematic Drawings**



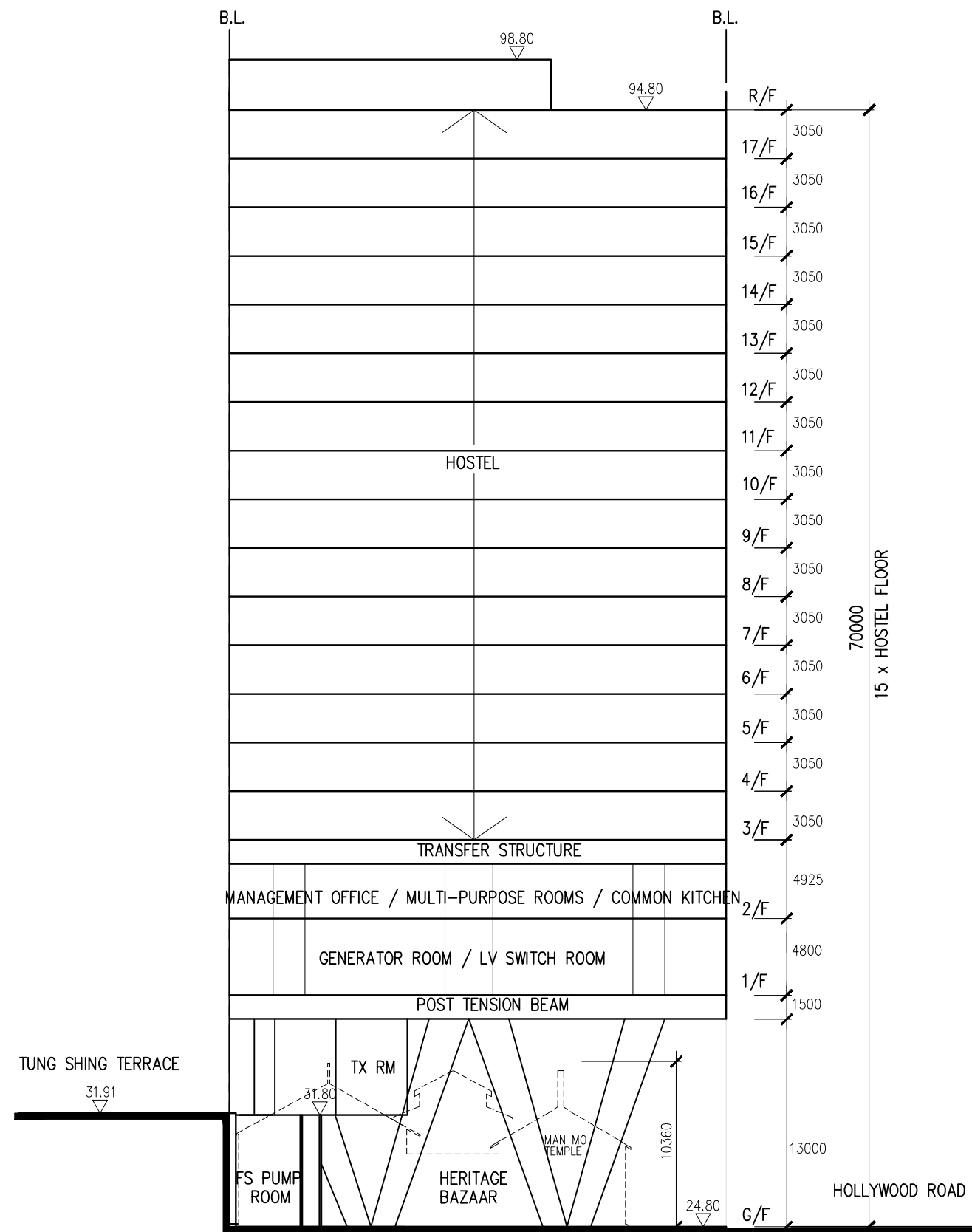




SINGLE ROOM : 4 NOS. (\*IFA=10.05m<sup>2</sup>)  
DOUBLE ROOM : 9 NOS. (\*IFA=17.81m<sup>2</sup>)  
\*IFA EXCLUDE TOILET AREA

HOSTEL FL PLAN (3/F-11/F)





SECTION A

## OPTION 4 - SETBACK & SLANTED COLUMN

## **ANNEX III    Photomontage and Plans of Design Options**



## OPTION 1



PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.



# OPTION 1



PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.

