

Planning of Adaptive Re-Use of Lui Seng Chun

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Client:
Antiquities and Monuments Office

Purpose of the Study

This study is commissioned by the Antiquities and Monuments Office (AMO) to examine the feasibility of various adaptive re-use options and the subsequent disposal of the Lui Seng Chun building in Mongkok.

The objective of the study is to formulate a development scheme and implementation strategy to optimise the development potential of the building.

The development scheme will specifically address the heritage conservation issues associated with this Grade 1 historical building (Grade 1 building) and explore opportunities to enable the adaptive re-use to be financially self-sustaining. Ideally the future tenants of the building should bear the cost of any conversion of the building structure and finishes as a result of the adaptive re-use proposals together with the subsequent recurring maintenance and management expenses.

The original intention was to produce two reports addressing the various issues which form part of the study.

Report One was to assess the development potential by reviewing the opportunities and constraints of the building, including a heritage integrity statement and a condition report to establish the extent of the scope of work required. An analysis of at least three adaptive re-use development options was to be prepared and a preferred option recommended.

Report Two was to study the disposal options, having regard to legal issues, duration of lease period, operation and management, together with public and private participation.

As the study progressed it became apparent that findings of Report Two would have a significant impact on Report One and consequently the objectives of the two reports have been addressed simultaneously.

Scope of Report

Explore the commercial opportunities and constraints associated with the adaptive re-use of the study building with special reference to the following aspects.

- Location
- Accessibility
- Traffic
- Environment
- Local Character
- Tourism Potential
- Size and Layout
- Historical Integrity
- Conservation Requirements
- Existing Building Condition
- Compliance with BD and FS requirements
- Financial Viability
- Legal Implications
- Planning Intentions

Propose a minimum of three options for adaptive reuse with reference to all the above criteria.

Propose disposal options for the various proposed adaptive re-use with reference to financial and lease arrangements.

Recommend a preferred option based on the study evaluation.



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總結

- 0.1 Lui Seng Chun, the study building, is located on the triangular intersection of Lai Chi Kok Road and Tong Mei Road, Mongkok. The area has a dense residential population that accommodates a large portion of Hong Kong's lower economic stratum.

雷生春坐落於旺角區荔枝角道和塘尾道三角交匯處。該地區的居住密度甚高，居民多屬低收入階層。

- 0.2 The building is a four-storey structure described as a shophouse, or “tong lau”. Built in the early 1930s of reinforced concrete, it is among the earliest in Hong Kong to use what was then relatively new technology. The architecture of the building presents a mix of Art Deco and Neo-Classical style of earlier times, not uncommonly found in designs prepared at times of transitional change of architectural trends. Walter Hargreaves Bourne, a local architect who specialized in shophouses, designed Lui Seng Chun.

雷生春是一棟上居下鋪的四層唐樓。它建於 1930 年代，是香港早期的鋼筋水泥建築物。在建築美學上，它融合了「裝飾藝術」和「新古典主義」的風格，是不同建築潮流過渡期的折衷產品。雷生春的建築師 Walter Hargreaves Bourne 在香港執業，擅長設計唐樓。

- 0.3 This study was initiated to explore methods by which the building could be adaptively reused by the non-government sector in such a way that future operators bear the cost of the building conversion for the adaptive reuse and subsequent recurrent management and maintenance. The study was to make special reference to the heritage and tourism issues associated with the adaptive reuse of the building.

此研究目標是：非政府用家承擔雷生春的活化再利用和日後維修管理的可行方案。研究報告會特別關注與文物保護和旅遊發展的有關問題。

- 0.4 The building has undergone a number of repairs, alterations and renovation during its history. The recent repair work carried out by

Architectural Services Department was a basic repair to arrest the deterioration of the building fabric and prevent further water penetration. The work was not intended to be a restoration project to return the building to what it should be. To minimize the intervention to the existing building, the repair work only addressed to deteriorated elements to ensure the structural stability and weather tightness of the building. Previous repairs, alteration and addition works which were in sound condition was not intervened.

這棟建築物在過去曾經歷過多次維修、改動及翻新。建築署最近為雷生春進行的維修工程，只屬於為防止整棟建築物繼續惡化而進行的結構修繕和防雨漏修補。工程本身並不算是古蹟復修工程。為了將對建築物的干擾減至最低，工程範圍只限於穩定結構與防雨漏，那些狀況良好的後期改動與加建則仍然被保留。

- 0.5 This particular building has proved to be a very difficult study, given the objectives required to be achieved. The single most outstanding constraint from all review aspects is the location of the building. This together with limitations on appropriate use of a heritage building, costs associated with restoration to a standard appropriate for a heritage Grade 1 building and the requirement to make the building available to the public for inspection, make any commercial business plan very difficult to formulate for a private business requiring a profit to operate.

雷生春的活化再利用是一個大難題。最主要原因是建築物的地段條件差。此外，其適宜用途有限、復修要求高、成本昂貴，又要顧及對外開放的要求。這一連串的問題都會使雷生春復修改造後的商業再利用十分困難。

- 0.6 The location is not where most retail businesses would choose to be located unless of a type not dependent on passing trade. The surrounding light industrial outlets (steel framing, ironmongery, etc.) do not conform to the type of retail premises required to create the critical mass needed to attract people to the area. The location is also remote

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from adjacent tourism hubs, the Langham Place Hotel being the closest, and there is little chance of any such hub developing in the near future. The building also is not very accessible, being on the corner of two very busy roads, and not having any off road parking on the premises or in the vicinity.

雷生春的地段並不是主流購物區，人流稀少，商店以鋼架、五金、電鍍等輕工業店舖為主，加上遠離遊客集中點（最近的是朗豪酒店），故缺乏發展旅遊業的潛力。另外雷生春面向兩條繁忙大道的分叉處，建築物前無法設置停車候車處，對駕車到訪人士極之不便。

- 0.7 The location has been described in this study as “intimidating non tourism space”, where the area is clearly signaled as a place where tourists should avoid. In addition to the adjacent business type mentioned above, there are few services or restaurants to entice tourists to visit. The nearest tourism node is the Langham Place Hotel, which represents the northernmost boundary of the Yau-Tim-Mong (Yaumatei, Tsimshashui and Mongkok) tourism districts. The focus of the visitors to this hotel is south, away from Lui Seng Chun, towards the retail shops and cultural facilities in the Tsimshashui area. Tourists have little reason to travel north, towards Lui Seng Chun.

研究報告中指出雷生春的地段極不適合遊客。該區除了欠缺吸引遊客的商店外，也缺乏飲食及旅遊服務設施。最鄰近的旅遊服務點是位於油尖旺旅遊區最北端的朗豪酒店，入住該酒店的遊客該會南往尖沙咀的購物區和文化設施，而不會無故北上雷生春。

- 0.8 As previously mentioned, the building has been recently repaired and is currently in good condition. The general public would have a good impression of the building, being in better condition than that of most retail premises, which are vacant and waiting for a new tenant. It would probably surprise most of the public that the heritage restoration works have not yet to be undertaken as the presentation of the exterior and interior is so good. There are some functional requirements the prospective tenant will have to fund and implement which may not be unusual, but would still represent a capital cost to be incurred in any business plan. However, implementing this scope of work in a Grade 1 building will require a more careful approach than in a non graded building. This includes removal of areas of existing floor slab to install escape stairs and possibly a lift, upgrading of the electrical system to

accommodate air conditioning (wall or window mounted units are not considered appropriate for this building, having a negative impact on the external elevations), installation of a fire sprinkler system and installation of toilets.

如前所述，新近維修的雷生春狀況良好，外貌甚佳，更勝於附近一些空置的商舖物業。公眾也許會詫異，雷生春現時的內外觀感如此之好，但它的古蹟復修工作其實尚未展開。因應新用途功能上的需要，租戶要負責為物業作相關改動，這其實相當普遍，亦是一般租戶投資成本的一部份。但作為一級評定古建，雷生春的復修及改建要求相對地高許多。工程包括加建走火梯甚至升降機、安裝廁所、消防灑水系統和更換可負荷大型冷氣系統的電力裝置（窗台式小型冷氣機會影響古建外貌）

- 0.9 In addition to the functional requirements, prospective tenants are required to fund and undertake the heritage restoration works to international standard. The full scope of work associated with this undertaking is beyond the scope of this study, but a rough estimate has been made from the heritage integrity study, which is a requirement.

除功能上的改動外，雷生春的古蹟復修工程亦須由租戶承擔，且更要達到國際水準。此工程的全盤項目大綱非本研究範圍內，但本報告中有提供初步評估

- 0.10 This represents a substantial investment from the tenant in a building, which commercially is not very attractive. The value added from being a Grade 1 building may not be sufficient to attract suitable tenants, and if they were attracted by the concept, may not be of a sufficient size to fund the work. They would also not be able to occupy the premises until the work has been completed.

雖然雷生春是一級評定古建，但若租戶需要承擔活化再利用工程，將不大受落。即使租戶受落，業務太小的租戶不但難為工程籌資，更難於接受在工程完成後方可入伙經營。

- 0.11 In addition, the tenant is required to make the building accessible to the general public, which means the services (toilets, lift, and air conditioning) would be used by people not intending to purchase anything. This requirement needs more clarification in the tender documents with respect to opening hours, as this access may be

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referred to in other documents (heritage related, tourism). The tenant's responsibilities for care and maintenance in this respect could be quite onerous and could render occupation of the building commercially non-viable.

此外，租戶必須開放雷生春給公眾參觀，所以招標文件有需要列清楚對外開放時間，因為這或將於其他與旅遊及文物有關的文件中題及。對外開放會加重了物業設施如廁所、升降機和空調等的使用，而相對地加重了維修與保養的負擔，導致租戶難以持續經營。

- 0.12 Given the constraints of Lui Seng Chun, as described above, three potential adaptive re-uses emerged from the study:

在各樣限制下，雷生春有三種可行的活化再利用選擇：

- 0.13 **Adaptive Re-use Option 1: Specialist Retailer**

Retail, which is so special, it can only be purchased in the Lui Seng Chun building, thus making it a destination in its own right. This could be tendered out, as described under Disposal Method 1. The Shanghai Tang retail outlet in the Pedder Building, Central, is a good example of a specialist brand using the historical presentation of its premises to add value to its branding presentation.

活化再利用選擇 1：零售專門店

作為零售專門店可令到雷生春成為購物者必到之處。中環畢打行的「上海灘」時裝店就是一個好例子。它以古建作包裝，令品牌更特出，亦同時為品牌增值。這選擇可與招租方式 1 配合

- 0.14 **Adaptive Re-use Option 2: Benevolent Commercial**

Organizations such as the Salvation Army run themselves on a commercial basis, but their activities do not necessarily need to be located in a retail area. This location may actually be desirable for their social aid activities, and they would be a very responsible landlord. This type of use could be processed by Disposal Methods 01 or 02

活化再利用選擇 2：商營式慈善機構

商營式慈善機構，例如救世軍，無必要位置購物區，所以很適宜設於雷生春的地段。再者，這類租戶提供的社會援助服務，亦配合該地區居民需要。這選擇可與招租方式 1 或 2 配合。

- 0.15 **Adaptive Re-use Option 3: NGO**

This type of use focuses mainly on the protection and maintenance of the building for its unique historical and heritage attributes. Any income from the building is primarily for the maintenance and promotion of the building. This type of use is only suitable for Disposal Method 02. The Royal Asiatic Society is an example of an organization that may see Lui Seng Chun as a viable project to demonstrate what the organization aspires to, with the preservation of building with historical merit.

活化再利用選擇 3：非政府機構

非政府機構，例如皇家亞洲協會，會更有心保育古建特色，亦肯把收益投放在雷生春的保養和推廣。這選擇只可與招租方式 2 配合。

- 0.16 **Two differing disposal methods emerged from the study:**

建議的招租方式有以下兩類：

- 0.17 **Disposal Method 1: Commercial**

The building is offered for tender in its current condition with the requirement the prospective tenant funds and undertakes all functional works and heritage restoration works, and undertakes to allow public access to the building during its operation.

招租方式 1：商業方式

以現狀招標，讓租戶承擔所有復改工程費用，並且在營業期間對外開放，允許公眾參觀。

This method is extremely onerous for the prospective tenant, and would greatly reduce the number of tender returns. It may be that this type of method of disposal is only feasible by way of negotiation.

此方式令租戶負擔沉重，投標者定少，正常招標未必合適，或需以談判方式洽談租賃條件。

- 0.18 **Disposal Method 2: Non-Commercial**

Expressions of interest are sought from interested parties and organizations to propose a business plan which specifically addresses the adaptive re-use and associated works needed to be undertaken to

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restore and operate the building. The proposals will be assessed on the technical issues associated with the works required for the proposed adaptive re-use, the extent of heritage restoration works committed to, and the financial viability of the business plan to adequately maintain and manage the building for the proposed lease period. Such an organization may use the building as headquarters and may propose the lease be permanent. This type of disposal method will not generate much, or any, financial return to the government, but will ensure no extra financing is required and that the building is in good guardianship.

招租方式 2：非商業方式

有興趣的租戶必須提交意向書，擬定營業計劃。此營業計劃包括施工範圍、技術、經費、物業管理、建築維修等項目。這類租戶可能會要求永久租約，把雷生春用作總部。雖然這招租方式未必為政府帶來可觀收益，但勝在租戶會妥善看管雷生春，無需政府額外支助。

0.19 Evaluation of Adaptive Re-use Options

活化再利用選擇評估

0.20 Evaluating Adaptive Re-use Option 1: Specialist Retailer

It is doubtful the current type of specialist retailers would locate in such a locality where Lui Seng Chun is situated, so far from established retail hubs. In addition, it is anticipated this user expects to generate income from the building, and as such the relatively high capital investment, combined with the time required to implement the works, may be difficult to accommodate in a commercial business plan. Any retailer in such a location may require substantial branding (signage, posters, etc.) to display the retail outlets location. Such a branding requirement may not be appropriate to the presentation of a heritage building.

評估活化再利用選擇 1：零售專門店

零售專門店選址雷生春機會不大，事因位置離購物區頗遠，不利生意，令費時耗資的工程難以回本。孤立的位置令店舖有需要用顯著的戶外招牌和平面廣告標明地址，但此舉會大煞古建外貌。

Such a retail use may find difficulties accommodating public access to the building as it may interfere with their commercial operation. Retail

operations generally are sensitive to the economy, and it is considered this type of user may be the least stable tenant of all the options.

此類商戶會較難接受營業時間對外開放的條件。而且這類商戶的生意甚受經濟的好壞影響，故此這一類的租戶是所有選擇中最不穩定的用家。

Specialist retailers do deal with products not generally found elsewhere, and if the brand is sufficiently strong enough, it could create a destination, which may overcome the less desirable retail location. If this type of user can create a business plan which does generate income from the building, of all the options it is the most likely to create the greatest revenue return, by way of rent, to the government.

零售專門店的商品通常是唯我獨尊，如果品牌名氣夠大，店舖可望成為購物特點，抵銷店舖孤立的不良條件。如果此租戶能夠利用雷生春古建地位令品牌增值，謀取利潤，那麼它在所有的租戶選擇中，將會是付得起最貴租金的用家。

0.21 Evaluating Adaptive Re-use Option 2: Benevolent Commercial

This type of user may not rely on income from the building, its income coming in the form of donation or other operations. This may mean they would not be prepared to pay a premium on local rent, as their operation is not profit focused, and they may not see any advantage in operating from a well presented Grade 1 building.

評估活化再利用選擇 2：商營式慈善機構

作為非牟利機構，這類用戶的運作資金源於捐款或其他經營，不靠店舖本身做生意，亦無需利用雷生春一級評定古建的名堂賺錢。所以這類用戶不會付出高於該地段店舖市值的租金。

As this type of user may not rely on income from the building, and is not a general retail type, they would not be affected by any adverse economic conditions in the way Option 1 would. This would make them a relatively stable tenant for the government.

因為這類用家不是一般性的零售業商戶，所以它們的經營不受經濟好壞所影響，故此這一類的租戶是較穩定的用家。

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Such a user may be found more acceptable to the public generally, and the local community specifically, as an appropriate user of a Grade 1 government owned building. This user may also be more able to accommodate public access, and may find the exposure of benefit to the organization in relation to fund raising and promotional exhibitions.

這類用家最易被直屬社區和普羅大眾所接受。其營運方式可兼顧對外開放，又可透過參觀者作籌集捐款和推廣展覽等活動。

0.22 Evaluating Adaptive Re-use Option 3: NGO

This type of user is a not-for-profit organization whose mandate is the preservation of buildings such as Lui Seng Chun. As they would be expecting to invest a considerable amount of money into the building, the government could not expect a substantial revenue return from this user in the form of rent. This type of potential user may not find it acceptable to tender for the building under a normal tender system (Disposal Option 1).

評估活化再利用選擇 3：非政府機構

這些非政府機構注重保護建築文物，所以它們肯投資本錢在租用的古建上。但正因為這類機構把資金都投入在復改工程和日常維修上，因而它們承擔不起太貴的租金，所以這類用戶通常都不會參與有如招租方式 1 的競爭性投標。

This user would see Lui Seng Chun as a project to demonstrate their mandate, and as an example of how they have successfully carried out that mandate, on an actual project.

此類租戶會利用為雷生春所做的復改新用工程來印證它們的理念。

They operate entirely on donation and membership fees, and are capable of developing a viable business plan based on this source of income, to carry out the capital works and operate the building over the lease period.

它們的運作經費源自可觀的捐款和會費，單靠這些收入已足夠在租期內落實營業計劃、展施工程和經營運作。

This user is not affected by economic conditions, and as it is contractually committed to its donating partners to carry out the works and actions agreed with the government, would be a very stable tenant.

經濟的好壞對此類租戶沒有大影響，因為它們所有的工程及文化項目都與預先安排好的合約性捐助掛勾，故此屬於很穩定的用家。

This type of use could be the most accommodating of all the options with regard to public access, and would act as a destination building for meetings and exhibitions promoting the NGO and its projects.

非政府機構的工作性質最能配合對外開放的要求，雷生春更可為該機構提供一個推廣文化活動的會議展覽場地。

0.23 Evaluation of Disposal Options

招租方式評估

0.24 Evaluating Disposal Option 1: Commercial

Tendering the building out on conventional terms will require very detailed information in terms of the extent of the capital works, management standards and public access issues.

評估招租方式 1：商業方式

傳統招標方式需要詳細的標書文件，清楚列出復修工程、物業管理、對外開放的範圍和準則等細節。

The confidentiality required for such a tender may not be as transparent as the general public would expect, and this may cause concern to the public. Any pre-qualification of potential tender's may be difficult because uses of the building legally permitted may not be appropriate for a Grade 1 building, making exclusion of those uses difficult.

因為競爭性投標過程需要保密，所以此方式的透明度低，可能會招惹公眾質疑。預審投標者資格將會有困難，因為法例上容許的用途並不代表適合於一級評定古建。

This disposal option covers the widest possible range of potential users, and as such may produce specific retail uses which could operate on a

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profitable basis, and so have the potential of the greatest financial return to the government.

此方式可最廣泛地招攬潛在用戶參加競投，亦可吸引某些有能力於雷生春賺取盈利的零售用途，故對政府財政收益最有利。

0.25 Evaluating Disposal Method 2: Non-Commercial

As this option is more inclined towards technical and vision for the building issues, it enables non-profit organizations to compete on a level playing field for the restoration and management of the building. It is less likely to produce a financial return to the government Disposal Option 01 may, and may attract less potential users with the emphasis less on financial issues.

評估招租方式 2：非商業方式

此方式限用於非牟利機構，這方式的評審焦點在乎古建復修的技術和古建再用的創意，而不是著重價高者得。正因如此，投標者會較少，中標價亦會較低。

This disposal option should attract the most heritage related informed users, with the least prescriptive conditions, but including conservation guidelines.

As the potential users are not seeking the building for profit, a wider range of uses, rather than users, may emerge.

這方式除了要求租戶依照古建保育準則外，就只有極少量的附帶條件，這可能會吸引到一些對古建再用有經驗的用家。因為用戶無需利用建築物帶來高盈利，所以新用途的選擇可能更廣泛。

0.26 Costs

The costs shown below are indicative costs based on the sketch designs in Section 4 of the report.

成本

以下的參考成本價是根據第 4 部分草圖設計所估算。

0.27 Adaptive Re-use Option 1: Specialist Retailer

Using plan Arrangement 02, it is anticipated the user will incur a capital cost of HK\$10,480,000 to effect the prescriptive and retail specific fit out works.

活化再利用選擇 1：零售專門店

依照平面佈局 02，租戶預計需投入港幣 \$10,480,000 來完成有關工程。

With an assumed monthly income of HK\$360,000, and operating cost of HK\$30,000 per month, it is proposed a reasonable monthly rent to the government would be HK\$30,000, with a five year renewable lease.

如每月收入港幣 \$360,000，每月運作耗費港幣 \$30,000，政府該以 5 年續簽的租約，每月收租港幣 \$30,000。

0.28 Adaptive Re-use Option 2: Benevolent Commercial

Using plan Arrangement 03, it is anticipated the Government will incur a capital cost of HK\$10,610,000 to effect the prescriptive and retail specific fit out works. This capital cost will be recovered by the government from the monthly rental payments.