CYS Associates (HK) Ltd.  
Architects & Urban Designers **CYS**  
12 DEC 2014



# OPTION 1



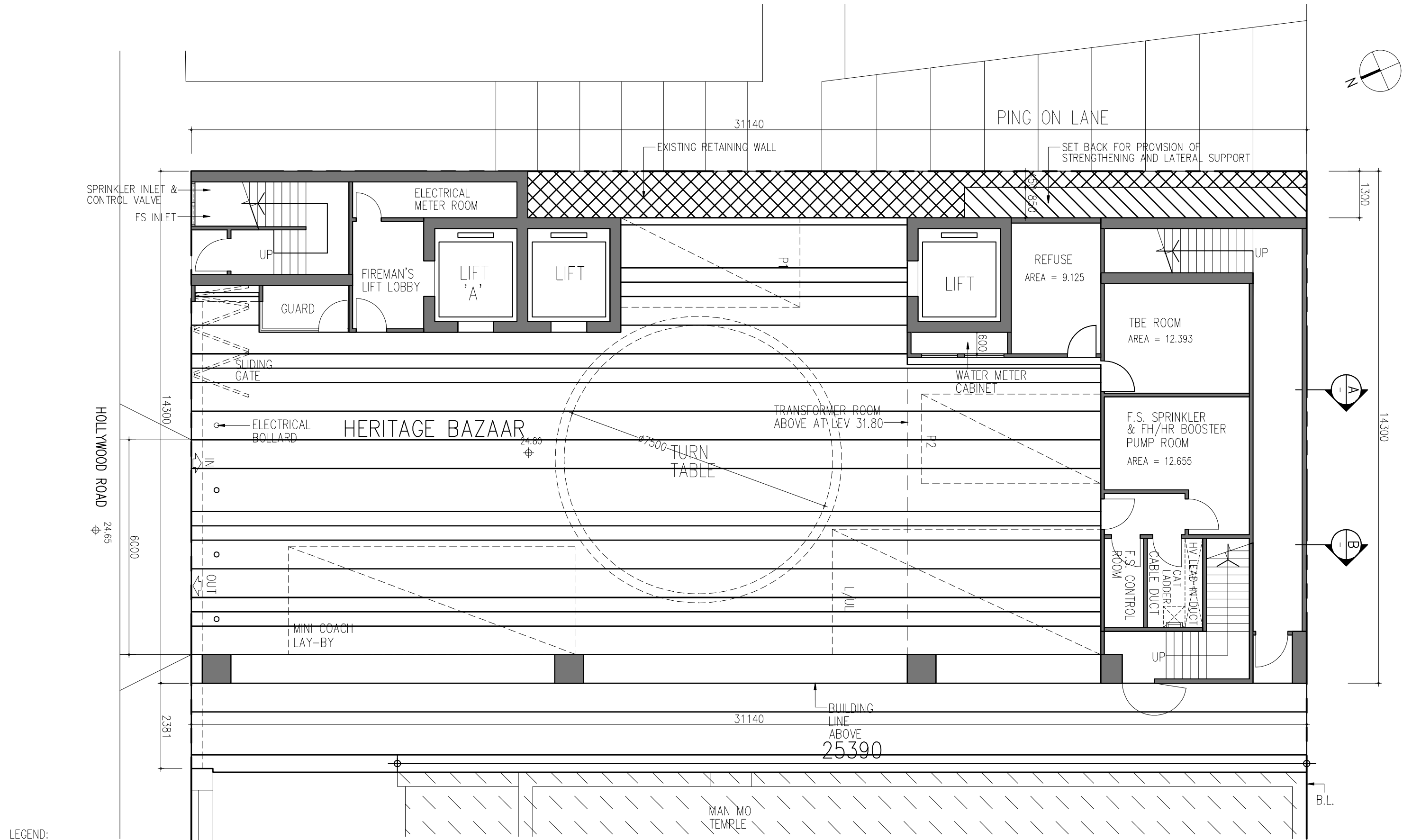
PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.





PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.

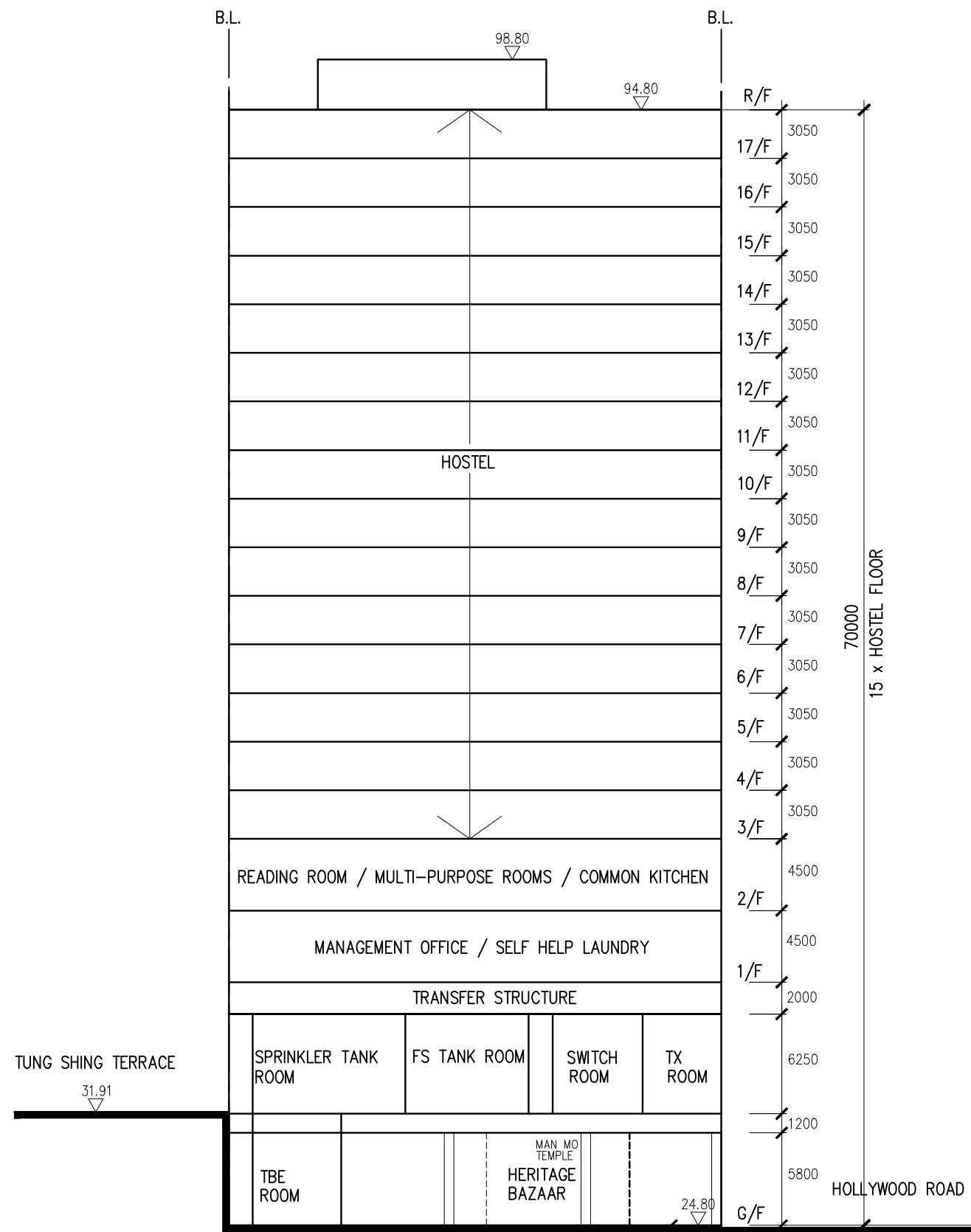




G/F PLAN

## OPTION 1 - M&E SPACE WITHOUT SETBACK

PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K. SCALE 1:100@A3



SECTION A

OPTION 1 - M&E SPACE WITHOUT SET BACK

PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K. SCALE 1:350

## OPTION 2



PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.



## OPTION 2



PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.