活化再利用選擇 2：商營式慈善機構

依照平面佈局 03，政府預計需投入港幣 \$10,610,000 來完成有關工程。這項投資可從租金收回成本。

With an assumed monthly income of HK\$480,000, and operating cost of HK\$40,000 per month, it is proposed a reasonable monthly rent to the government would be HK\$40,000, with a five year renewable lease. Under this arrangement it will take twenty two years to reimburse the government the capital cost.

如每月收入港幣 \$480,000，每月運作耗費港幣 \$40,000，政府該以 5 年續簽的租約，每月收租港幣 \$40,000。在此情況下，政府將需 22 年才能收回成本。

0.29 Adaptive Re-use Option 3: NGO

Using plan Arrangement 01, it is anticipated the user will incur a capital cost of HK\$11,060,000 to effect the prescriptive and retail specific fit out works.

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活化再利用選擇 3：非政府機構

依照平面佈局 01，租戶預計需投入港幣 \$11,060,000 元來完成有關工程。

With an assumed monthly income of HK\$12,000, and operating cost of HK\$1,000 per month, it is proposed a reasonable monthly rent to the government would be HK\$1,000, with a five year renewable lease.

如每月收入港幣 \$12,000，每月運作耗費港幣 \$1,000，政府該以 5 年續簽的租約，每月收租港幣 \$1,000。

Note the costs for this option are minor administration cost only, based on projected income from member's fees and fund raising. All cost associated with the buildings maintenance and management are funded from a trust or foundation which would be established specifically for the funding and ongoing maintenance of the Lui Seng Chun building.

請注意：非政府機構用於雷生春的運作費用基本只是行政費用，將由日常會費和捐款資助，至於雷生春的維修和管理費用將會由一個為此特設的基金所支付。

0.30 Recommended Options

處理雷生春的推薦方案

The recommended way forward for Lui Seng Chun is by use of the Adaptive Re-use Option 3: NGO, using the Disposal Method 2:

Non-Commercial.

處理雷生春的推薦方案如下：以「招租方式 2：非商業方式」實施「復改新用選擇 3：非政府機構」。

The recommended user and disposal method is the most stable contractual arrangement of those considered, and as such ensures the security and proper care of Lui Seng Chun for the coming years.

所推薦的方案是考慮到是否可以平穩完成有關的租賃、工程、維修、管理等合約，這樣才可以保障到雷生春日後的長遠保育。

The various stages of disposal and subsequent restoration works can be reasonably transparent, and this will meet the expectations of the public as a whole. Under this arrangement, the appropriate use of the building and the public's access to the building are properly addressed.

這個方案會令雷生春被適當地使用，對外開放的問題亦不大。而且，招標、租賃、工程等的安排都可以適當地公開，令這些階段的透明度達到如眾所望。

0.31 Consultants Presentation to Government.

顧問報告講解

A presentation to the government and clients representative was conducted 1 March, 2007 in which this report was briefly described and a question and answer session held.

2007 年 3 月 1 日，本顧問公司為政府和客戶代表們講解了此報告的內容，並進行了討論和答問。

The main issue discussed was if there was any possibility a commercial tenant would be able to be considered in the assessment of proposals using the options recommended in this report.

所討論的主要議題是：推薦方案容入商業用戶的可能性。

The consultant advised the consultancy team were of the opinion it would be difficult to enter into negotiations with commercial proposals as this may be seen as inappropriate as the commercial user intends to make a profit from the buildings use. Once it is accepted a profit making organization is a suitable tenant, it would be difficult to select a tenant on the basis of anything other than cost, and there are examples of such tenants in such buildings at present not seen as appropriate by the general public.

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本顧問公司認為，推薦方案容入商業用戶會被視為不妥當的做法，因為商戶必定會把雷生春作牟利之用，照理該以價高者得原則招標，而不適宜以談判方式洽談條件，否則會引來公眾非議。

The consultant also advised conclusions and recommendations made in this report are specific to the Lui Seng Chun building, which in commercial terms is in a worst case location scenario. Similar buildings in Stanley or Wanchai may have many more positive attributes when subjected to such a study as this, and therefore caution needs to be taken if conclusions made in this study are applied to other buildings.

本顧問公司也特別指出，從商業角度來看，雷生春所在的地段十分惡劣。如為赤柱或灣仔的類似建築物進行類似研究，可能會發現更多作商業發展的積極因素。因此本顧問報告的推薦方案和得出結論只適用於雷生春，而不宜用於其他唐樓。

0.32 In summary, Lui Seng Chun could be described as a building of relatively low commercial potential with high heritage and preservation expectations. The costs related to the necessary works required to adaptively reuse the building, together with the subsequent maintenance and operational issues appropriate to the high preservation issues, make a very difficult commercial scenario for any tenant seeking to make a profit.

總結：雷生春一方面商業潛力有限，但另一方面在古蹟保護的期望及要求卻很高。它高昂的復改工程費用、定期維修費用與日常運作所需的開支將會令商業租戶難以回本。

In addition, the general public is displaying a high level of sensitivity towards the use of these disappearing historical buildings, and may perceive the non-profit use more appropriate than disposing of the building in a manner applied to ordinary non-heritage related buildings.

再者，公眾日益關注正逐漸消失的建築文物，會認為這類古建的新用應該有別於一般建築物，由非牟利用戶使用會更為合適。

1.0 Conservation Requirements

1.1 Heritage Significance

1.1.1 The degree of heritage significance of a building is the most important consideration in determining the overall value of a heritage building in the community.

1.1.2 A complete Historical Statement of Significance is attached as Appendix A of this report and the contents of that report are summarized as follows. The criteria that need to be considered for Lui Seng Chun are:

1.1.2.1 Contextual Importance

1.1.2.1.1 The design of the original street layout and planning in relation to the surrounding area and the conditions at that time and whether any features were of innovative importance or unique to that particular site.

1.1.2.1.2 The area surrounding Lui Seng Chun is not known for having a concentration of Chinese medicine shops or trades. Therefore it was the demographics, especially the socio-economic class of people in the district that formed the operational context for Lui Seng Chun

1.1.2.2 Architectural Importance

1.1.2.2.1 This includes the architectural history or design significance together with the value as a building type; contribution to townscape character and any landmark value; contribution to technology.

1.1.2.2.2 Lui Seng Chun is one of the few remaining corner **tong lau in Hong Kong** and designed by an authorized Western architect. It presents a mixture of Neo-Classical and Art Deco elements in its façade. It is also an early example of a building constructed with reinforced concrete beam and slab supported by granite columns and brick core walls.

1.1.2.3 Historical Importance

1.1.2.3.1 This includes association with historic persons or events.

1.1.2.3.2 Lui Seng Chun is a physical representation of the social history of a family from Mainland China, who came to Hong Kong and created a successful local business.

1.1.2.4 Social Importance

1.1.2.4.1 This includes existing value from a community, commemorative, or social view-point. Also its public potential for increasing the educational, cultural and recreational value of the site.

1.1.2.4.2 Lui Seng Chun is illustrative of the social phenomenon of “giving back to the community” that was widespread among early immigrants.

1.0 Conservation Requirements

1.2 Overseas examples of shop house buildings



Photo 01 Early 1930's Singapore shophouse showing a mixed Art Deco and Neo-Classical style (source Lee Ho Yin)



Photo 02 A late Art Deco shophouse in Singapore that features an antenna-like decorative element projecting from the pediment (source Lee Ho Yin)

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2.1 Development Context in Mongkok

2.1.1 Lui Seng Chun is located on surrendered Lot No. KIL 2792, now held under GLA K395, and is zoned Other Specified Uses (Historical Site Preserved for Commercial and Cultural Uses) under the Approved Mong Kok Outline Zoning Plan (S/K3/24), page 14. This allows the uses shown in the Notes to the Outline Zoning Plan which are as follows:

Column 1 Uses always permitted	Column 2 Uses which may be permitted with or without conditions on application to The Town Planning Board
Eating Place Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Use Institutional Use (not elsewhere specified) Library Place of Recreation, Sports or Culture School Shop and Services Training Centre	Religious Institution Social Welfare Facility

2.1.2 A full list of the uses permitted as described in the Planning Department's documentation (although most of these uses are not possible in the case of Lui Seng Chun because of Building's Department's and functional requirements) under the above headings is as follows:

- Art Studio
- golf driving range
- public swimming pool
- horse riding school

- boating centre
- aquarium
- arts centre
- arts gallery
- city hall
- civic centre
- concert hall
- cultural complex
- rehearsal room for art performance
- fitness centre
- gymnasium
- Museum
- Planetarium
- Stadium
- sports ground/complex
- sports training grounds and water sports centre
- velodrome
- oceanarium
- outdoor go-kart ground
- radio control model aircraft flying field,
- outdoor radio control model car playing ground
- motocross
- hobby farming
- fishing ground

2.1.3 As set out in the Notes, "the planning intention for this zoning is to preserve, restore and convert the Lui Seng Chun building into a local heritage attraction with provision of cultural and commercial facilities for the enjoyment of the public". Under the "Remarks" section of the Note it is stated that "Any demolition of, or any addition, alteration and/or modification to the existing Lui Seng Chun building requires planning permission from the Town Planning Board".

2.1.4 Under the Remarks in the Notes to the current outline zoning plan (Approved Mong Kok Outline Zoning Plan S/K3/24) any addition/alteration/modification to the existing Lui Seng Chun building requires planning permission from the Town Planning Board under Section 16 of the Town Planning Ordinance. Similarly, whilst shop use of the ground floor is permitted as of right under Column 1 of the Notes, this is not the case in so far

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as office use on the upper floors is concerned. Should such use be accepted, as recommended in this Report, planning permission under Section 16 would again be required unless alternative arrangements are put in place to regularize this situation.

- 2.1.5 In so far as permitting office use on the upper floors is concerned, it is considered that the most effective way of allowing for this is to change the Notes to the OZP so that such use appears under Column 1 and this would be consistent with the current zoning of “Other Specified Uses (Historical Site Preserved for Commercial and Cultural Use”. A rezoning application with justification can be submitted to Town Planning Board for consideration under section 12A of the Town Planning Ordinance.
- 2.1.6 It is recommended that such action be put in hand prior to the issue of any tender or expression of interest invitation as neither commercial organizations nor NGOs are likely to pursue the opportunity unless steps have been taken to permit office use on the upper floors. Such organizations will be very reluctant to enter into any agreement if the necessary action for rezoning or change of use has not been initiated, particularly when such applications take time and involve additional cost.
- 2.1.7 As regards securing approval for physical works, the necessary Section 16 application can only be submitted when the end-user’s specific requirements are known i.e. at the post tender stage. However it is considered very unlikely that any organization, commercial or otherwise, would be willing to commit unconditionally to a tenancy without confirmation that the physical changes required both by the Buildings Department and in order to make the accommodation suitable for its specific purposes can, in fact, be made i.e. until after the Section 16 application has been approved. It would, therefore, only enter into a conditional agreement until that time. In view of the fact that Section 16 applications are now subject to public comment and heritage buildings are much in the public eye at present, the timeframe for securing approval could be somewhat protracted so that it may be some months after the tender award before an unconditional tenancy agreement can be

executed. The only alternative it appears would be for the Town Planning Board to delete the Remarks from the Notes to the OZP which is considered inappropriate given the Grade 1 nature of the building.

- 2.1.8 The major verandahs facing the road are built outside the zoning boundary, extending over the public foot path and being supported by columns located at the road edge. As uses in Column 2 of the document require application to the Town Planning Board, it is proposed to limit the adaptive re-use to Column 1, so that the requirement for structures outside the zoning boundary to have planning approval does not need to be addressed.

2.2 Characteristics of the “Neighborhood Area”

- 2.2.1 The building is located at 119 Lai Chi Kok Road, Mongkok, at the junction of Lai Chi Kok Road and Tong Mei Road, both of which are major 6-8 lane thoroughfares. The building, which externally is very attractive in appearance, stands out from the surrounding neighborhood in that there are no other buildings of a similar type visible in the immediate vicinity. There is no parking provision at Lui Seng Chun itself or nearby nor obvious drop-off points but various bus routes pass by the building and it is some 5-10 minutes walk from Prince Edward MTR Station.
- 2.2.2 The overall setting of the building is not attractive and the impression is of a visually appealing building in a down-market, suburban location. Traffic passing on both Lai Chi Kok Road and Tong Mei Road is heavy during much of the day with buses and trucks as well as cars and these roads effectively isolate Lui Seng Chun from the rest of the neighborhood.
- 2.2.3 The buildings along Lai Chi Kok Road provide for mixed light industrial and light commercial activity with local community and some wholesale retail outlets at ground floor level. There appear to be few restaurants or attractive retail outlets and overall the locality is not welcoming in appearance, with Lui Seng Chun appearing to be out of place and time.
- 2.2.4 Locality Accessibility

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Bus within 50m on Lai Chi Kok Road, same side as Lui Seng Chun
No.118 Sham Shui Po (Tonkin Street) to Siu Sai Wan (Island Resort)

Bus within 50m on Lai Chi Kok Road, opposite side to Lui Seng Chun
No. 2 So Uk to Star Ferry
No. 2A Lok Wah to Mei Foo
No. 6F Lai Kok to Kowloon City (Ferry).

Mini Bus to Castle Peak Road
Mini Bus to Jordan Road

Metered Car Parking in adjacent Tai Nan Road (parallel to Lai Chi Kok Road).

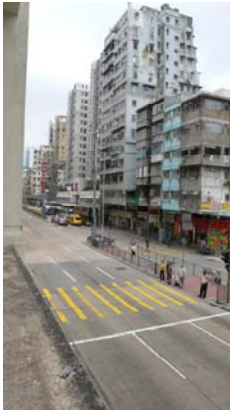
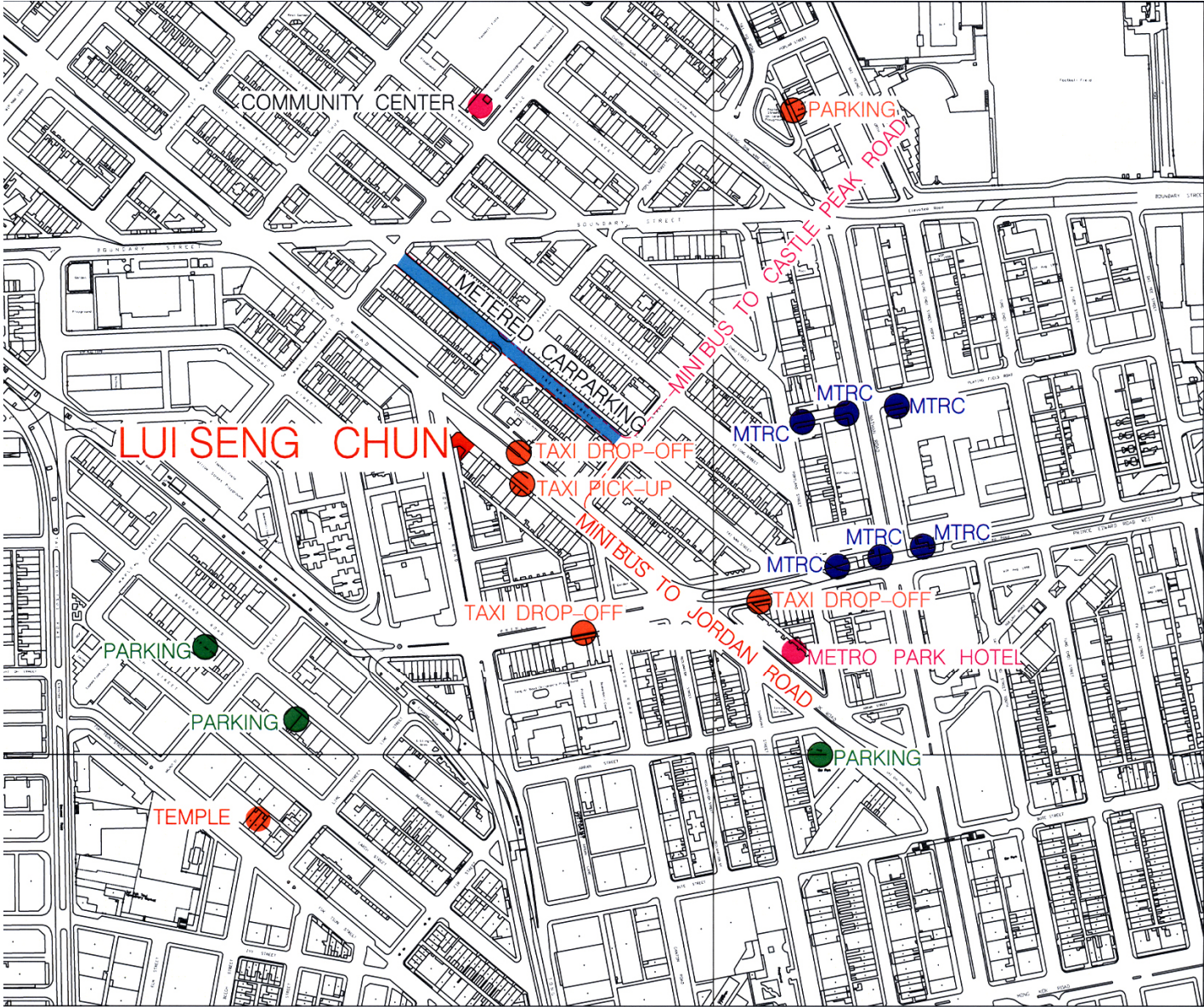


Photo 03
View from balcony looking North West

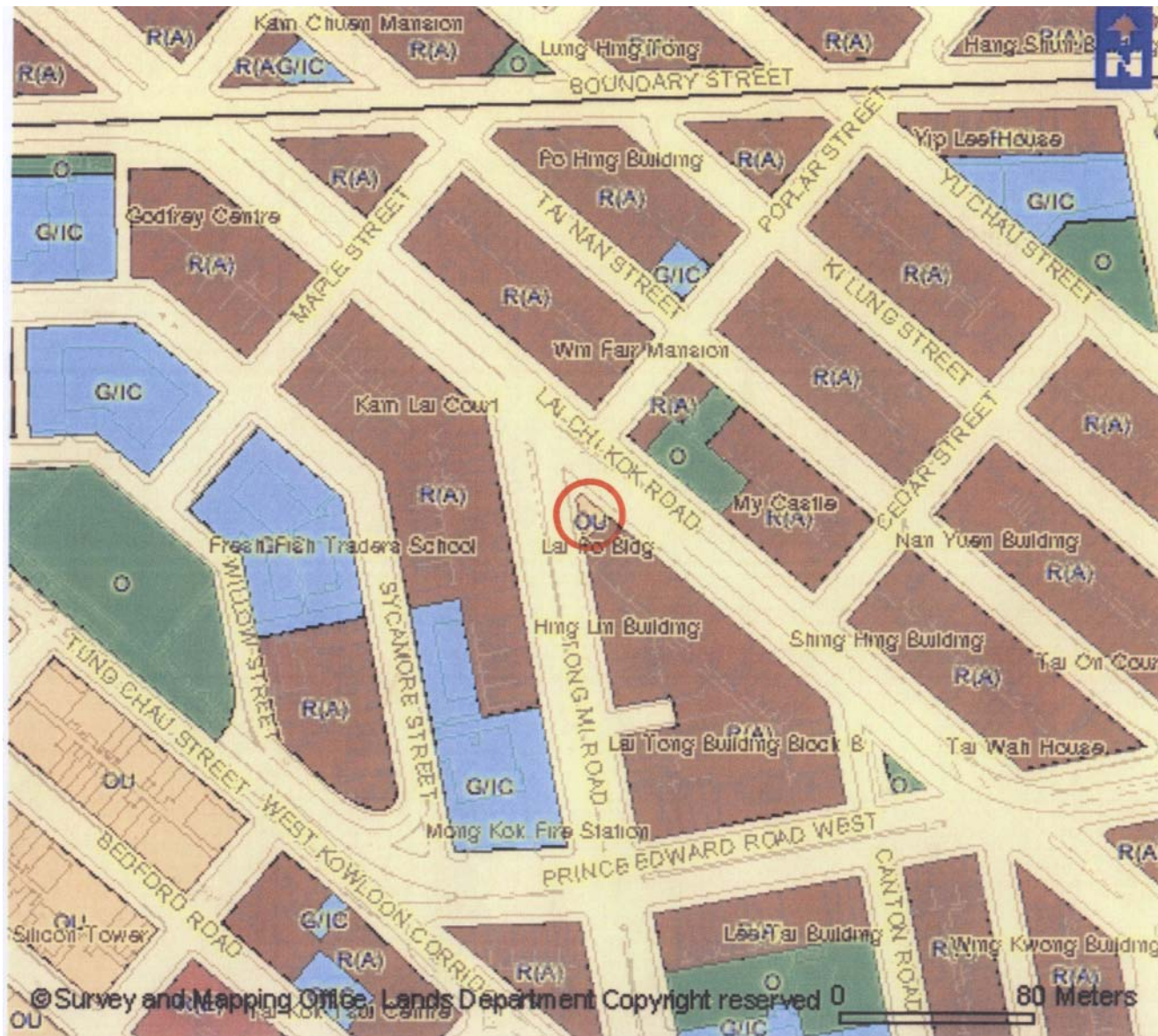


Photo 04
View to market street opposite



Locality Map

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Mong Kok Outline Zoning Plan – Lui Seng Chun located in red circle

2.3 Tourism Potential

The information relating to the movements of tourists in Hong Kong and to the appeal of the attraction to tourists is based on Professor McKercher's nearly eight years of work specifically examining tourist behavior, cultural tourism and the movements of tourists in Hong Kong. He has published 60 academic papers, conference papers, professional journal articles and reports on tourism in Hong Kong. He has been the principal investigator of a seven year long departing visitor survey conducted by the School of Hotel and Tourism Management at the Hong Kong Polytechnic University. He won a University Grants Committee (UGC) Central Earmarked Research

Grant (CERG) to examine cultural tourism in Hong Kong. This was the first such study of its type and involved an extensive consumer survey, as well as a supply-side study of cultural heritage tourism products. Among the many publications was a paper identifying the attributes of popular cultural tourism attractions. He was also the principal investigator examining the tourism appeal of secondary cultural attractions. This study identified isolation, poor amenity, location and scale as representing fatal flaws for smaller assets. Prof McKercher is also completing another Central Earmarked Research Grant (CERG) examining the movements of tourists in Hong Kong. The findings of this study have not been published widely yet, but indicate that tourist movements are highly concentrated in and around the immediate environs of the hotel and, that typically, tourists explore outside this area as little as one day during the three day visit. This research also led to a keynote presentation at Australian CAUTHE Tourism Conference discussing tourist's perceptions of the destination. Tourists will visit tourism space and shared space, but will not go to space that is signaled visually as being non tourism space. Copies of Professor McKercher's publications are available at the Hong Kong Polytechnic University

2.3.1 While the building itself is very attractive, it is clearly located in non-tourism space. Tourists look for signals that they are welcome or at least accepted in certain neighborhoods by 'reading' a variety of explicit and implicit signs and signals that indicate this is someplace where they are supposed to be. Destinations can be categorized into one of four ways from a tourism perspective: *tourism space* where tourists dominate and local residents play at being tourists in their home community; *shared space* where both tourists and locals are welcome, providing the tourist acts like a local; *non tourism space that is unknown and irrelevant* to the tourist, such as suburban neighborhoods, etc; and *intimidating non tourism space* where the area is clearly signaled as a place where tourists should avoid.