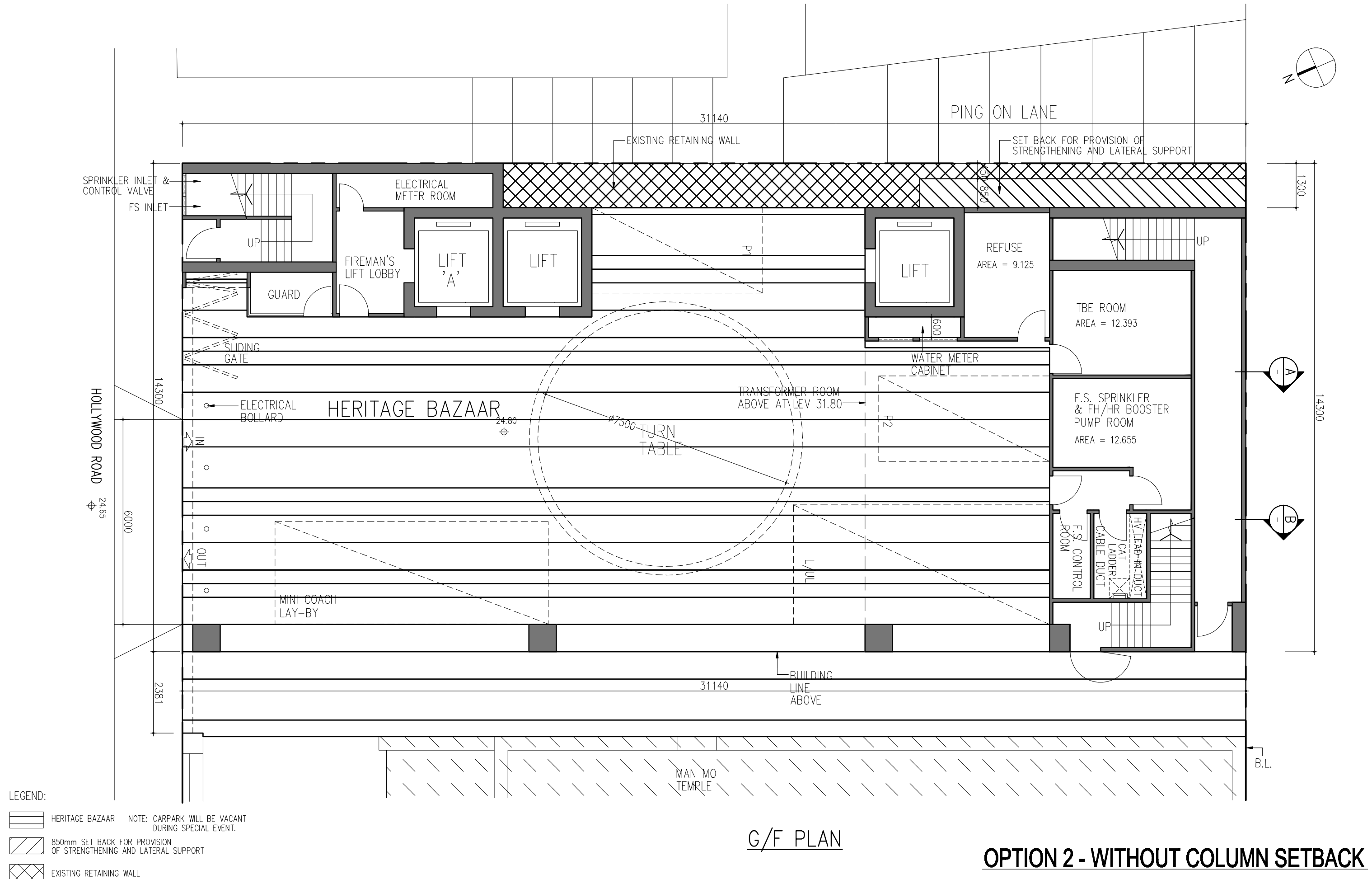
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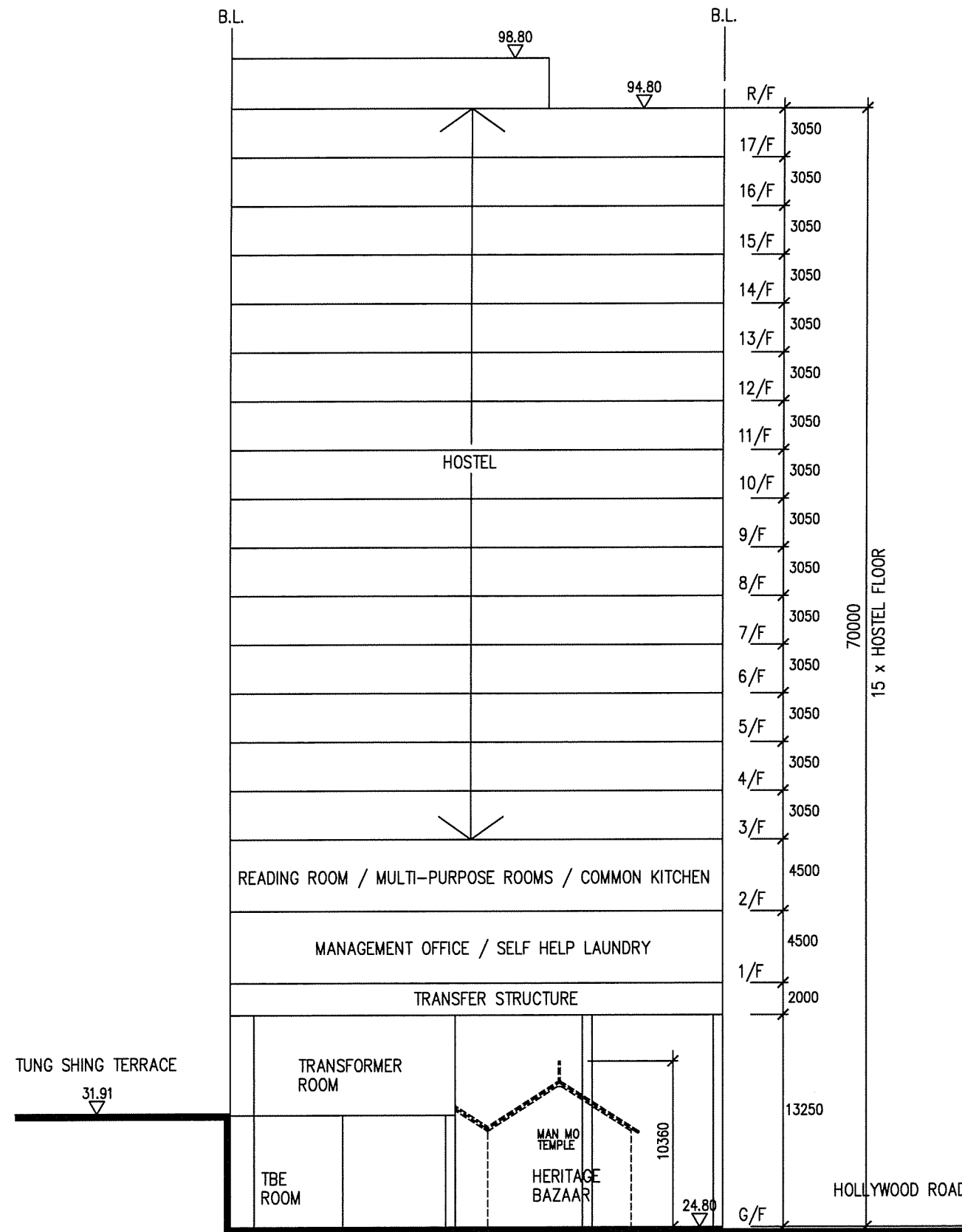




PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.







SECTION A

OPTION 2 - WITHOUT COLUMN SETBACK

PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K. SCALE 1:350





PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.









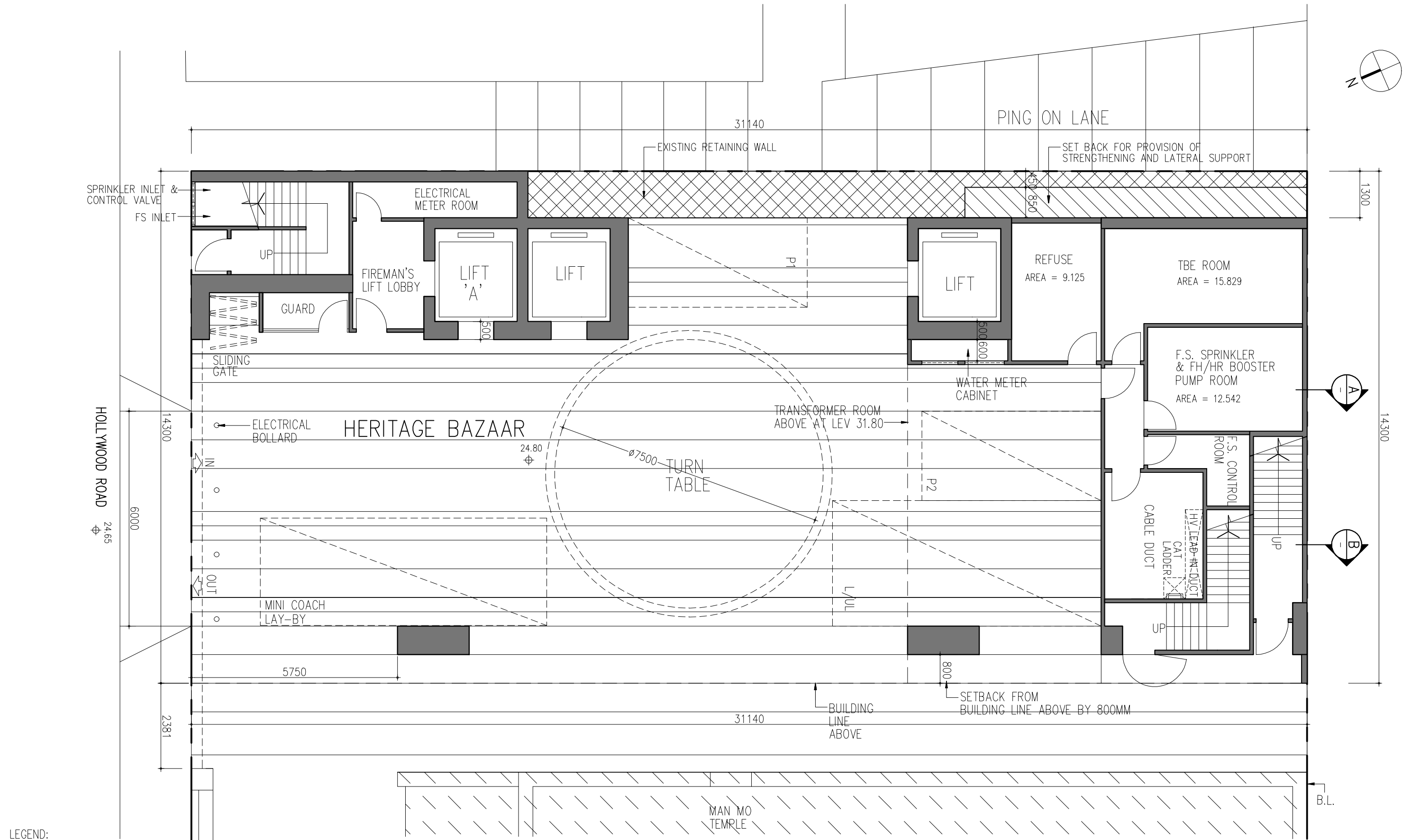
PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.





PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.





LEGEND:

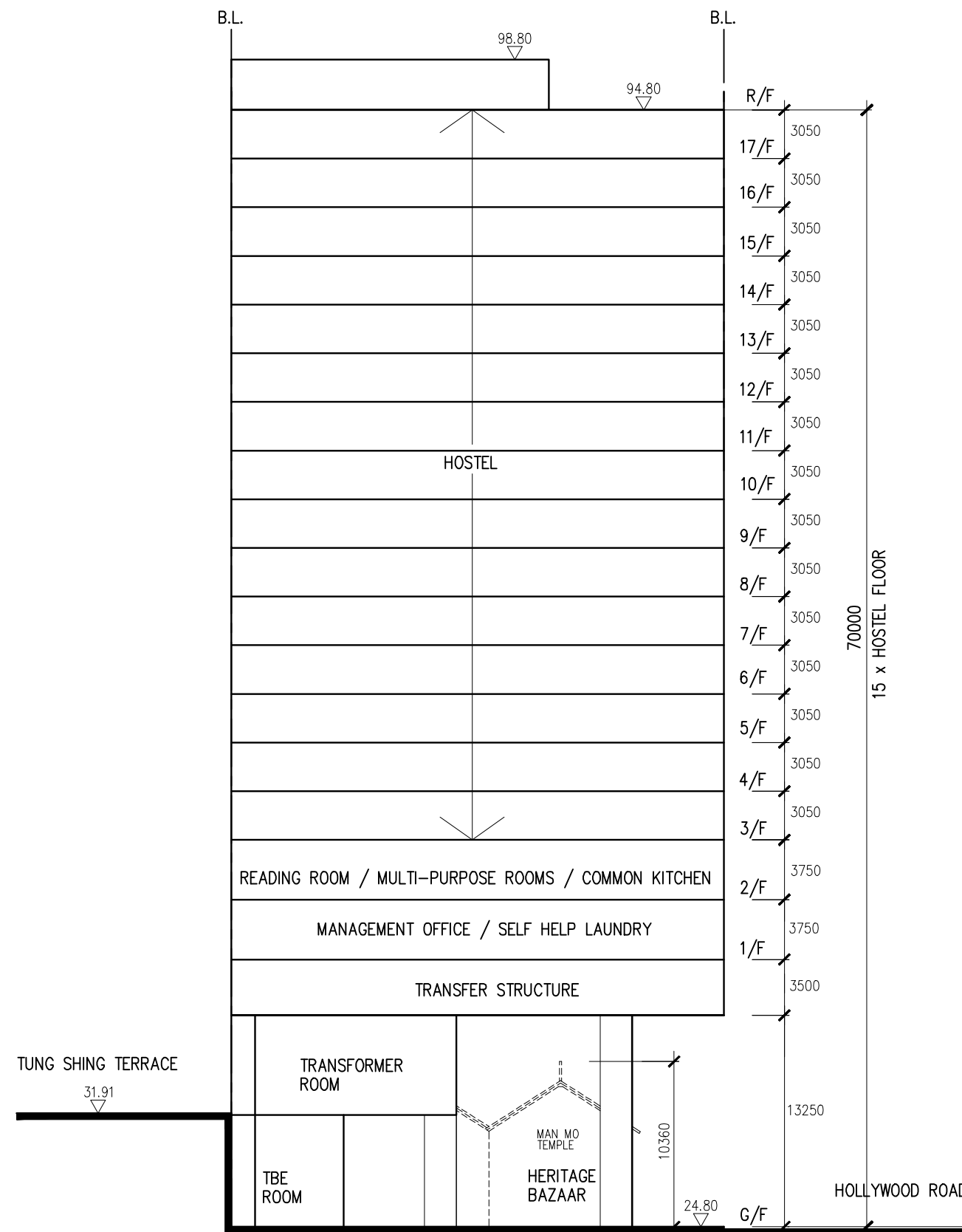
- HERITAGE BAZAAR NOTE: CARPARK WILL BE VACANT DURING SPECIAL EVENT.
- 850mm SET BACK FOR PROVISION OF STRENGTHENING AND LATERAL SUPPORT
- EXISTING RETAINING WALL

G/F PLAN

**OPTION 3 - SETBACK CORNER COLUMN**

**PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.** SCALE 1:100@A3

**C Y S Associates (H K) Ltd.**  
**Architects & Urban Designers.**  
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 08-01-2015 **SKA-001**



SECTION A

### OPTION 3 - SETBACK CORNER COLUMN

PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K. SCALE 1:350

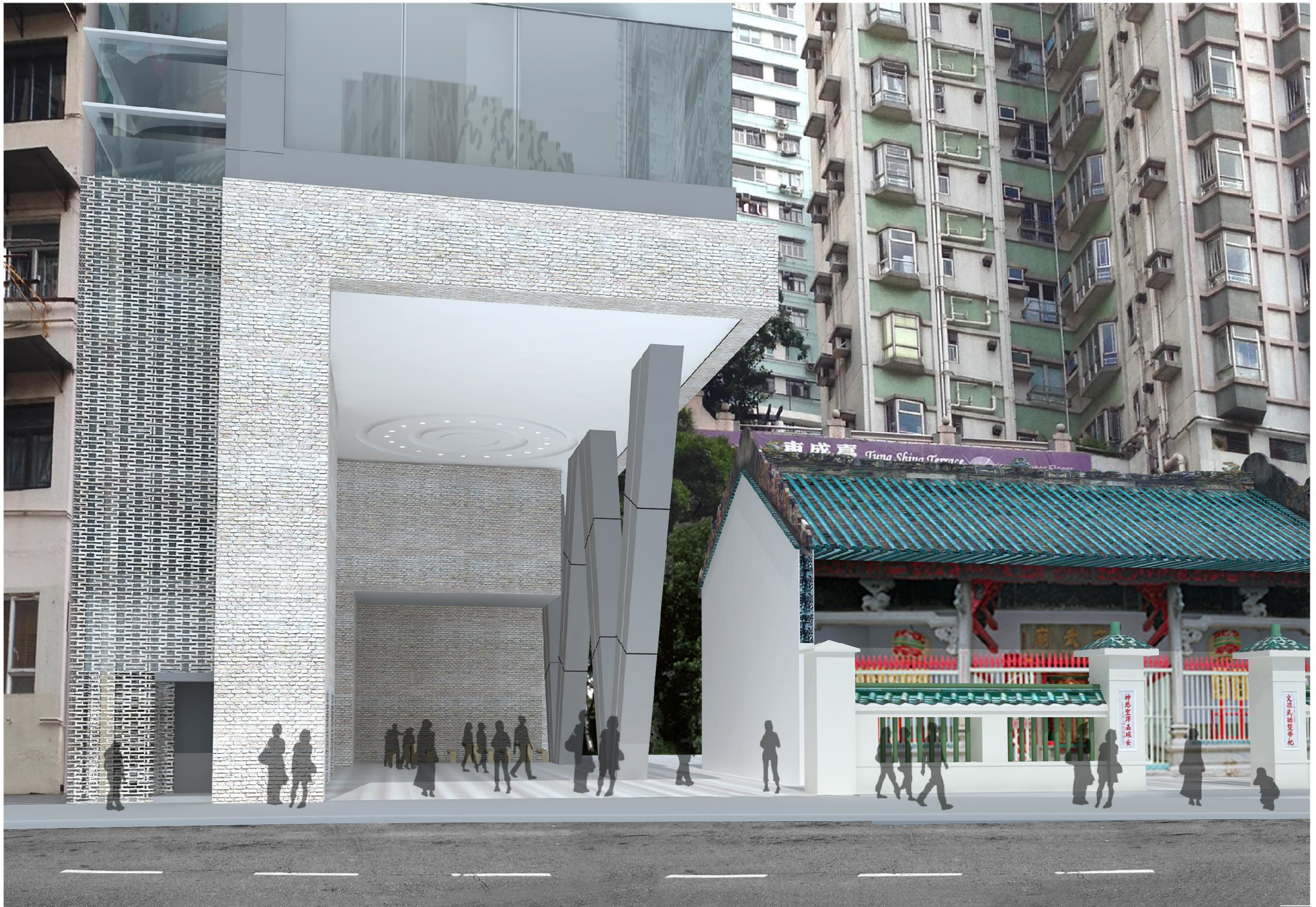


PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.









PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.

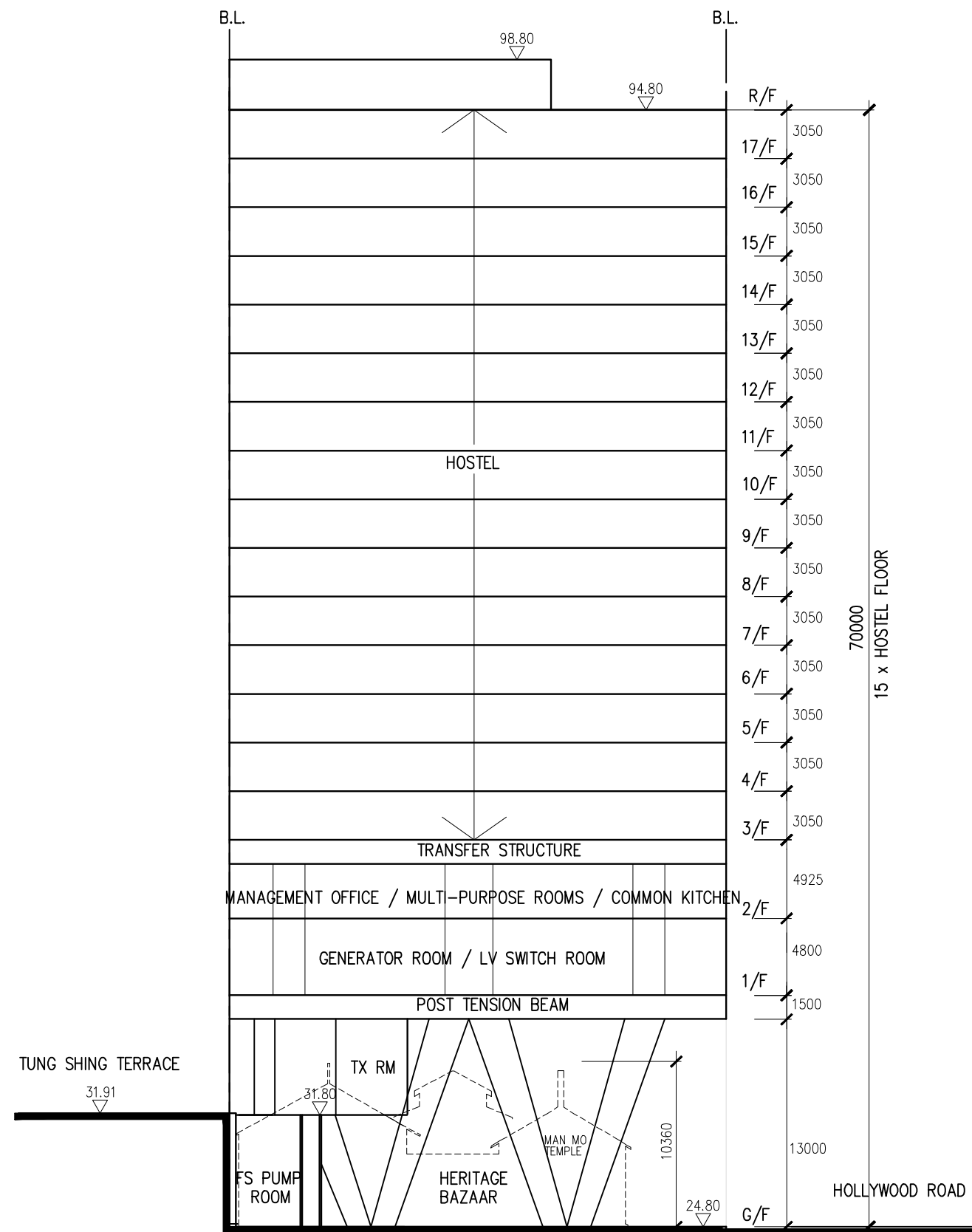




PROPOSED YOUTH HOSTEL AT 122A HOLLYWOOD ROAD, H.K.







SECTION A

## OPTION 4 - SETBACK & SLANTED COLUMN



## **ANNEX IV   Proposed Enhanced Protective Measures during Demolition and Construction**