2.3.2 The location of Lui Seng Chun can best be described as intimidating non tourism space. The neighborhood is fairly rough and down market. The local wet market is basic. The few shops serve the local community. A lot of light industry and light commercial activity occurs, which is not for tourists. There

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are few services and/or restaurants. As such, it will be difficult to entice tourists to visit.

2.3.3 Moreover, its location is situated in the opposite direction from the nearest tourist space. The new Langham Place Hotel currently represents the northernmost boundary of the TST tourism node. The entire focus of visitors to this hotel is south to the retail shops, museums, restaurants and attractions, or outside of TST. Tourists have little reason to go north.

2.3.4 Like many other heritage assets in Hong Kong, Lui Seng Chun is a remnant; an isolated building that has lost its original historical context and sits out of context with the current setting of the neighborhood. It stands as an island. Only the truly determined tourist would want to see it and he/she would be most interested in the facade only. A drive by photo would satisfy most people's needs.

2.3.5 The asset is incompatible with its surroundings.

2.3.6 Tourism attractions can be categorized into three broad groups:

- Primary attractions are those attractions that induce visitation and are often closely associated with the brand positioning of a destination. These places are known outside the destination. The more influential the primary attraction, the larger the number of people the destination can draw and the further people are willing to travel.
- Secondary attractions may be known outside the destination or the tourist may find out about them once they arrive. These places may not be the main reason to visit, but once in the destination, the visitor may feel a high degree of obligation to visit. They complement the overall experience.
- Tertiary attractions, on the other hand, are highly substitutable and discretionary. Visitation is typified by convenience and opportunism. Tertiary attractions only work if they are easily accessible and in close proximity to a major attraction or hotel. Isolated tertiary attractions will always struggle to attract visitors, for they are unknown, and once known are not particularly valued, and finally, can be

exchanged easily for any other activity. At best, Lui Seng Chun's appeal is as a tertiary attraction.

2.3.7 There are no obvious assets in the neighborhood or immediate vicinity that could be bundled with the building. Bundling of lower order attractions is one strategy that can be used to create a primary attraction or, at least a highly desired secondary attraction. Any group of lower order attractions must be bundled around an icon around which the experience can be built to work. Just like shopping malls usually need one or two icon stores that provide a critical mass of customers to make smaller shops viable, so too do bundled attractions need an icon.

2.3.8 Our research on tourist movements in HK shows that most tourists make point to point journeys, rather than exploring neighborhoods. Hong Kong can be typified as a series of tourist nodes with transport linkages. Assets that are in tourist nodes (tourism space and shared space) are likely to be visited, while those outside nodes are unlikely to be visited. Few tourists will deviate from transit routes to make stopover visits to interesting places they see. Since Lui Seng Chun is not in a tourist node, it is unlikely to be visited.

2.3.9 Finally, there is an incongruity between the asset and its surrounds. As stated above, it is an up market asset in a down market neighborhood. This creates a real challenge in proposing alternative uses. The asset itself, for example, is worthy of very exclusive, high end restaurants or retail outlets and would work well if it was located in a neighborhood that matched this product type. However, it may be difficult to entice up market tenants into this neighborhood, especially if viability will rely on the passing neighborhood market.

2.3.10 It has been suggested the sitting out area opposite the building, on the other side of Lai Chi Kok Road, be developed into some sort of linked use with Lui Seng Chun, giving the project greater mass and as such strengthening the destination concept. However, Lai Chi Kok Road presents a formidable barrier between the two sites, and developing some sort of synergy between the two is doubtful. Any operator of the Lui Seng Chun

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building is unlikely to want to undertake the task of operating such a linked site which is remote from, albeit interfacing with, the main operation.

- 2.3.11 Overall, therefore, the initial impression is that this asset has limited tourism appeal. Any successful commercial adaptive reuse will likely have to rely on the local Hong Kong market as its chief source of consumers. The only alternative is to identify a niche product/activity that is compelling enough to force tourists to visit.

2.4 Potential Adaptive Re-use of the Building

2.4.1 General Observations

- 2.4.1.1 The original use of the building was as a bone-setting and Chinese medicine shop with living accommodation above.
- 2.4.1.2 It is assumed all options will fund the capital and ongoing costs.
- 2.4.1.3 An appraisal of each of the adaptive re-use options is referenced in Section 7 – Evaluation of Options and resulting recommendation of one of the options is referenced in Section 8 – Recommended Option.
- 2.4.1.4 The proposed re-use options described below are some possibilities for implementation. There may be many other uses proposed by community groups or highly specialized retailers which would only become apparent in the disposal process. It is therefore not intended to include a financial plan in the report as these highly conjectural issues should not be translated into such a definitive document. The information in the report validates that the conditions are present to make such uses feasible, but does not describe the level of such profitability.
- 2.4.1.5 It is noted some extent of public access is required to the building during the future private lease period. The

extent of such access will be an important issue when evaluating potential tenants as this will entail an extra degree of supervision and possibly insurance cover. The most likely uses for the ground floor may welcome such visits as a positive exposure to the general public for exhibition or commercial reasons. However, the upper levels likely use as office accommodation may find such public access as intrusive. A management plan should be made if the upper floors are to be accessed by the general public, e.g. by appointment only with restricted number of visitors according to the permitted capacity of respective floors. Depending on the use of the building, the operating hours of the tenant will also be an issue, with some tenants not wishing to operate on weekends and public holidays. In addition, there is a requirement to reserve an area within the building to house a permanent display of Lui Seng Chun, the Lui's family and other items relevant to the locality. Whether this is achieved by a stand alone display, or integration into the buildings fit out will greatly depend on the eventual user's business plan.

- 2.4.1.6 The management plan for the buildings operation will be greatly influenced by the eventual user and the accepted proposal by the government. The major issues to be addressed will relate to safety and care of the buildings fabric.

The eventual use of the building will probably require the relaxation of some statutory requirements to some degree, and this will require the user to get approval from the relevant authority to implement measures to make non-compliant elements in the building safe.

This can be achieved by means of “active” or “passive” measures. Active measures require supervision and management to reduce the risk by means of physically controlling the visitors actions when near the hazard and ensuring warning sign instructions are adhered to. This type of safety measure is to avoid physical changes to the non-compliant elements of the building.

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Passive measures usually involve alteration to the non-compliant elements and require less active supervision.

Active measures usually involve the least physical intervention to the building as the safety issues are addressed by management action relevant applications of active measures in Lui Seng Chun would be:

- a) Non-compliant verandah balustrades are not accessible unless accompanied by a security guard.
- b) Warning signs on the non-compliant existing stair are enforced by the security guards who would direct children and elderly visitors to the lift.
- c) Trained security staff to effect any crowd control issues and direct people to the escape routes.
- d) Maximum numbers of visitors to the upper floors are controlled by the security guard, and people are logged in by way of a sign in book to demonstrate the management plan is being implemented.

2.4.2 Proposed Adaptive Re-use Options

2.4.2.1 Adaptive Re-use Option 1 – Specialist Retailer

- a) It is considered that the location, given the difficulty of access and its limited floor area, would not support such a specialist retail outlet commercially of itself but, given the history of the building and its visual appeal, it may be that a specialist retailer, especially one with its own heritage and history, could, if offered reasonable rental terms, develop a viable marketing approach. This could be based on the heritage appeal of the building and its historical connections, which would result in an acceptable commercial operating return when allied with the advertising and branding opportunities which could be developed. One option would be to approach a

well-known specialist retailer in the field of Chinese Medicine with a view to re-establishing this original use in the ground floor retail unit. The upper units could perhaps be adapted to create a historical display area relating to the development of Chinese medicine practices, using both relics from the original Lui Seng Chun and those of the new operator, which could be visited by interested groups on an appointment basis.

This option assumes the user intends generating profit from the operation of the building. It is assumed the user will have formulated a business plan to enable the adaptive works and ongoing maintenance will be funded from this business plan with no special consideration given to relaxation of financial issues, e.g. repayment of capital expenditure over the lease period to the government.

It is considered very unlikely, however, that this approach could generate sufficient revenues to enable such a retailer to enjoy a financial return on the costs of a full renovation programme.

- b) A further theoretical example of such a specialist retailer and its use of the building are as follows:

- Wong and Sons Ltd is a successful family business producing and distributing their own brand of traditional Chinese teas. It is a very old brand and the product is distributed throughout Asia. They need a centrally located administration office which could also be used for promotional purposes. Lui Seng Chun is about the right size and reflects the appropriate image for the company.
- They propose to use the building as shown in Section 4 Schematic Design, Arrangement 02, page 52.

2.0 Planning Intentions

- The commercial use of the building is compliant with the single escape stair requirements, but an approved fire plan, limiting the number of public visitors to the premises will need to be instigated.
- The Ground Floor will be a tea shop operating in normal retail hours and used as a tasting venue for potential new business.
- The First Floor is a display area showing the companies history and products for presentation to clients.
- The Second floor is used as the administration office. The reception area could be accessible to the public as the offices can be locked.
- The Third floor is a general meeting room which could also be rented out for small meetings, presentations, or lectures on heritage or tea related issues. The interior area is adequate for the use, so the verandah area can be left intact.

2.4.2.2 Adaptive Re-use Option 2 – Benevolent Commercial

- a) The second possibility, again assuming reasonable rental terms, is use for benevolent commercial purposes. The building could be leased to an organization such as the Salvation Army which runs itself very efficiently on commercial lines. Any social uses permitted under Column 1 and for which the structure of the building is deemed suitable could be permitted. Whilst this approach is worthy of consideration, the number of organizations with the resources and experience necessary to undertake such use, without subsidy, may be limited. On the other hand, however, such organizations may have

better access to funds by means of donation to finance the capital and ongoing costs. Also, few such users are able to pay a rental that would permit Government to recover the costs of such works in a reasonable period.

This type of tenant may be considered more suitable for a listed government owned building, as there is a community use relationship, although at no cost to the government. It may be appropriate to extend some inducement to this type of user by way of allowing the capital costs to be reimbursed over the lease period to the Government. As this user is less affected by financial fluctuations in the community, they are likely to be a more stable tenant, finishing any agreed lease period.

- b) A theoretical example of such a benevolent commercial organization and their use of the building is as follows:
 - An organization such as the Salvation Army is looking for premises to establish a sub-branch representing the organization. They are looking for something in a location where the community generally uses their services, such as financial aid or counseling. They are looking for a building with a more welcoming presentation than a normal commercial building, and find Lui Seng Chun suitable in terms of location and presentation.
 - They propose to use the building as shown in Section 4 Schematic Design, Arrangement 03, page 61.
 - As with Adaptive Re-use Option 1, an approved fire plan is required limiting the number of visitors to the upper floors to the maximum allowed for a single escape stair installation.

2.0 Planning Intentions

- The Ground floor will be used as an exhibition area displaying the organizations services or any current promotional issues. It can also be used for local art displays with any funds raised from sales being shared. Public access is compatible with this areas use.
- The First and Second floors are used as counseling or meeting rooms, and for general administration purposes. Public access to this area needs to be outside operating hours and restricted to the reception areas as the offices can be locked.
- The Third floor is used as a library and reading room with a permanent display of relevant heritage artifacts. Public access is compatible with the use of this area with due consideration on the management plan.

2.4.2.3 Adaptive Re-use Option 3 – Non Government Organization (NGO)

- a) Given the perceived difficulties in identifying both a commercial user for the building who would undertake the necessary renovation/restoration works and a benevolent/commercial user able to pay a rental that would permit Government to recover the costs of such works in a reasonable period, a third approach is proposed. This would involve inviting a properly constituted not-for-profit organization or NGO with the necessary resources and an interest in the conservation of heritage properties in Hong Kong to take ongoing responsibility for the building. This would be on the basis that such organization meets not only the renovation/restoration costs (to a specification and standard to be agreed between the parties) but also take responsibility for the

management and maintenance of the property going forward.

- b) Such organizations have expressed an interest in investigating this approach and it is thought that others may have a similar interest. The interested parties would be willing to consider entering into a 15 year lease at a minimal rent under which they would be responsible for all costs of renovation and maintenance and would agree to a limited range of acceptable Column 1 uses to which the building could be put in the future. The lease would include the right of the Government/AMO to monitor the renovation/restoration of the building and its ongoing use, management and maintenance.

It is assumed the NGO would have a mandate to protect such buildings as Lui Seng Chun. The actual restoration and ongoing preservation are the reason they function, and Lui Seng Chun would be used as an example project to attract donations from the business sector. Third parties would be approached to donate funds for the capital works and ongoing maintenance, and would receive recognition of such through the NGO's promotional material describing their organization and activities.

- c) A theoretical example of such a NGO and their use of the building is as follows:
 - A NGO with an interest in heritage related projects, such as the Royal Asiatic Society, is looking for a project to demonstrate their stated operation mandate, and Lui Seng Chun is such a project.
 - They propose to use the building as shown in Section 4 Schematic Design, Arrangement 01, page 43.

2.0 Planning Intentions

- As with all the options, an approved fire plan limiting the number of visitors to the building at any one time is required to comply with the requirements for a single escape stair.
- The Ground floor is sub-leased to a retail use appropriate to the Grade 1 building, ideally a traditional medicine shop. Public access is compatible with this areas use.
- The First floor is used as a promotional display area, or associated office. Public access is compatible with this areas use.
- The Second floor serves as the NGO's administration office. Public access to this area is restricted to non operating hours and the reception area only, with the offices locked.
- The Third floor is used as a meeting place for heritage enthusiasts or a function area for the NGO. Public access is compatible with this areas use.

2.5 Potential Disposal Options of the Building

2.5.1 General Observations

- 2.5.1.1 It is the intention of this report to study if it is feasible to engage non-Government sectors to manage and operate Lui Seng Chun building for adaptive re-use on a self-financing basis, i.e. to pay for the restoration works, recurrent management and maintenance costs.
- 2.5.1.2 The disposal method should ensure the adaptive re-use of the building is appropriate to that of a Grade 1 building, and ensure any lease arrangements will result with the building being adequately maintained and managed. It is also noted a degree of public access is required to the building during its operation by the non-

government sector. The extent of this access will be influenced by the adaptive reuse option, and in the case of any social or community use may be limited due to the privacy issues.

2.5.1.3 Any disposal option must address certain requirements in the documentation, and these requirements are:

- a) The building is to be leased, not sold.
- b) The tenant shall be responsible for the costs associated with the adaptive re-use, the costs associated with heritage related restoration works and the implementation of such works.
- c) The works shall be implemented in such a way as to satisfy the government requirements with respect to protection of existing structure and fabric and achieve a standard of finish all as considered appropriate to a Grade 1 building.
- d) The tenant shall be responsible for the recurrent cost of maintaining and operating the building in relation to the commercial use and any special use the government may require as part of the lease agreement.
- e) The process has a level of transparency and public participation.
- f) Special government requirements shall be:
 - Agreed level of public access to the building.
 - Incorporation of relevant historical items and artifacts into the finished building's works and interior fit out.
 - Management and maintenance plan appropriate to a Grade 1 building being used commercially and accessible to the general public.

2.0 Planning Intentions

- Technical pre-qualification is required for all disposal options, including assessment of proposed use(s).

2.5.2 Disposal Option 1 – The Commercial Option

- 2.5.2.1 This option has the most potential for any commercial return to the government, because the tenant may have potential for earning income from the uses accommodated in the building. The building is offered for tender and, following an assessment of technical and financial proposals. After passing the technical assessment, the tenant offering the highest rental return to the government is given the highest score in the financial assessment and is awarded the lease. Under this option, the government states the requirements for the lease of the building, setting the lease period, extent of intervention to enable adaptive re-use, scope of work for heritage restoration, and extent of public access to be given. The uses to which the building can be put are stated to ensure uses considered unsuitable (such as betting shop, electronic gaming hall) are not submitted. These and other similar uses may be financially viable and are allowed under the planning regulations, thus making it difficult to refuse them unless such restrictions are spelled out in the tender documentation.
- 2.5.2.2 This is a two envelope approach, with the technical submission requiring a 70% pass before the financial submission is opened. Any submission not attaining a minimum of 70% will not be considered in the financial assessment. This does not mean the financial aspect is now to be solely the governing factor as the combination of financial return and the ongoing security and maintenance of the building needs to be considered. A commercial retail offering the greatest financial return may not renew their lease as prevailing economic conditions may have deteriorated. A non profit organization, not relying on commercial trade,

while perhaps not offering a large financial return, could be more stable and so relieving the Government of going through this tender process repeatedly.

2.5.2.3 The technical submission must fully describe the following issues:

- a) The use to which the building will be put.
- b) The extent of work required to be carried out to enable the building to function efficiently in line with the proposed use(s).
- c) Understanding of the extent of the heritage restoration work involved.
- d) Explanation of how public access will be achieved, including a management plan which describes in detail what measures are being put in place to physically (security surveillance) and commercially (insurance) protect the building and its contents.
- e) Understanding of the extent of work and independent costing to confirm the works can be carried out.
- f) Financial documentation showing the business and management plan over the lease period is capable of rendering the net monthly return to government.
- g) Financial documentation showing sufficient funds are available to carry out the required adaptive and heritage restoration works.

2.0 Planning Intentions

2.5.2.4 Indicative Program for Disposal Option 01

Disposal Option 1 Indicative Program	
Task	Duration
Preparation of Tender Document	8 weeks
Issue of Tender	1 week
Tender Response Period	6 weeks
Tender Review	2 weeks
Tender Interview	2 weeks
Tender Award	2 weeks
Total no. of weeks	21 weeks

Note: If any preliminary submissions to Planning are required, as referenced in 2.1.4 up to twelve months may need to be added to the above program prior to the issue of tender stage.

2.5.3 Disposal Option 2 – The Non-Commercial Option

2.5.3.1 Request for proposals are sought from various organizations and businesses to propose a use and subsequent business plan for the building, based on broad guidelines from the government. Unlike Disposal Option 01, this is a non-prescriptive approach, but conservation guidelines compiled by the government are to be addressed and observed by the prospective tenants in any proposal. Expressions of interest (EOI) are sought from a wide range of interested groups, from which a selection is invited to submit proposals. The onus is on the interested groups to demonstrate their technical understanding of the issues and describe their vision for the building in relation to their organization. This would enable ideas to be proposed which would not necessarily emerge in Disposal Option 01, where it is assumed the operator depends on income from the building to exist.

2.5.3.2 This is a non financial approach, offering little financial return to the government, but ensuring no further expenditure by government is required. This method would enable a private entity or group of private organizations with a mandate to protect buildings such as this, to actively promote the building as an example of their vision. The objective is no cost to the government, instead of financial return, but would promote a more sensitive approach to the building's future. The proposals will require the inclusion of a business plan describing how the capital and ongoing costs are to be achieved. This may entail repayment of the capital cost to the government over the lease period, or complete funding from the user. The user will need a substantial capital investment in the building to carry out the adaptive works if the government does not wish to take this on. If the organization is not actually related to heritage work, raising this capital may be difficult as such funds would normally be directed to the organization's primary purpose.

2.5.3.3 All options must eventually be at no cost to the government. In the case of a proposal being submitted which is attractive to the government, but the proposal cannot accommodate the initial capital cost, the government may carry out the works at its own cost, being reimbursed by the user over a period of time. Eventually the reimbursed capital cost will create a no cost situation for the government.

2.5.3.4 The contract with the government for this option would be based on a Public Private Partnership (PPP), in which responsibilities for maintenance, management and operation would be described with reference to the specific use of the building. The contract is drafted by negotiation and agreed prior to the tenancy award.

2.5.3.5 This is a single envelope system, as the objective is no cost to government as a requirement. The prospective tenants must provide the following information:

2.0 Planning Intentions

- a) A full business plan for the building, including financial validation the building can operate for a required lease period. This will include a description of how the funds would be raised and a program for the implementation of proposed works inclusive of interior fit-out.
- b) Understanding of the extent of the adaptive and heritage restoration works required.
- c) Proposals on public access and description of how historical artifacts will be displayed.
- d) As this option relies on donations, a description of the organizations structure and agreements with donating parties is required for submission. A clear explanation of the agreement between the organization and donor parties would set out how the donated monies will be used to effect required works to the building and what proportion will be used for the maintenance and administration during the lease period.

Award of tenancy	2 weeks
Total no. of weeks	25 weeks

Note: If any preliminary submissions to Planning are required, as referenced in 2.1.4 up to twelve months may need to be added to the above program prior to the issue of tender stage

2.5.3.6 Indicative Program for Disposal Option 02

Disposal Option 2 Indicative Program	
Task	Duration
Public Notice announcement inviting EOI	4 weeks
EOI Review and Pre-Qualification of Tenants	5 weeks
Selection of prospective Tenants to be invited to submit Proposals	2 weeks
Period in which to prepare Proposals	6 weeks
Review of Proposals	4 weeks
Interview of those submitting Proposals	2 weeks

3.0 Building Condition

3.1 Notes and Summary

3.1.1 Notes

- 3.1.1.1 The inspection was limited to a visual inspection of the external and internal finishes, and access to documentation of remedial works carried out by Architectural Services Department (Arch SD).
- 3.1.1.2 If it is intended to change the use of the upper floors from “residential”, then in order to produce the required calculations for a Buildings Department submission, it will be necessary to carry out a full structural testing exercise, comprising non-destructive test on the concrete floor slabs and beams (by ultrasound and other electronic means), to determine the slab thickness, approximate diameter and locations of the steel reinforcement.
- 3.1.1.3 “Destructive” testing should be restricted as far as possible to the minimum necessary, in order to reduce any unnecessary damage to the historic building fabric. This testing will involve core samples from the slab and beams, and samples taken from this work need to be tested by an accredited testing laboratory.
- 3.1.1.4 Trial inspection pits will also be necessary to check the foundations of the structure. The building is partially a reinforced concrete slab and beam structure, and the footing sizes to the columns need to be validated to accommodate the new loadings.

3.1.2 General Observations

- 3.1.2.1 The ArchSD recently undertook structural repairs and basic repair of the study building.
- 3.1.2.2 It is understood the works were intended to make the building structurally safe and weather tight.

3.2 Condition Survey

3.2.1 Roof

- 3.2.1.1 The flat concrete roof has been recently re-screeded and cracks have been grouted with what appears to be epoxy filler.
- 3.2.1.2 The raised tiled platform area is in place, with what appears to be the original floor tiles.
- 3.2.1.3 The raised platform appears to function as insulation to the enclosed rooms below, as it terminates on the line formed by the interior and verandah line.



Photo 05 Roof area over verandah

3.0 Building Condition

3.2.2 Chimneys

- 3.2.2.1 The existing chimneys are in good condition with no cracks or spalling evident in the newly painted render.

3.2.3 Parapet Walls

- 3.2.3.1 The parapet walls are in good condition, with drainage slots to drains in place and functioning.

3.2.4 External Walls

- 3.2.4.1 The external walls are non-load bearing in this concrete beam and slab structure.



Photo 06 Roof parapet walls



Photo 07 External chimney



Photo 08 Ground floor external walls

3.0 Building Condition

3.2.5 Verandah

- a) The verandah facing the street is in good original condition with what appears to be the original floor tiles in place. The original concrete balustrades are in place with the granite capping.
- b) The deteriorated columns and railings of the balconies were replaced to match existing building elements.

3.2.6 Windows and Doors.

- a) Some of the original windows and doors appear to be in place, with new installations to match the original to varying degrees.
- b) The windows and doors are generally in good condition.



Photo 09 Verandah corner



Photo 10 Balconies



Photo 11 Typical Window



Photo 12 Typical External Door

3.0 Building Condition

3.2.7 Decorative Features

- a) The elliptical pediment over the ground-floor entrance area and cornice and pediment details is prominent in the building.

3.2.8 Rear Yard

- a) There is a small yard adjacent Tong Mi Road, separated from the pavement by a 2700mm high masonry wall.
- b) The ground floor shops have access to this yard by way of double doors.



Photo 13 Ground level corner



Photo 14 Ground floor column detail



Photo 15 Rear courtyard area

3.0 Building Condition

3.2.9 Internal Partition Walls

- a) There are few partition walls inside the building because of its small footprint.
- b) The internal stair is enclosed by a rendered masonry wall, in excellent condition and presentation.



Photo 16 Typical interior view

3.2.10 Ceilings

- a) The building has no suspended ceiling. The soffit of the suspended slabs are rendered and painted and finished at the wall joint with a plaster molding.
- b) The ceilings are in excellent condition being recently repaired and repainted.



Photo 17 Typical internal ceiling arrangement

3.0 Building Condition

3.2.11 Floors

- a) The reinforced concrete floors have been repaired with the existing floor tiles left in place.



Photo 18 Existing floor finish

3.2.12 Staircase

- a) The internal staircase is quite narrow, and does not have landings.
- b) The treads are splayed to turn corners.
- c) There are structural intrusions to the stair void (see photo 19 below).

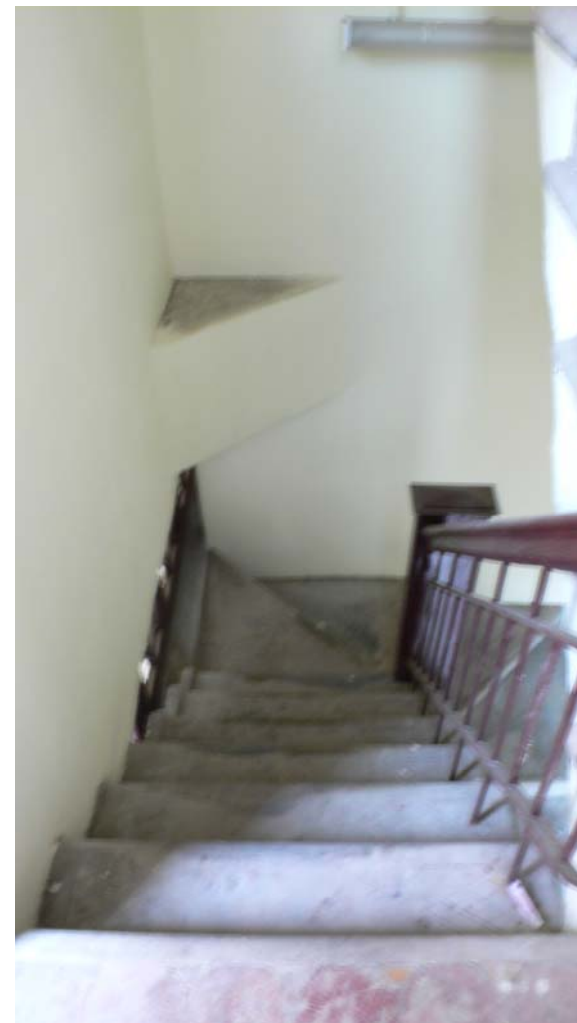


Photo 19 Existing internal stair

3.0 Building Condition

3.2.12 Fireplace.

- a) The original fireplace hearth is intact in a small area assumed to be the kitchen.

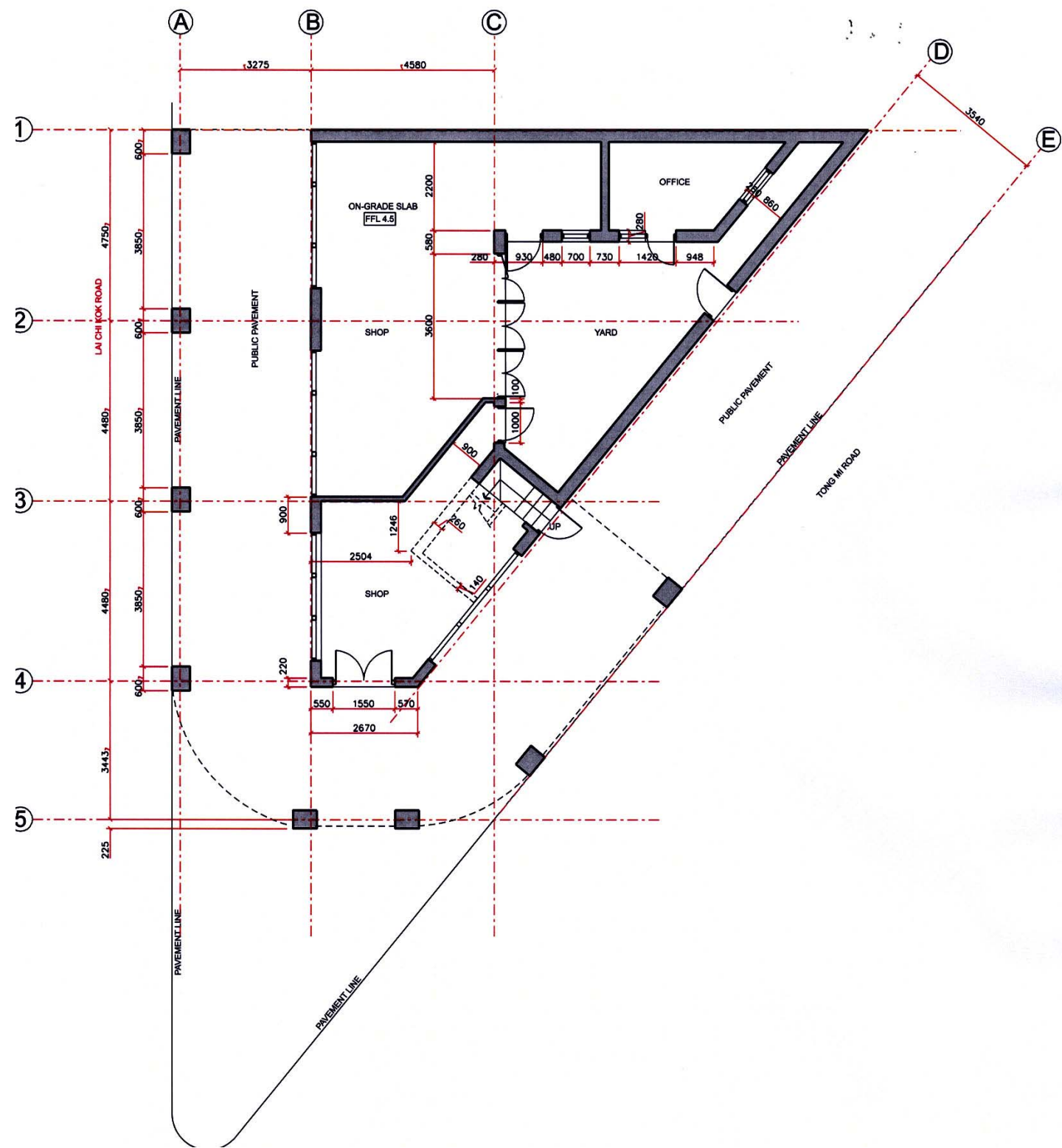


Photo 20 Existing fireplace

3.0 Building Condition

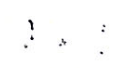
3.3 Existing Building Plans

3.3.1 Existing Ground Floor Plan



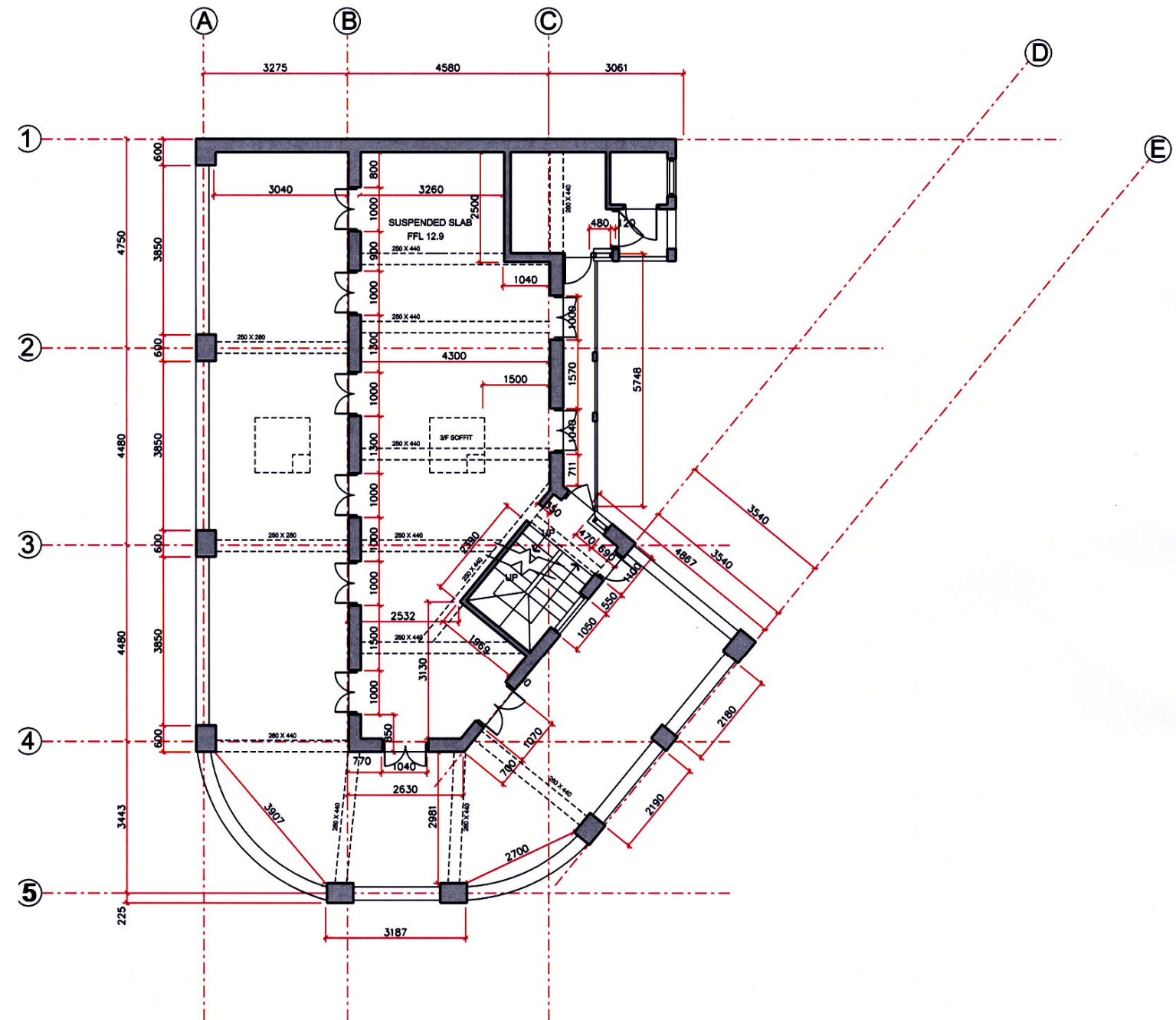
3.3.2 Existing First Floor Plan

1. 2.



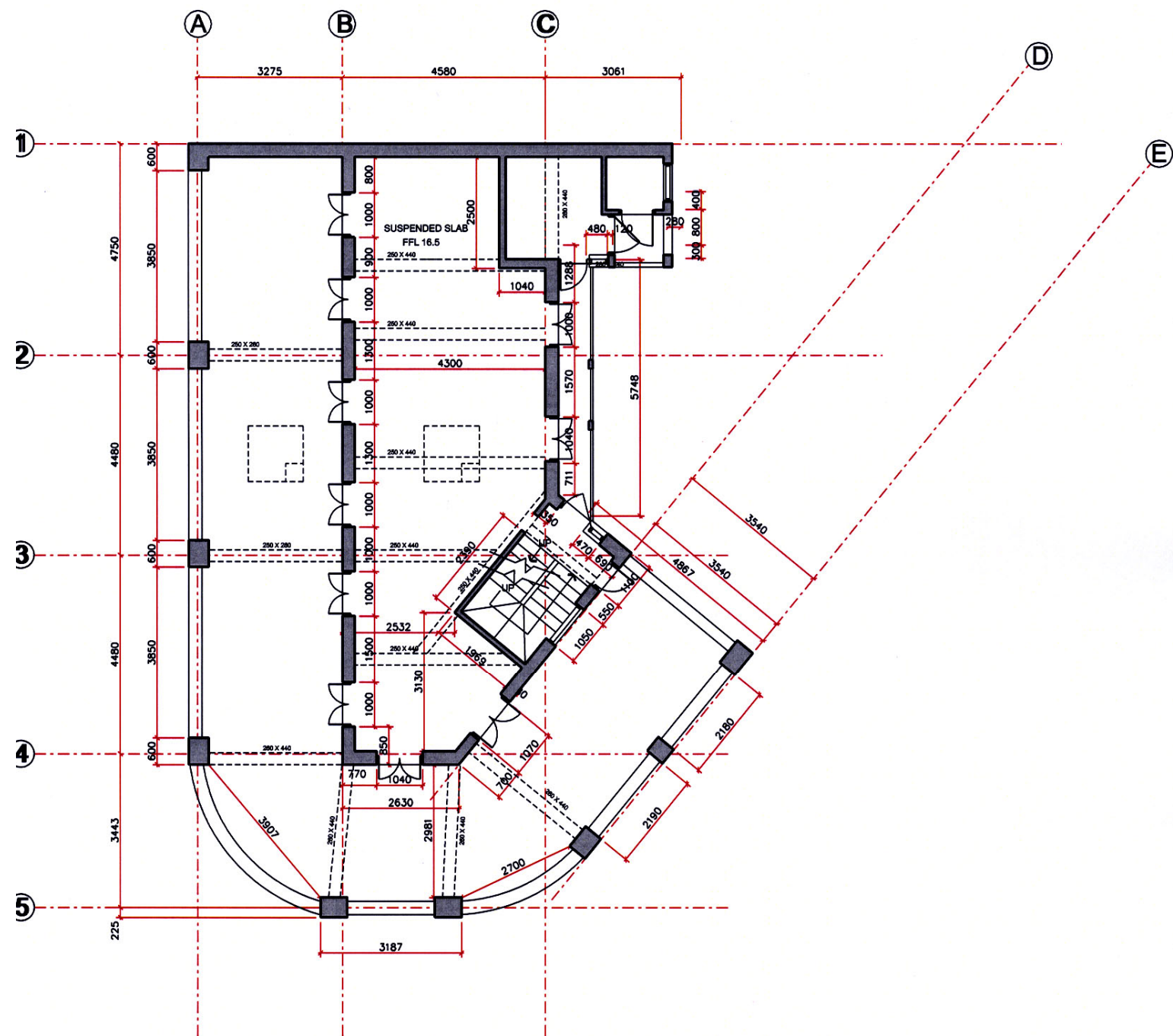
3.0 Building Condition

3.3.3 Existing Second Floor Plan



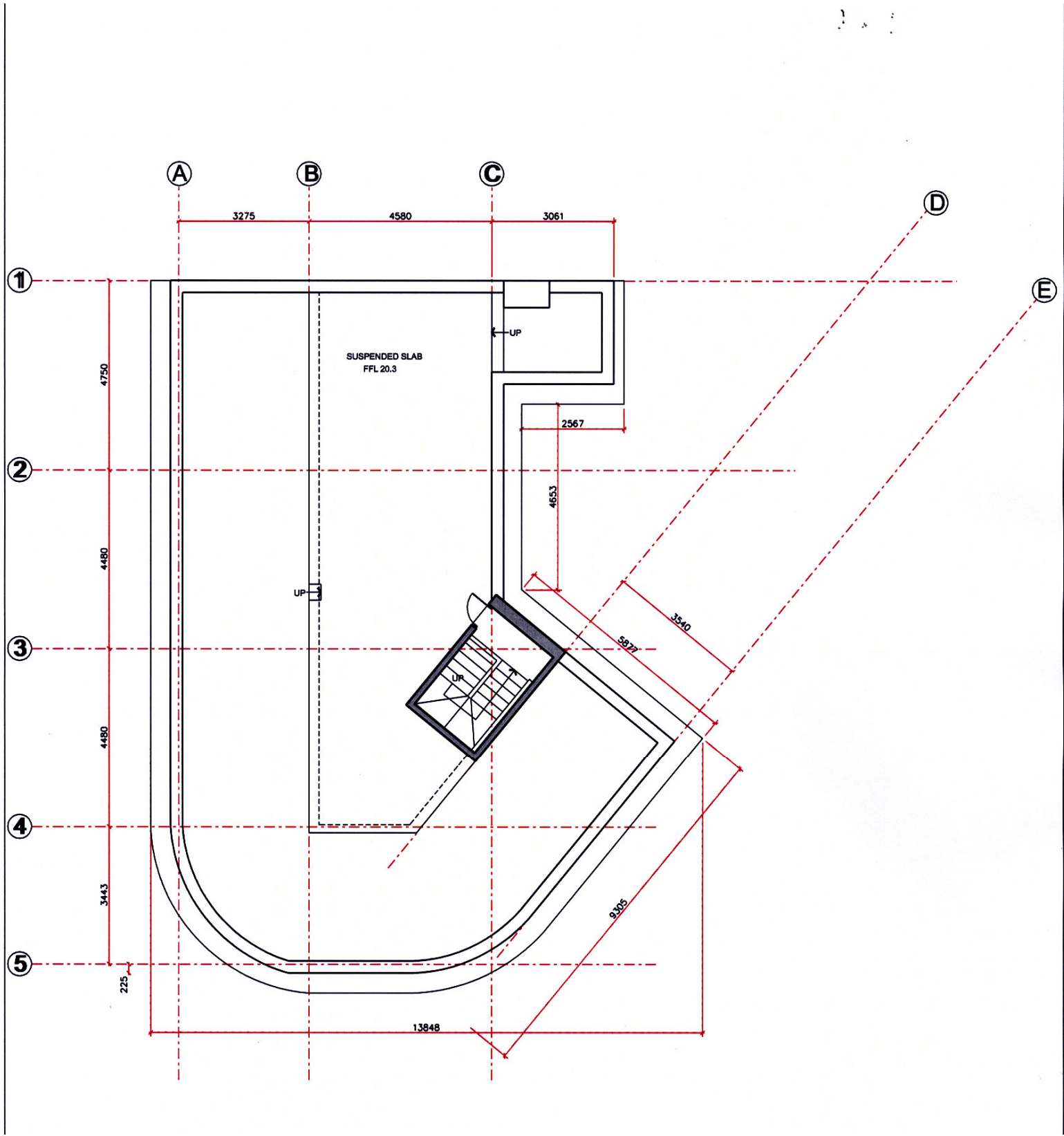
3.0 Building Condition

3.3.4 Existing Third Floor Plan



3.0 Building Condition

3.3.5 Existing Roof Plan

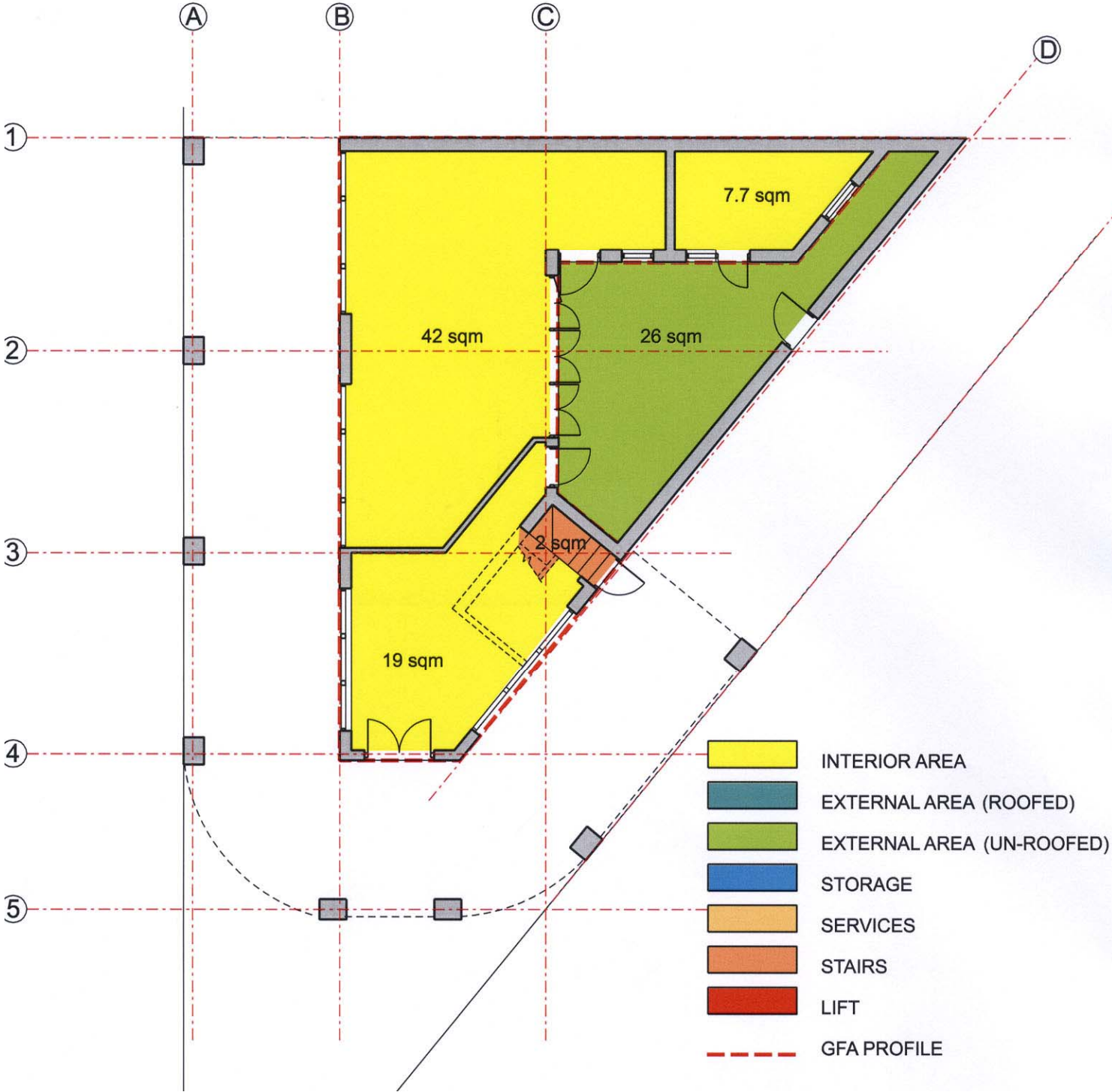


3.0 Building Condition

3.4 Existing Floor Plan Calculations

3.4.1 Ground Floor

Location	Area in sq.m
Ground Floor	
Internal Usable Area(excluding walls, courtyard and stairs)	68.7
Stair Area	2
Courtyard Area	26
GFA	84.7



3.0 Building Condition

3.4.2 First Floor

Location	Area in sq.m
First Floor	
Internal Usable Area(excluding walls, balconies, verandahs and stairs)	54.5
Stair Area	6
Courtyard Area (lower roof)	9
Covered Verandah / Balcony	85
GFA	171



3.0 Building Condition

3.4.3 Second Floor

Location	Area in sq.m
Second Floor	
Internal Usable Area (excluding walls, balconies, verandahs and stairs)	54.5
Stair Area	6
Courtyard Area (lower roof)	N/A
Covered Verandah / Balcony	85
GFA	171



3.0 Building Condition

3.4.4 Third Floor

Location	Area in sq.m
Third Floor	
Internal Usable Area (excluding walls balconies, verandahs and stairs)	54.5
Stair Area	6
Courtyard Area (lower roof)	N/A
Covered Verandah / Balcony	85
GFA	171

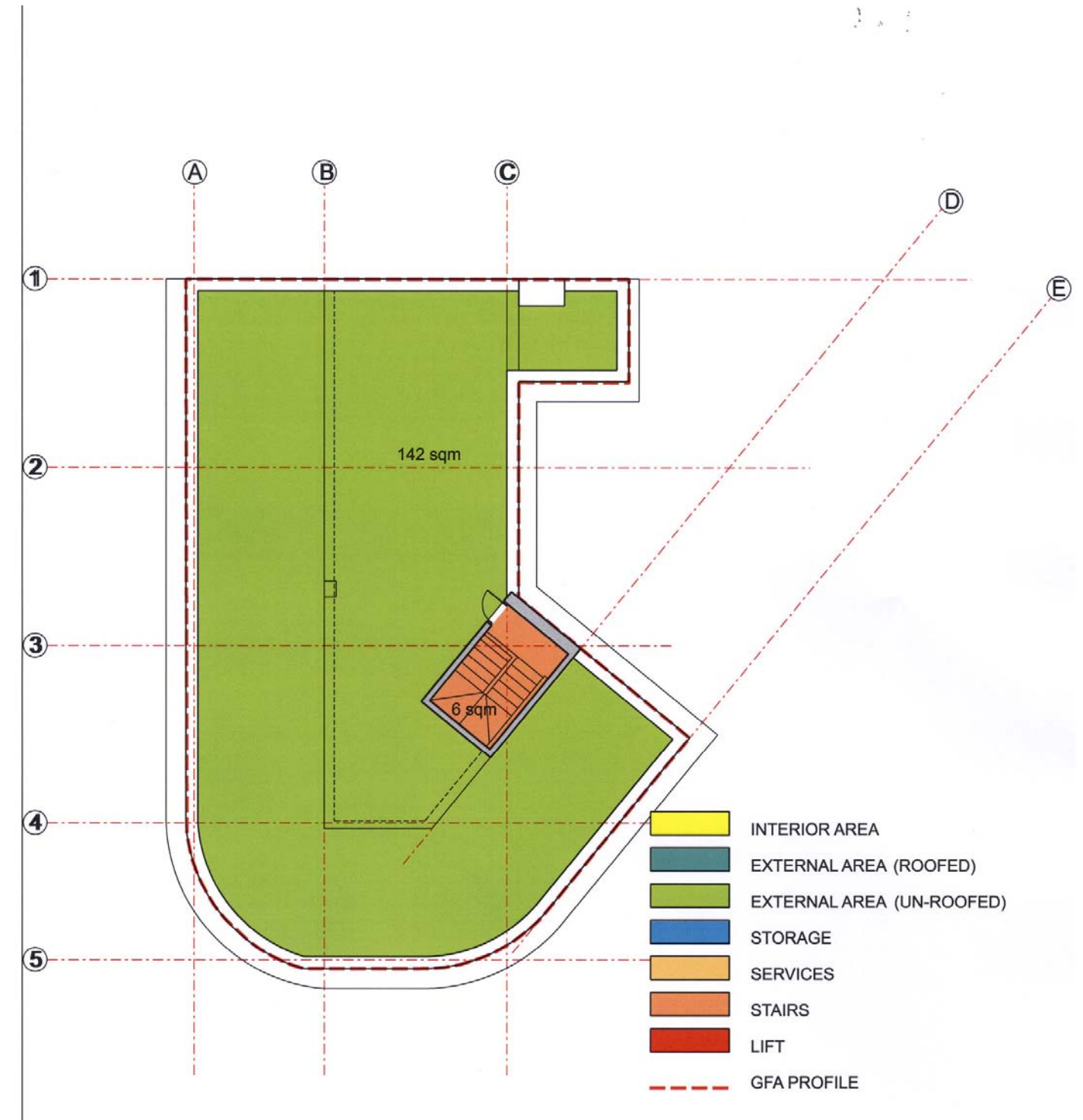


3.0 Building Condition

3.4.5 Roof.

Location	Area in sq.m
Roof	
Internal Usable Area	N/A
Stair Area	6
Courtyard Area (roof)	142
Covered Verandah / Balcony	N/A
GFA	N/A

Summary of Floor Areas and Heights		
Location	Usable Area in sq.m	Height Above Ground Level in m
Ground Floor	68.7	0.0
First Floor	54.5	4.8
Second Floor	54.5	8.4
Third Floor	54.5	12.0
Roof	N/A	15.6
Total Usable Area	232.2	--
Total GFA	597.7	--



4.0 Schematic Design

4.1 Design Objectives

The design objectives of three adaptive re-use options are divided into three main aspects:

A Physical Aspect

B Social Aspect

C Economic Aspect

4.1.1 Design Assumptions.

4.1.1.1 Assume the building is prescriptive regarding statutory regulations not requiring a specific fire engineering plan for its commercial use. It is assumed, however, an approved fire plan relating to public access to the building is required for all options. This could be achieved by way of the management of the building, allowing access to the maximum upper floor population complying with a single stair installation.

4.1.1.2 Assume the building has a sprinkler system installed due to the heritage value of the building.

4.1.1.3 Assume the building has a single escape stair (beside the existing non-compliant staircase) to maximise floor space and reduce intervention works.

4.1.1.4 Assume minimal toilet facilities are provided to reduce intervention works.

4.1.1.5 Assume handicap access is provided, but not necessarily full wheel chair access if interventions are too great. An adult pram could be provided to address this issue and protect the buildings integrity.

4.1.1.6 With reference to item 4.1.1.1 it is acknowledged a fire engineering approach is possible on a specific building use, but this requires a special fire engineering consultant and a very detailed study on mitigating issues and fire loading

specific to the building use, which is out of the project scope of this study.

A Physical Aspect	
Objective #1	Conservation: Retention of historical, architectural, and cultural values
Objective #2	Building Standards: Upgrade to meet current statutory standards
Objective #3	Appropriate restoration of a Grade 1 building
B Social Aspect	
Objective #1	Enhance the pride, identity and strengths of the local community
Objective #2	Demonstrate how the private sector and government can co-operate for the good of the community
Objective #3	Put an unused building in a prominent position to use, so creating a positive presentation to the streetscape
C Economic Aspect	
Objective #1	Achieve economic activity in the local community
Objective #2	Achieve a financially sustainable project
Objective #3	Determine a disposal method which protects the building and the government legally and commercially

4.0 Schematic Design

4.2 Design Brief

The design objectives and assumptions identified in 4.1 Design Objectives are to be addressed using the following design requirements:

Size and Layout

- maximise the usable area of the existing building.
- use single escape stair requirements (besides the existing non-compliant staircase).

Historical and Architectural Integrity

- proposed works should not adversely affect the historical structure, fabric and composition of the building.
- proposed works should be reversible if possible

Conservation Requirements

- proposed works should address appropriate restoration works required for the final presentation of this Grade 1 building.
- access to all floors of the building for the general public is required.

Existing Building Condition

- the proposed works shall take into account any works needed to enhance the condition of the existing building to make it functionally suitable for its proposed adaptive re-use.

Compliance with Building and Fire Services Requirements

- the proposed scope of work should make the building compliant with a wide range of uses as possible for its adaptive re-use.

Main Statutory Requirements to Enable Use of One Escape Stair
1. The building cannot exceed six stories high
The study building is four stories high (including Ground Floor)
2. The Upper floor level cannot exceed 17m high
3/F is 12m high and roof (if used) is 15.6m high
3. Domestic or office use only for upper floors, ground can be shop or car park.
Noted
4. With the highest floor not more than 13m high, usable area of any floor above G/F shall not exceed 250 sq. m.
Maximum usable floor area is 134 sq. m. (Arrangement 02, First Floor,)
5. Where the capacity of a upper storey does not exceed 30 persons, one 750mm wide door required
Noted
6. Where the capacity of a upper storey does not exceed 30 persons, one 1050mm wide corridor required
Noted
Main Statutory Requirements for Fire Service Installations and Equipment
7. Commercial Low Rise – Sprinkler system required for any one single occupancy floor exceeding 2000 sq.m
Not required but considered appropriate to protect the graded building and support any fire plan proposal.

4.0 Schematic Design

4.3 Adaptive Reuse Building Arrangement Options

4.3.1 Arrangement 01 (Adaptive use 3, page 19)

Proposed use: G/F: Traditional Medicine Retail Outlet
 1/F: Display Area
 2/F: Office
 3/F: Meeting Room

4.3.1.1 Ground Floor Arrangement – Traditional Medicine Retail Outlet

- Allowable retail use for ground floor, single escape stair (besides the existing non-compliant staircase).
- Lift located remote from elevation to lessen visual impact on external elevation.
- Internal escape stair location enables ground floor façade to be largely unchanged.
- Medicine related historical artifacts could be included as part of interior decoration.
- Public access possible to this level.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	38	Retail use allows 3 sq. m per person – 12 persons
Courtyard Area (light green)	24	Retail use allows 3 sq. m per person – 8 persons
Male Toilet (1xWC, 1xHB)	1.7	Standard provision for 25 persons
Female / Disabled Toilet (1xWC, 1xHB)	3	Standard provision for 25 persons
New Escape Stair (brown)	4.2	Excluding service area
Existing Stair (brown)	2	Non-compliant
Passenger Lift (red)	2.2	1500mm x1500mm lift
Store (blue)	13	
Service (light brown)	6.7	



4.0 Schematic Design

4.3.1.2 First Floor Arrangement - Office.

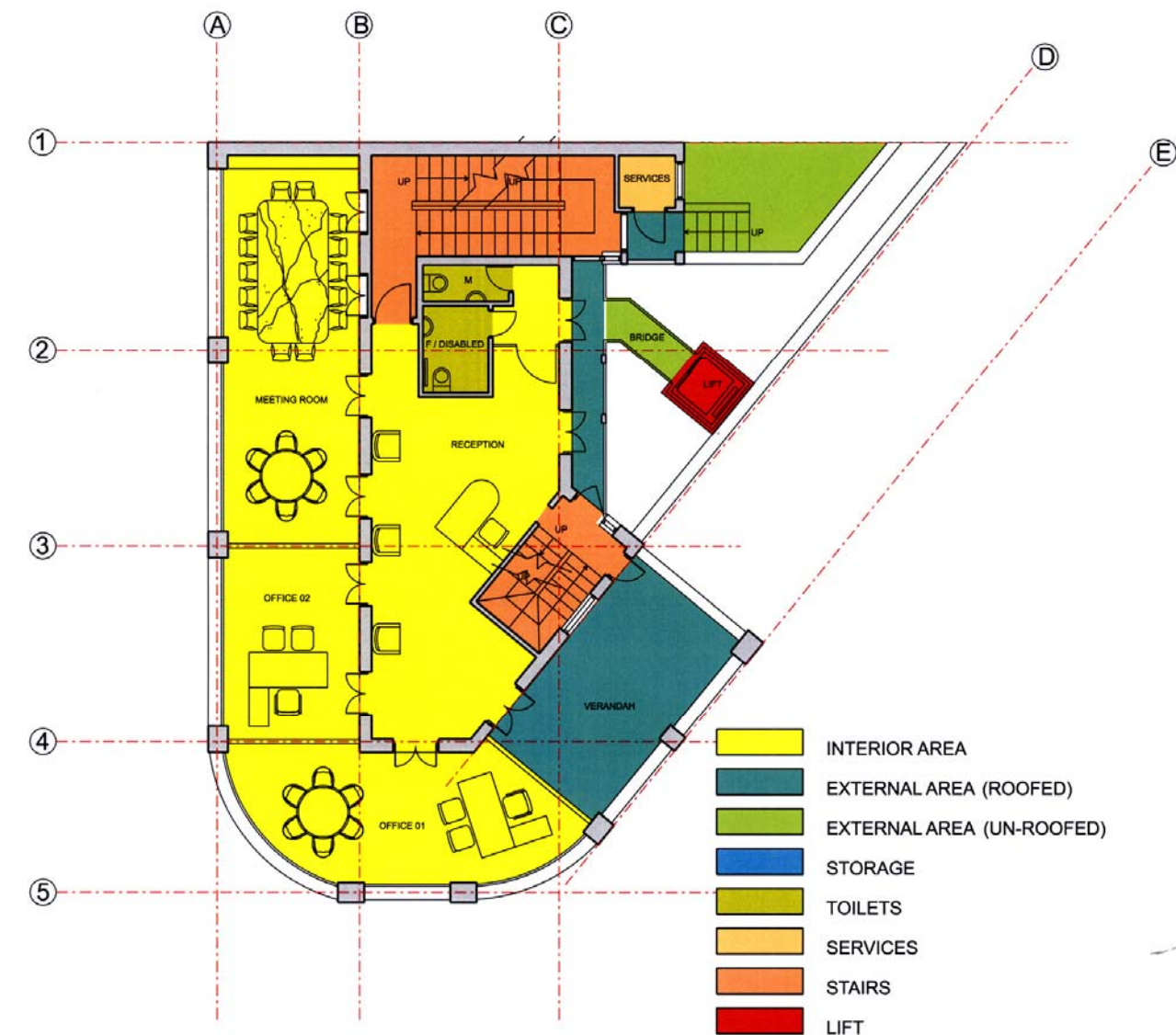
- Lift located remote from elevation with lightweight bridge connection. Bridge aligns with existing double doors and existing balcony balustrade modified to allow access.
- Internal escape stair location enables first floor external façade to be unchanged.
- Internal toilets added.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation (see Photo 21 this page).
- Medicine related historical artifacts could be included as part of interior decoration to the reception area.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	98	Commercial use allows 9 sq. m per person – 10 persons
External Verandah (dark green)	17	Not used
External Balcony (dark green)	4.2	Not used
Open Roof Top (light green)	9	Not used
Male Toilet (1xWC, 1xHB)	1.7	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	3	Standard provision for 25 persons
New Escape Stair (brown)	14	Capacity 4-30 persons
Existing Stair (brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm

Passenger Lift Bridge (light green)	2.3	1200mm wide, uncovered
Services	1.4	



Photo 21 Glass infill to the first story balcony the Institute de Culture, Macau



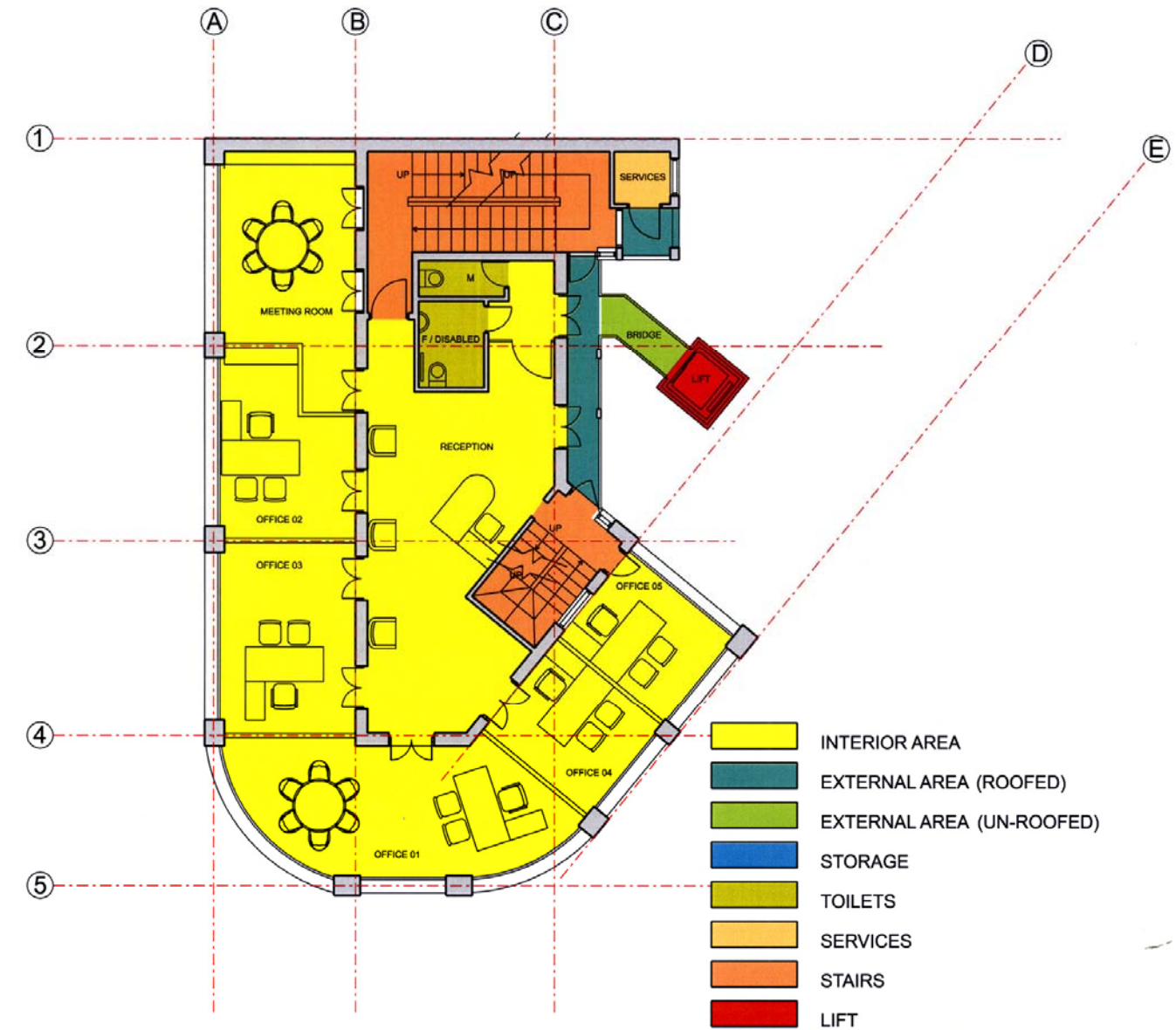
4.0 Schematic Design

4.3.1.3 Second Floor Arrangement – Office.

- Domestic or office only allowable use with single escape stair.
- Lift located remote from elevation with lightweight bridge connection. Bridge aligns with existing double doors and existing balcony balustrade modified to allow access.
- Internal escape stair location enables second floor façade to be unchanged.
- Internal toilets added.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation (see Photo 21page 44).
- Medicine related historical artifacts could be included as part of interior decoration to the reception area.
- Assessment of accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	115	Commercial use allows 9 sq. m per person – 12 persons
External Balcony (dark green)	4.2	Not used
Male Toilet (1xWC, 1xHB)	1.7	Standard provision for 25 persons
Female / Disabled Toilet (1xWC, 1xHB)	3	Standard provision for 25 persons
New Escape Stair (brown)	14	Capacity 4-30 persons
Existing Stair (brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm

Passenger Lift Bridge (light green)	2.3	1200mm wide, uncovered
Services (brown)	1.4	



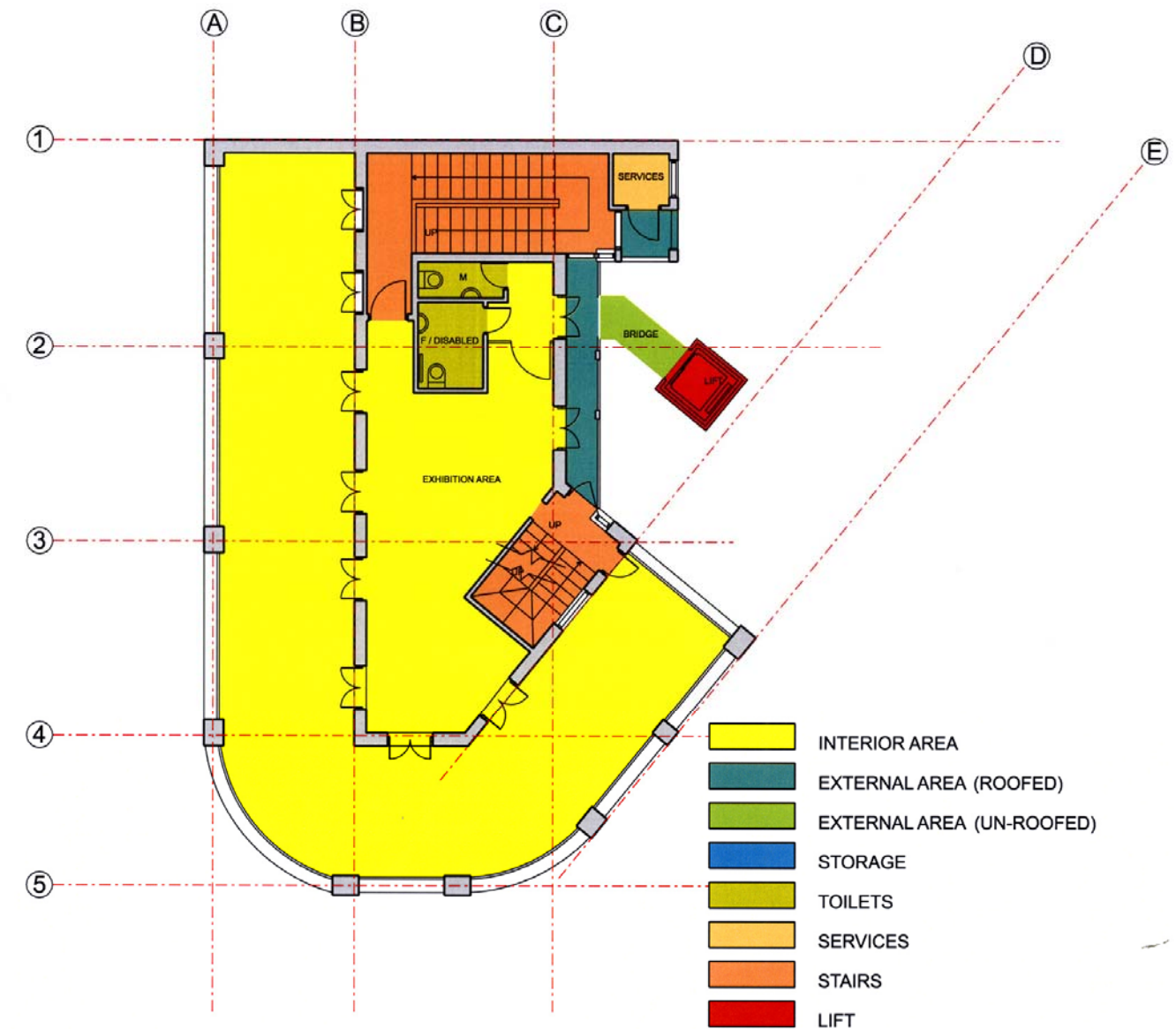
4.0 Schematic Design

4.3.1.4 Third Floor Arrangement – Exhibition Area

- Domestic or office only allowable use with single escape stair.
- Lift located remote from elevation with lightweight bridge connection. Bridge aligns with existing double doors and existing balcony balustrade modified to allow access.
- Internal escape stair location enables third floor façade to be unchanged.
- Internal toilets added.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation (see Photo 21 page 44).
- Permanent medicine related historical artifacts could be included as part of interior decoration to the exhibition area. We believe if this area is accessed by appointment only, with a management system controlling the population, this type of use will be allowed.
- Assessment of accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	115	Commercial use allows 9 sq. m per person – 12 persons
External Balcony (dark green)	4.2	Not used
Male Toilet (1xWC, 1xHB)	1.7	Standard provision for 25 persons
Female / Disabled Toilet (1xWC, 1xHB)	3	Standard provision for 25 persons
New Escape Stair (brown)	14	Capacity 4-30 persons
Existing Stair (brown)	6	Non-compliant escape

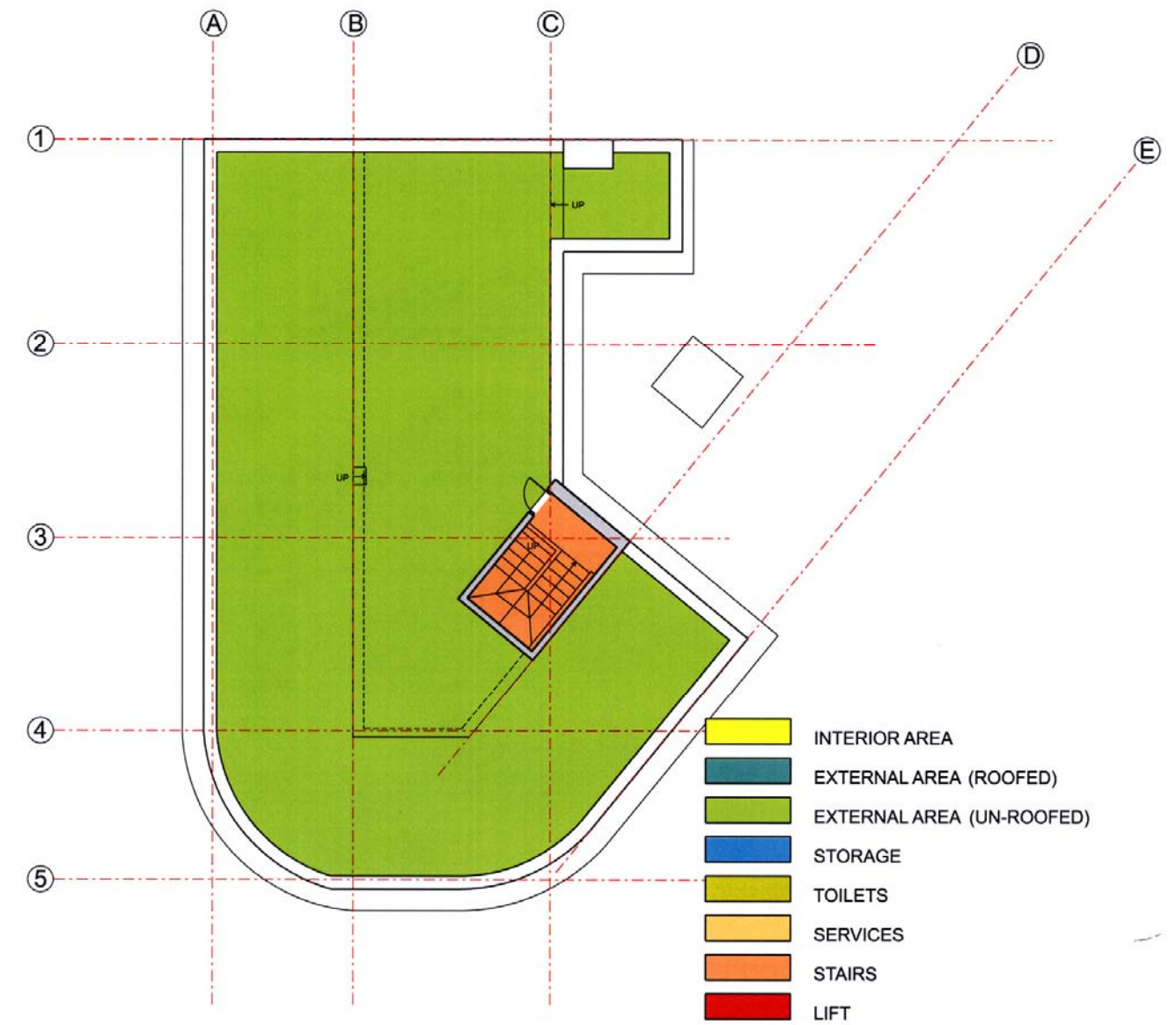
Passenger Lift	2.2	1500mm x 1500mm lift
Passenger Lift Bridge	2.3	1200mm wide, uncovered
Service	1.4	



4.0 Schematic Design

4.3.1.5 Roof Arrangement.

- a) The roof is not used in this option due to cost and intervention on external presentation



4.0 Schematic Design

4.3.1.6 Arrangement 01 Scope of Work.

- a) Remove existing concrete slab and masonry walls between Grids B and C and Grids 1 and 1.5 to the 1/F, 2/F, 3/F to enable installation of 2hr fire rated concrete escape stair from 3/F level to ground floor level, inclusive of emergency lighting and fire doors.
- b) Install electric passenger lift independent of existing building.
- c) Remove part of existing balustrade to enable elevator bridge connection at 1/F, 2/F and 3/F.
- d) Remove existing partial timber sub floor from ground floor.
- e) Install two toilets (1xWC, 1xhand basin) to GF/1/F, 2/F and 3/F, with all associated plumbing and drainage. Female toilet to comply with disabled access requirements.
- f) Install fire sprinkler system, smoke detectors and exit lights to all slab soffits.
- g) Reinforce existing concrete slabs to 1/F, 2/F and 3/F as code requires.
- h) Fit new shop fronts to the existing ground floor openings, Grid A, in a manner compatible with the building and to the approval of the AMO (based on generic glazed shop front generally applicable for street frontage display).
- i) Install new floor tiles to the ground floor courtyard.
- j) Repair and clean the existing tiled floor finishes to the G/F, 1/F, 2/F, and 3/F.
- k) Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 1/F, 2/F and 3/F. Part of 1/F verandah to be retained as original open verandah. Note curved glass is required to two openings.
- l) Replace 80% of the existing external doors and replace with new doors which match the remaining 20% in every respect, at 1/F, 2/F and 3/F. The actual doors to be replaced will be determined on site (heritage related work).
- m) Install new flagpole to roof to match existing (based on photograph and measurement).
- n) Rewire building and install new transformer.
- o) Install reverse cycle air conditioning to G/F, 1/F, 2/F and 3/F. Allow for architectural finish to ducts as the system is exposed.
- p) Install 900mm high service counter, 2000mm high display shelves and 600mm diameter, 700mm high display tables to G/F.
- q) Install 3000mm high glass partitions between offices as per plan at 1/F and 2/F.
- r) Install glass partition wall with 900mm glass door between toilet lobby and reception 1/F and 2/F, and toilet lobby and exhibition area 3/F.
- s) Provide good quality tables and chairs as shown to 1/F and 2/F.

4.0 Schematic Design

4.3.1.7 Arrangement 01 Indicative Cost

Item	Description	Amount HK\$
1	Construction of an additional staircase including:	
	(i) Remove existing concrete slab between Grids B and C and Grids 1 and 1.5 to the 1/F, 2/F, and 3/F.	60,000
	(ii) Install 2hr fire rated concrete escape stair from 3/F level to ground floor level.	190,000
2	Install electric passenger lift and metal framed bridge connecting to 1/F, 2/F and 3/F	1,300,000
3	Remove existing partial timber floor to ground floor and make good to existing floor tiles.	30,000
4	Install self contained male toilet (1xWC, 1xHB) and female toilet (1xWC, 1xHB) to 1/F, 2/F and 3/F	250,000
5	Structural strengthening 1/F to 3/F	200,000
6	New shop front to G/F	120,000
7	Install new floor tiles to G/F courtyard	20,000
8	Repair and clean existing floor tiles G/F to 3/F	70,000
9	3000mm high glass partition walls between offices as per plan 1/F and 2/F	160,000
10	Full height glass wall between toilet foyer and reception area 3/F	20,000
11	Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 1/F, 2/F and 3/F. Note curved glass is required to two opening	700,000
12	Fixtures and fittings, including service counters and bookcases	300,000
13	Sundry new or modification to existing internal doors	100,000
14	New roof flagpole to match previous (base on photographic information and measurement)	50,000
15	Estimate of works referenced in Appendix A – CDEs and Recommended Conservation Action	180,000
16	Rewire building and install new transformer	750,000
17	MVAC installation (item o in scope of work)	300,000
18	Install fire sprinkler system to all ceiling soffits	640,000
19	Alteration to existing plumbing and drainage	50,000
		5,490,000
20	Preliminaries (say 20%)	1,098,000
	Sub-total	6,588,000

4.0 Schematic Design

Item	Description	Amount HK\$
	Sub-total (carried over from previous page)	6,588,000
22	Contract Contingencies (10%)	660,000
23	Project Contingencies (10%)	660,000
	Total Estimated Construction Cost (as at September, 2006)	7,908,000
24	Consultants Fee (Say 15%)	1,186,000
25	Furniture and Equipment	1,000,000
26	Sundry Tenant's fit out costs	800,000
27	Total Estimated Development Cost (as at September, 2006)	10,894,000
	Exclusions: 1) Land or rental cost 2) Finance cost 3) Inflation after Sep'2006	

4.0 Schematic Design

4.3.1.8 Arrangement 01 Evaluation

Design Brief Evaluation	
Objective #1	Maximise the usable area of the existing building
	The lift is located externally to maximise the usable area inside the building.
Objective #2	Proposed works should not adversely affect the historical fabric and composition of the building
	Access from the external lift is by way of existing doors. Proposed changes to external façade limited to some balustrade modifications (lift bridge access).
Objective #3	Proposed works should address appropriate restoration works required for the final presentation of this Grade 1 building
	With the exception of the first to ground level escape stair, the arrangement allows for reversible installations. However, careful detailing of new openings in the façade to accommodate the elevator bridge is required.
Objective #4	The proposed works shall take into account any works needed to enhance the condition of the existing building to make it functionally suitable for its proposed adaptive re-use
	The scope of work includes the installation of a fire sprinkler system, escape stairs and toilet facilities.
Objective #5	The proposed scope of work should make the building compliant with a wide range of uses as possible for its adaptive re-use.
	This arrangement meets most of the statutory requirements for re-use. However toilet and food preparation facilities would be required to a varying degree dependent on use.

Indicative Implementation Program	
Task	Duration
Tenant Submits Draft Renovation Proposal	4 weeks
Government Comments on Proposal	4 weeks
Tenant Submits Final Proposal	4 weeks
Government Approves Proposal	4 weeks
Tenant Carries Out Site Validation	3 weeks
Tenant Submits Preliminary Design	2 weeks
Government Comments on Preliminary Design	2 weeks
Tenant Submits Final Design	2 weeks
Government Approves Statutory Compliance	3 weeks
Design Issued for Tender	3 weeks
Tender Review	2 weeks
Tender Award	1 week
Site Commencement	20 weeks
Inspection of Works	2 weeks
Works Rectification	3 weeks
Total Completion of Contract	59 weeks

4.0 Schematic Design

Passenger Lift (red)	2.2	1500mm x 1500mm

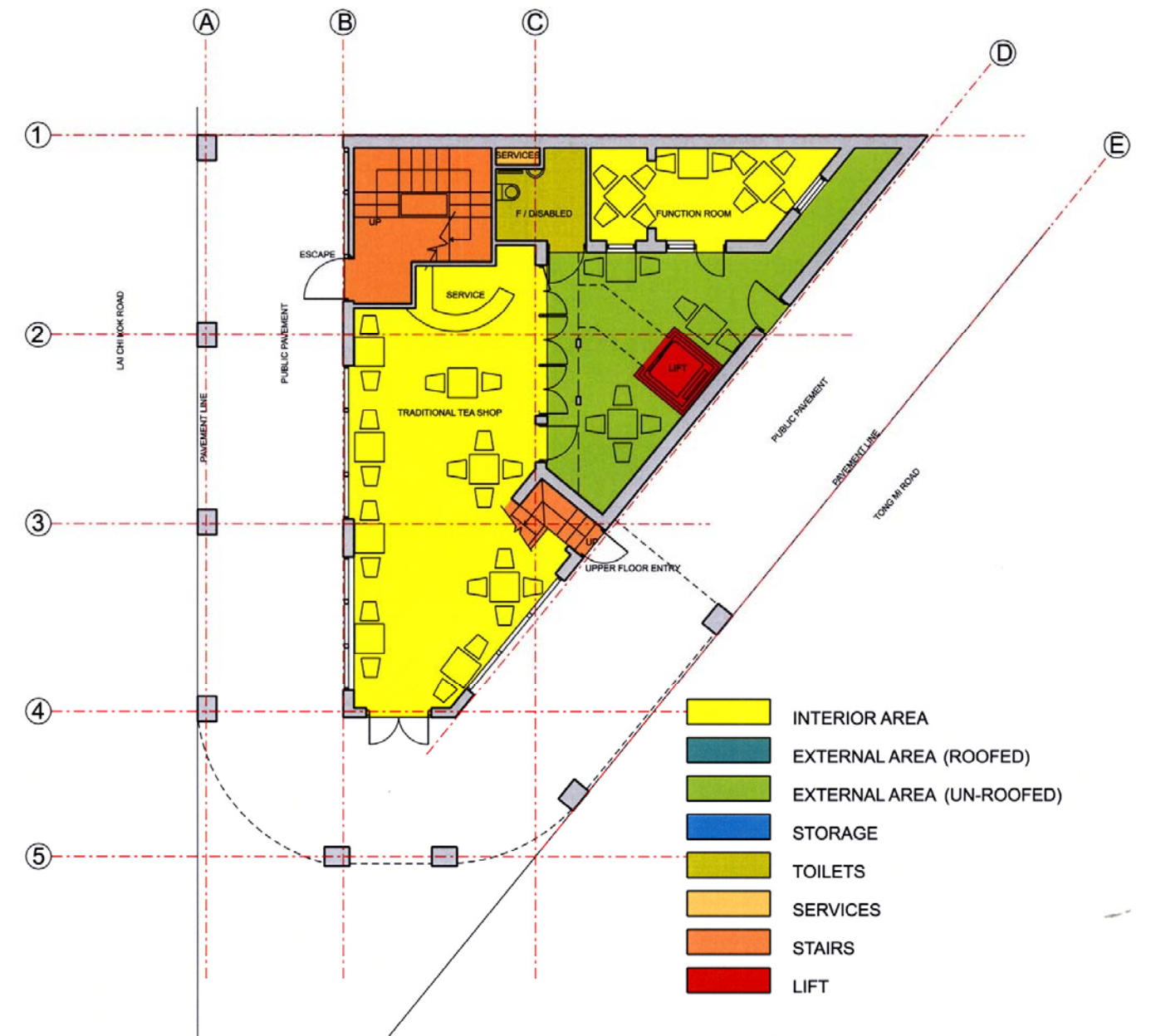
4.3.2 Arrangement 02 (Adaptive use 1, page 17)

Proposed use: G/F: Traditional Tea Shop Outlet
 1/F: Tea Display Area (by appointment only)
 2/F: Office
 3/F: Conference Room

4.3.2.1 Ground Floor Arrangement – Traditional Tea Shop Outlet

- Allowable use for ground floor with a single escape stair.
- Lift located remote from elevation to lessen visual impact on external elevation.
- Internal escape stair location enables ground floor façade to be largely unchanged.
- Historical artifacts could be included as part of interior decoration.
- Public access at this level possible.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	54	Retail use allows 3 sq. m per person – 18 persons
Courtyard Area (green)	24	Retail use allows 3 sq. m per person – 8 persons
Female / Disabled Toilet (1xWC, 1xHB)	4.4	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Excluding service area
Existing Stair (dark brown)	2	Below head room measured



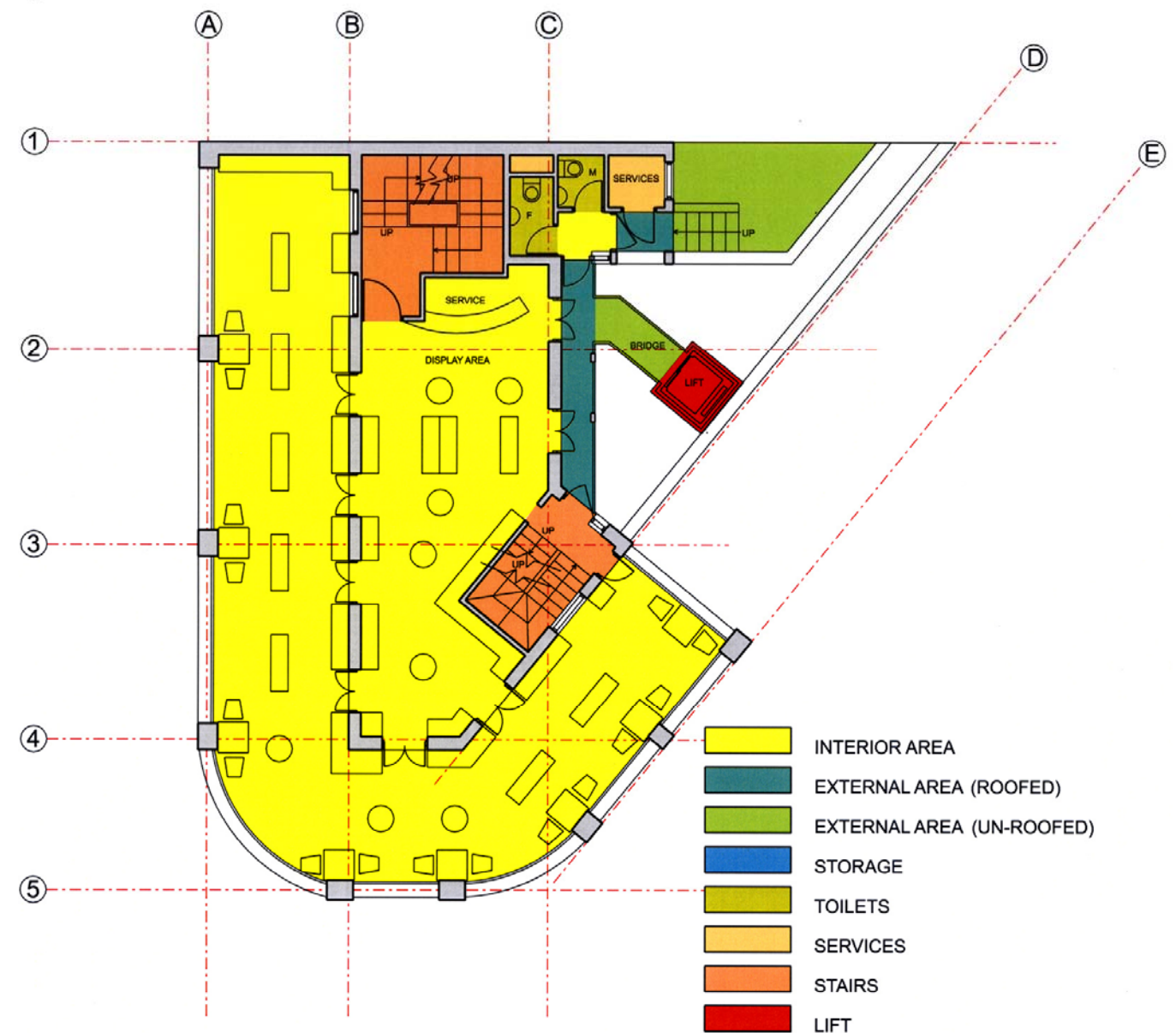
4.0 Schematic Design

4.3.2.2 First floor Arrangement – Tea Display Area (by appointment only).

- Lift located remote from elevation to lessen visual impact on external elevation.
- Bridge installed from balcony to align with existing double doors. Existing balustrade modified to accommodate Lift Bridge.
- Internal escape stair location enables first floor façade to be unchanged.
- Internal toilets fitted to existing rooms.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation (Photo 21 page 44).
- Historical artifacts could be included as part of interior decoration to the reception area allowing public access outside trading hours with the display area locked. Accessed by appointment only, with a management system controlling the population, this type of use will be allowed.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	120	Commercial use allows 9 sq. m per person – 13 persons
External Balcony (dark green)	4.2	Not used
Open Roof Top (light green)	9	Not used
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (brown)	10	Capacity 4-30 persons
Existing Stair (brown)	6	Non-compliant escape

Passenger Lift (red)	2.2	1500mm x 1500mm lift
Passenger lift Bridge (light green)	2.3	1200mm wide, uncovered
Service (brown)	1.4	



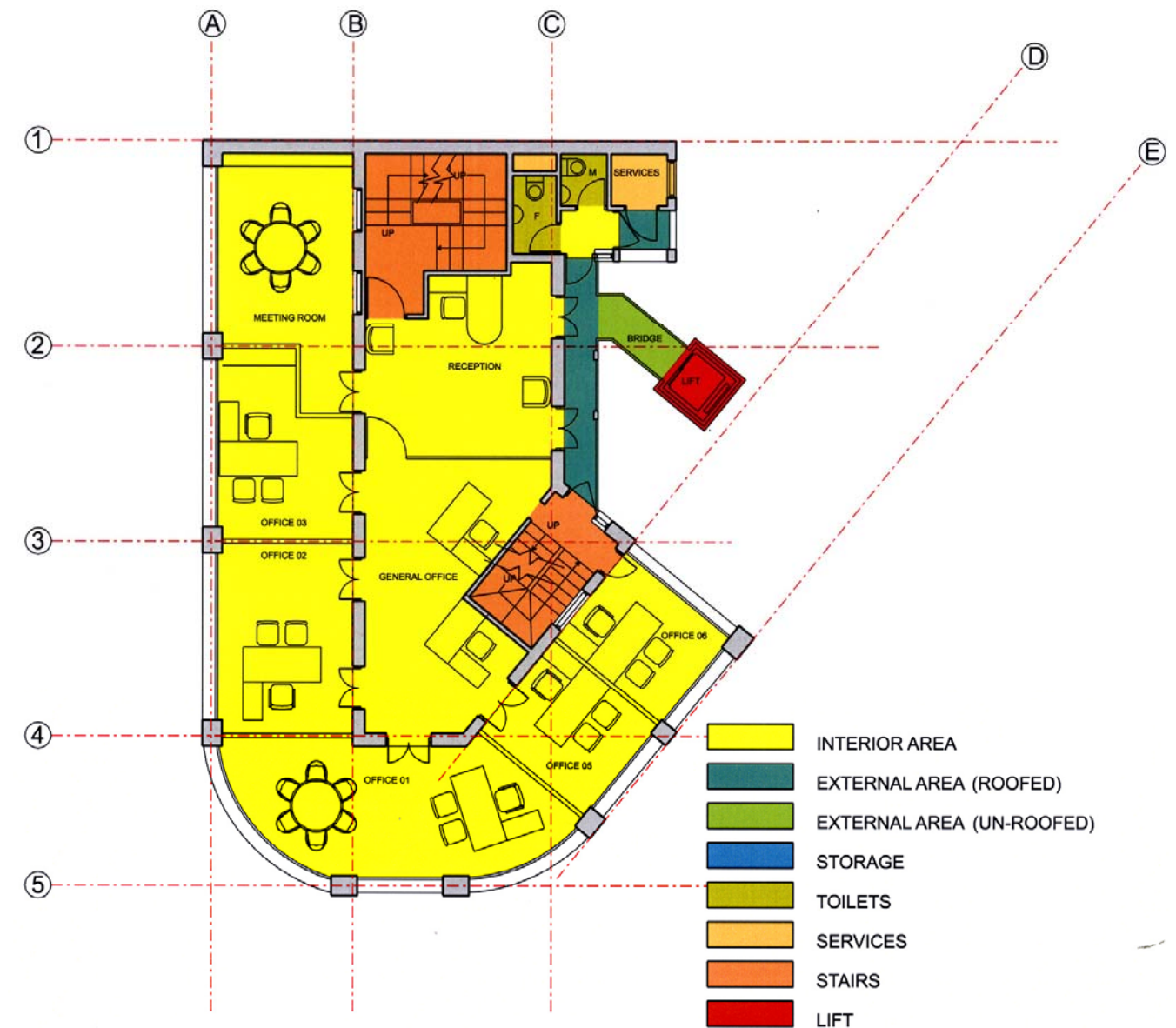
4.0 Schematic Design

4.3.2.3 Second Floor Arrangement – Office

- Lift located remote from elevation to lessen visual impact on external elevation.
- Bridge installed from balcony to align with existing double doors. Existing balustrade modified to accommodate Lift Bridge.
- Internal escape stair location enables second floor façade to be unchanged.
- Internal toilets fitted to existing rooms.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation.
- Historical artifacts could be included as part of interior decoration to the reception area allowing public access outside trading hours with the offices locked.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	120	Commercial use allows 9 sq. m per person – 13 persons
External Balcony (dark green)	4.2	Not used
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (brown)	10	Capacity 4-30 persons
Existing Stair (brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm lift
Passenger Lift Bridge (light green)	2.3	1200mm wide, uncovered

Service Area (brown)	1.4	
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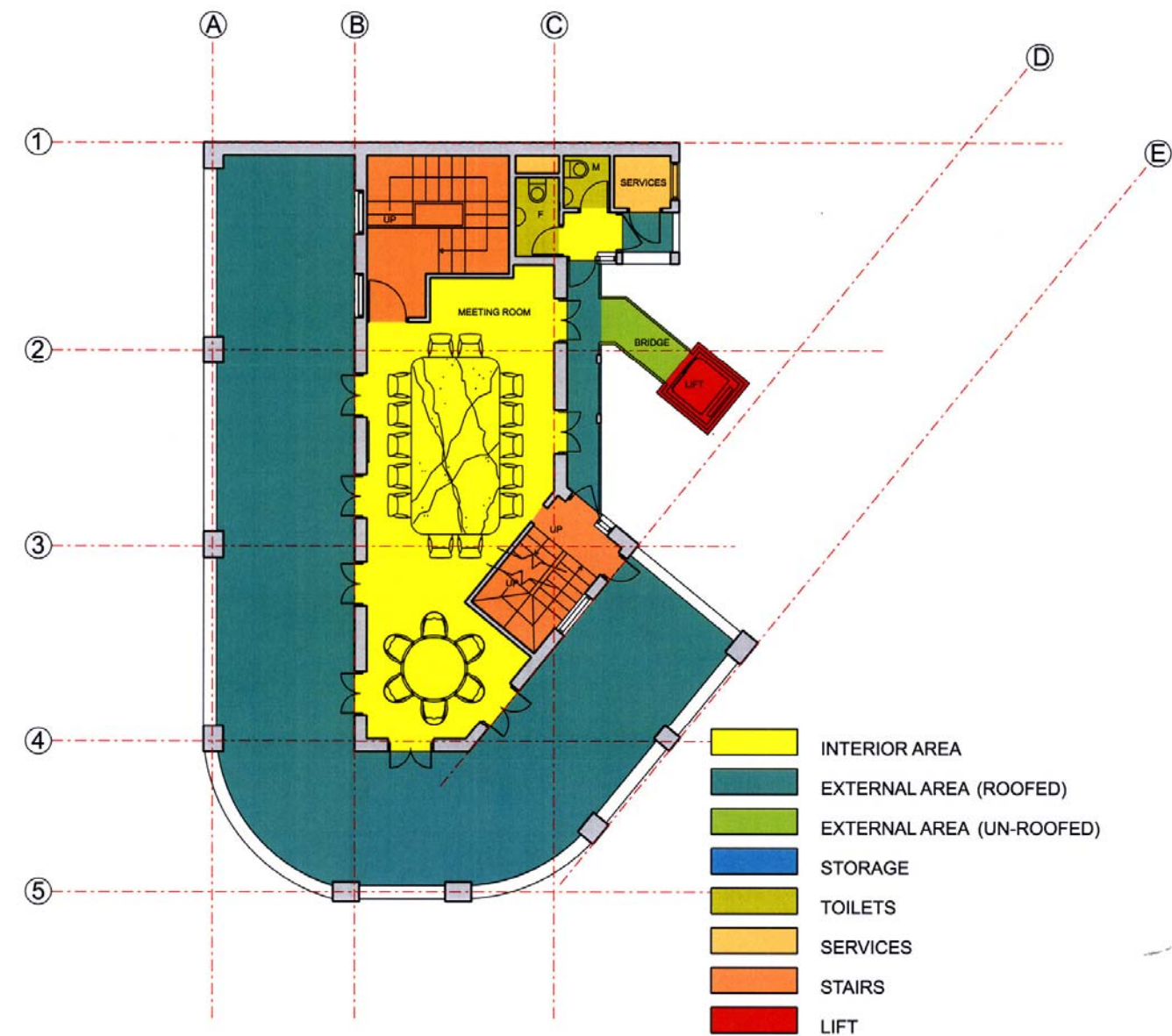
4.0 Schematic Design

Service (light brown)	1.4	
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4.3.2.4 Third Floor Arrangement – Conference Room

- External lift located remote from elevation to lessen visual impact on external elevation.
- Bridge installed from lift to align with existing double doors. Existing balustrade modified to accommodate Lift Bridge.
- Internal escape stair location enables third floor façade to be unchanged.
- Internal toilets installed in existing room arrangement.
- Existing verandah remains open with no modification.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	37	Commercial use allows 9 sq. m per person – 4 persons
External Balcony (dark green)	4.2	Not used
External Verandah (dark green area)	80	Commercial use allows 9 sq. m per person – 8 persons
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Capacity 4-30 persons
Existing Stair (dark brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm lift
Passenger Lift Bridge (light green)	2.3	1200mm wide, uncovered



4.0 Schematic Design

4.3.2.5 Roof Arrangement

- a) The roof is not used in this option due to cost and intervention on external presentation.



4.0 Schematic Design

4.3.2.6 Arrangement 02 – Scope of Work

- a) Remove existing concrete slab and masonry walls between Grids B and C and Grids 1 and 1.5 to the 1/F, 2/F, 3/F to enable installation of 2hr fire rated concrete escape stair from 3/F level to ground floor level, inclusive of emergency lighting and fire doors.
- b) Install electric passenger lift independent of existing building
- c) Remove part of existing balustrade to enable elevator bridge connection at 1/F, 2/F and 3/F.
- d) Remove existing partial timber sub floor from ground floor.
- e) Install two toilets (1xWC, 1xhand basin) to 1/F, 2/F and 3/F and one toilet (1xWC, 1xhand basin) to G/F with all associated plumbing and drainage.
- f) Install fire sprinkler system, smoke detectors and exit lights to all slab soffits.
- g) Reinforce existing concrete slabs to 1/F, 2/F and 3/F as code requires.
- h) Fit new shop fronts to the existing ground floor openings, Grid A, in a manner compatible with the building and to the approval of the AMO (based on generic glazed shop front generally applicable for street frontage display).
- i) Install new floor tiles to the ground floor courtyard.
- j) Repair and clean the existing tiled floor finishes to the G/F, 1/F, 2/F, and 3/F.
- k) Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 1/F and 2/F. Note curved glass is required to two openings.
- l) Replace 80% of the existing external doors and replace with new doors which match the remaining 20% in every respect, at 1/F, 2/F

and 3/F. The actual doors to be replaced will be determined on site (heritage related work).

- m) Install new flagpole to roof to match existing (based on photograph)
- n) Rewire building and install new transformer.
- o) Install reverse cycle air conditioning to G/F, 1/F, 2/F and 3/F. Allow for architectural finish to ducts as the system is exposed.
- p) Install 900mm high service counter to GF.
- q) Install 2000mm high display shelves and 600mm dia 700mm high display tables to 1/F.
- r) Install 3000mm high glass partitions between offices as per plan at 2/F.
- s) Provide good quality tables and chairs as shown to all floors.

4.0 Schematic Design

4.3.2.7 Arrangement 02 Indicative Cost

Item	Description	Amount HK\$
1	Construction of an additional staircase including:	
	(iii) Remove existing concrete slab between Grids B and C and Grids 1 and 1.5 to the 1/F, 2/F, and 3/F.	60,000
	(iv) Install 2hr fire rated concrete escape stair from 3/F level to ground floor level.	190,000
2	Install electric passenger lift and metal framed bridge connecting to 1/F, 2/F and 3/F	1,300,000
3	Remove existing partial timber floor to ground floor and make good to existing floor tiles.	30,000
4	Install self contained male toilet (1xWC, 1xHB) and female toilet (1xWC, 1xHB) to 1/F, 2/F and 3/F	250,000
5	Structural strengthening 1/F to 3/F	200,000
6	Install new shop fronts to ground floor Grid B, Grids 1 to 4	120,000
7	Install new floor tiles to G/F courtyard	20,000
8	Repair and clean existing floor tiles to G/F, 1/F, 2/F and 3/F	70,000
9	Install 3000mm high glass partition walls (i) 2/F (ii) grid 2.5 with glass door	100,000 30,000
10	Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 1/F and 2/F verandah. Note curved glass is required to two opening	500,000
11	Fixtures and fittings including service counters and bookshelves	300,000
12	Sundry modification to existing internal doors	100,000
13	Install new flagpole to roof (base on photographic record and measurement)	50,000
14	Estimate of works referenced in Appendix A CDEs and Recommended Conservation Action	180,000
15	Electrical rewiring and additional incoming power	750,000
16	MVAC installations	300,000
17	Install fire sprinkler system to all ceiling soffits	640,000
18	Alteration to existing plumbing and drainage	50,000
		5,240,000
19	Preliminaries (say 20%)	1,050,000
	Sub-total	6,290,000

4.0 Schematic Design

Item	Description	Amount HK\$
	Sub-total (carried forward from previous page)	6,290,000
20	Contract Contingencies (10%)	630,000
21	Project Contingencies (10%)	630,000
	Total Estimated Construction Costs	7,550,000
22	Consultant's fee (say 15%)	1,130,000
23	Furniture and Equipment	1,000,000
24	Sundry Tenants fit out cost	800,000
	Total Estimated Development Cost (as September, 2006)	10,480,000
	Exclusion: (a) Land or rental cost (b) Finance cost (c) Inflation after September 2006	

4.0 Schematic Design

4.3.2.8 Arrangement 02 Evaluation

Design Brief Evaluation	
Objective #1	Maximize the usable area of the existing building
	The lift is located externally to maximise the usable area inside the building.
Objective #2	Proposed works should not adversely affect the historical fabric and composition of the building
	Access from the external lift is by way of existing doors. Modifications to the external façade include the balustrade for lift bridge access.
Objective #3	Proposed works should address appropriate restoration works required for the final presentation of this Grade 1 building.
	With the exception of the escape stair, the arrangement allows for reversible installations. However, careful detailing of new openings in the façade to accommodate the elevator bridge is required.
Objective #4	The proposed works shall take into account any works needed to enhance the condition of the existing building to make it functionally suitable for its proposed adaptive re-use
	The scope of work includes the installation of a fire sprinkler system, escape stair and toilet facilities
Objective #5	The proposed scope of work should make the building compliant with a wide a range of uses as possible for its adaptive re-use.
	This arrangement meets most of the statutory requirements for re-use. However toilet and food preparation facilities would be required to a varying degree dependent on use.

Indicative Implementation Program	
Task	Duration
Tenant Submits Draft Renovation Proposal	4 weeks
Government Comments on Proposal	4 weeks
Tenant Submits Final Proposal	4 weeks
Government Approves Proposal	4 weeks
Tenant Carries Out Site Validation	3 weeks
Tenant Submits Preliminary Design	2 weeks
Government Comments on Preliminary Design	2 weeks
Tenant Submits Final Design	2 weeks
Government Approves Statutory Compliance	3 weeks
Design Issued for Tender	3 weeks
Tender Review	2 weeks
Tender Award.	1 week
Site Commencement	18 weeks
Inspection of Works	2 weeks
Works Rectification	3 weeks
Total Completion of Contract	57 weeks

4.0 Schematic Design

4.3.3 Arrangement 03 (Adaptive Re-use Option 2, page 18)

Proposed use: G/F: Exhibition/ Meeting Area
1/F: Office
2/F: Office
3/F: Library/ Reading Room

4.3.3.1 Ground Floor Arrangement – Exhibition / Meeting Area

- Allowable use for ground floor with a single escape stair.
- Lift located internally has no impact on external façade.
- Internal escape stair location requires escape door intervention on external façade.
- Historical artifacts could be included as part of interior decoration.
- Public access at this level possible.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	54	Retail use allows 3 sq. m per person – 18 persons
Courtyard Area (light green)	26.2	Retail use allows 3 sq. m per person – 8 persons
Female / Disabled Toilet (1xWC, 1xHB)	4.4	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Excluding service area
Existing Stair (dark brown)	2	Below head room measured
Passenger Lift (red)	2.2	1500mm x1500mm lift

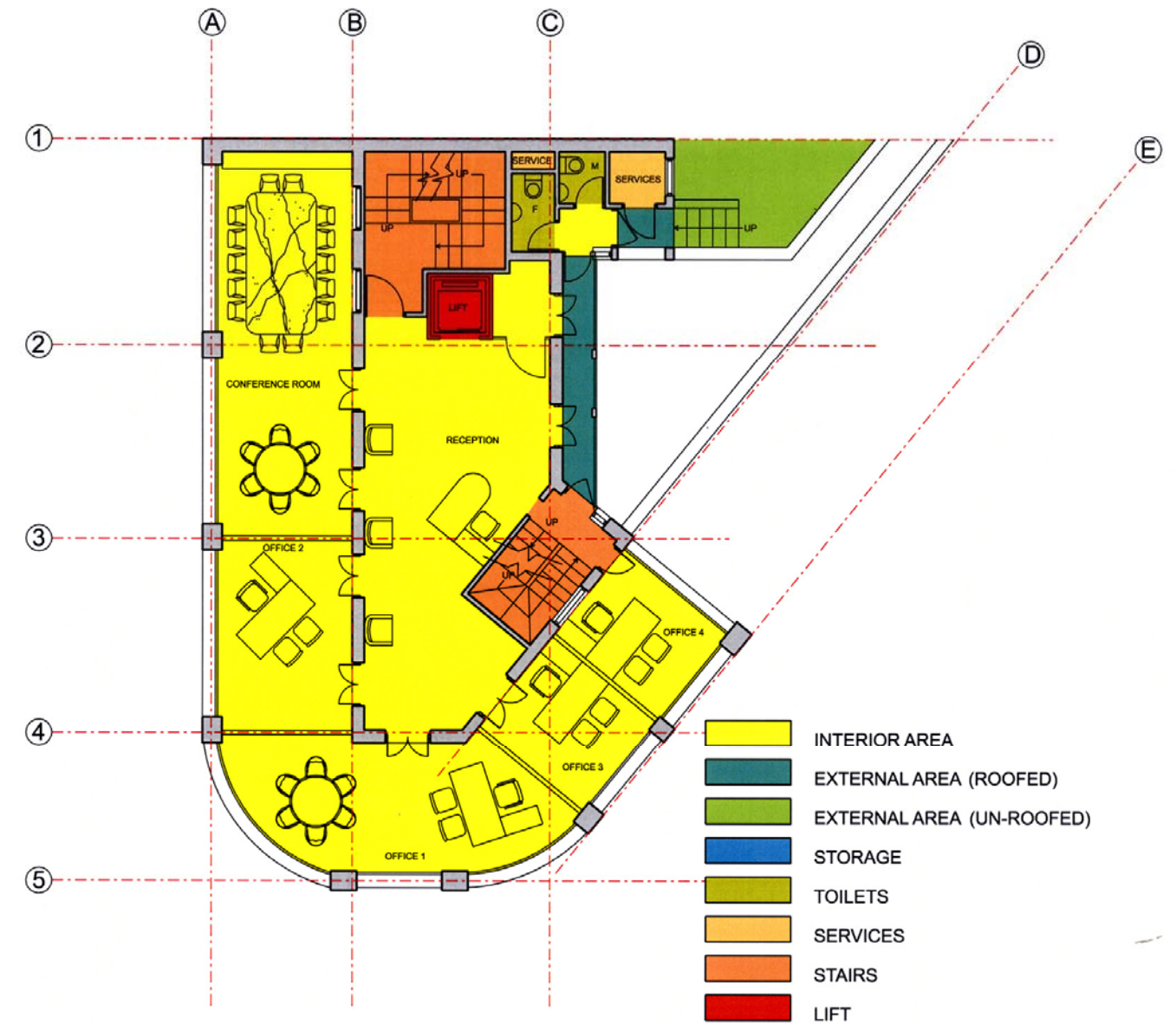


4.0 Schematic Design

4.3.3.2 First Floor Arrangement – Offices

- Lift located internally to leave external façade presentation without major interventions.
- Internal escape stair location enables first floor façade to be unchanged (approx 10sqm excluding walls).
- Internal toilets installed in existing room arrangement.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation.
- Historical artifacts could be included as part of interior decoration to the reception area allowing public access outside trading hours with the offices locked.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	118	Commercial use allows 9 sq. m per person – 13 persons
External Balcony (dark green)	4.2	Not used
Open Roof Top (green area)	9	Not used
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Capacity 4-30 persons
Existing Stair (dark brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm lift
Service (light brown)	1.4	

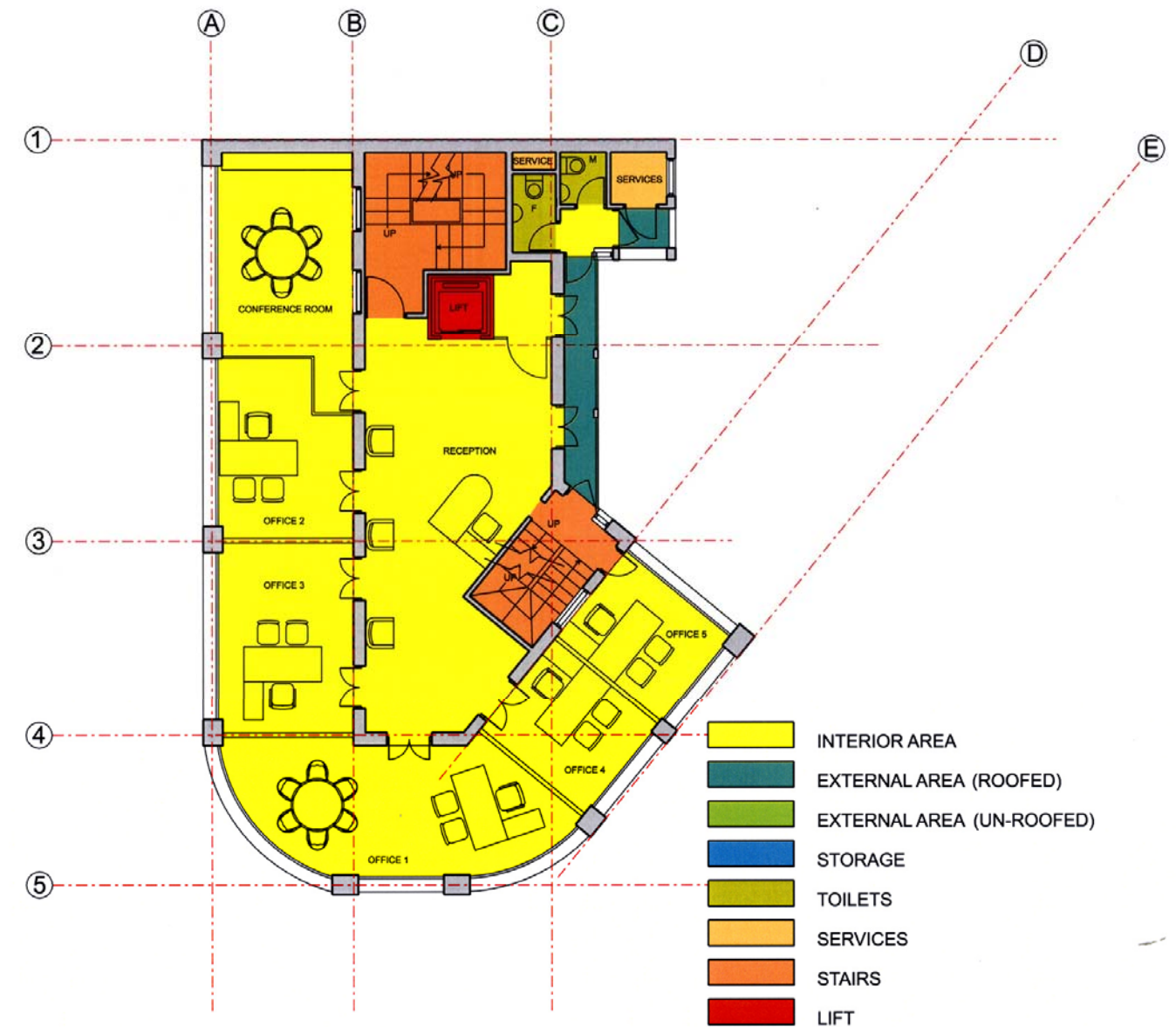


4.0 Schematic Design

4.3.3.3 Second Floor Arrangement - Offices

- Lift located internally to leave external façade presentation without major interventions.
- Internal escape stair location enables first floor façade to be unchanged
- Internal toilets added.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation.
- Historical artifacts could be included as part of interior decoration to the reception area allowing public access outside trading hours with the offices locked.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	118	Commercial use allows 9 sq. m per person – 13 persons
External Balcony (dark green)	4.2	Not used
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Capacity 4-30 persons
Existing Stair (dark brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm lift
Services (light brown)	1.4	



4.0 Schematic Design

4.3.3.4 Third Floor Arrangement – Library / Reading Room

- Lift located internally to leave external façade presentation without major interventions.
- Internal escape stair location enables third floor façade to be unchanged.
- Internal toilets installed in existing room arrangement
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation (see Photo 21 page 44). Part of open verandah retained unmodified.
- Historical artifacts could be a permanent part of the decoration.
- Assessment of Accommodation.

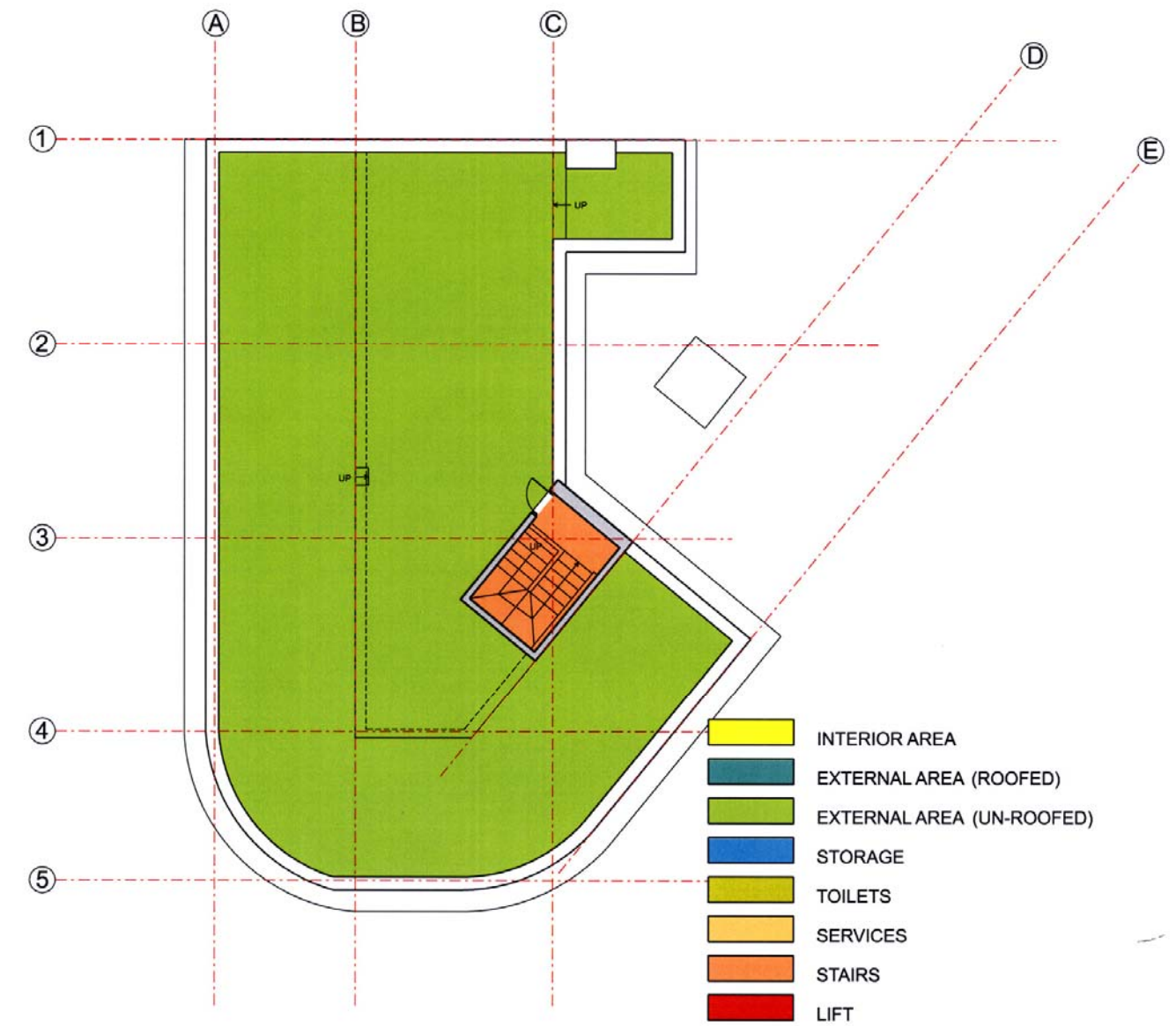
Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow area)	87	Commercial use allows 9 sq. m per person – 9 persons
External Balcony (dark green)	30	Commercial use allows 9 sq. m per person – 3 persons
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Capacity 4-30 persons
Existing Stair (dark brown)	6	Non-compliant escape
Passenger Lift	2.2	1500mm x 1500mm lift
Services (light brown)	1.4	



4.0 Schematic Design

4.3.3.5 Roof Arrangement

- a) The roof is not used in this option due to cost and intervention on external presentation.



4.0 Schematic Design

4.3.3.6 Arrangement 03 Scope of Work

- a) Remove existing concrete slab and masonry walls between Grids B and C and Grids 1 and 1.5 to the 1/F, 2/F, 3/F to enable installation of 2hr fire rated concrete escape stair from 3/F level to ground floor level, inclusive of emergency lighting and fire doors.
- b) Remove 2000mm x 2000mm area of roof slab to 1/F, 2/F and install passenger lift.
- c) Remove existing partial timber sub floor from ground floor.
- d) Install two toilets (1xWC, 1xhand basin) to 1/F, 2/F and 3/F and one toilet (1xWC, 1xhand basin) to G/F with all associated plumbing and drainage.
- e) Install fire sprinkler system, smoke detectors and exit lights to all slab soffits.
- f) Reinforce existing concrete slabs to 1/F, 2/F and 3/F as code requires.
- g) Fit new shop fronts to the existing ground floor openings, Grid A, in a manner compatible with the building and to the approval of the AMO (based on generic glazed shop front generally applicable for street frontage display).
- h) Install new floor tiles to the ground floor courtyard.
- i) Repair and clean the existing tiled floor finishes to the G/F, 1/F, 2/F and 3/F.
- j) Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 1/F, 2/F and partial openings 3/F. Note curved glass is required to two openings generally and one opening 3/F.
- k) Replace 80% of the existing external doors and replace with new doors which match the remaining 20% in every respect, at 1/F, 2/F and 3/F. The actual doors to be replaced will be determined on site (heritage related work).
- l) Install new flagpole to roof to match existing (based on photograph)
- m) Rewire building and install new transformer.
- n) Install reverse cycle air conditioning to G/F, 1/F, 2/F and 3/F. Allow for architectural finish to ducts as the system is exposed.
- o) Install 900mm high service counter to G/F.
- p) Install 900mm high service counter and associated services for coffee / tea and cake sales to 3/F
- q) Install 3000mm high light weight wall panels to 1/F and 2/F.
- r) Provide good quality tables and chairs as shown to all floor.

4.0 Schematic Design

4.3.3.7 Arrangement 03 Indicative Costs

Item	Description	Amount HK\$
1	Construction of an additional staircase including:	
	(i) Remove existing concrete slab between Grids B and C and Grids 1 and 1.5 to the 1/F, 2/F, and 3/F.	60,000
	(ii) Install 2hr fire rated concrete escape stair from 3/F level to ground floor level.	190,000
2	Install electric passenger lift connecting to 1/F, 2/F and 3/F	1,200,000
3	Remove existing partial timber floor to ground floor and make good to existing floor tiles.	30,000
4	Install self contained male toilet (1xWC, 1xHB) and female toilet (1xWC, 1xHB) to 1/F, 2/F and 3/F	250,000
5	Structural strengthening 1/F to 3/F	200,000
6	Install new shop fronts to ground floor Grid B, Grids 1 to 4	120,000
7	Install new floor tiles to G/F courtyard	20,000
8	Repair and clean existing floor tiles to G/F, 1/F, 2/F and 3/F	70,000
9	Install 3000mm high glass partition walls to 1/F and 2/F	160,000
10	Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 1/F and 2/F verandah and partial openings at 3/F. Note curved glass is required to two openings at 1/F and 2/F, and one opening at 3/F	600,000
11	Fixtures and fittings including service counters and bookshelves	300,000
12	Sundry modification to existing internal doors	100,000
13	Install new flagpole to roof (base on photographic record)	50,000
14	Estimate of works referenced in Appendix A CDEs and Recommended Conservation Action	180,000
15	Electrical rewiring and additional incoming power	750,000
16	MVAC installations (4.3.3.6 item n)	350,000
17	Install fire sprinkler system to all ceiling soffits	640,000
18	Alteration to existing plumbing and drainage	50,000
		5,320,000
19	Preliminaries (say 20%)	1,060,000
	Sub-total	6,380,000

4.0 Schematic Design

Item	Description	Amount HK\$
	Sub-total (carried forward from previous page)	6,380,000
20	Contract Contingencies (10%)	640,000
21	Project Contingencies (10%)	640,000
	Total Estimated Construction Costs	7,660,000
22	Consultant's fee (say 15%)	1,150,000
23	Furniture and Equipment	1,000,000
24	Sundry Tenant's fit out cost	800,000
	Total Estimated Development Cost (as September, 2006)	10,610,000
	Exclusion: (a) Land or rental cost (b) Finance cost (c) Inflation after September 2006	

4.0 Schematic Design

4.3.3.8 Arrangement 3 Evaluation

Design Brief Evaluation	
Objective #1	Maximize the usable area of the existing building
	This proposal has the most negative impact on internal usable space.
Objective #2	Proposed works should not adversely affect the historical fabric and composition of the building
	Whilst having biggest internal intervention, this option has less impact on external façade presentation.
Objective #3	Proposed works should address appropriate restoration works required for the final presentation of this Grade 1 building
	With the exception of the escape stair and internal lift, the arrangement allows for reversible installations.
Objective #4	The proposed works shall take into account any works needed to enhance the condition of the existing building to make it functionally suitable for its proposed adaptive re-use
	The scope of work includes the installation of a fire sprinkler system, escape stair and toilet facilities.
Objective #5	The proposed scope of work should make the building compliant with a wide range of uses as possible for its adaptive re-use.
	This arrangement meets most of the statutory requirements for re-use. However toilet and food preparation facilities would be required to a varying degree dependent on use.

Indicative Implementation Program		
Task	Duration	Comments
Tenant Submits Draft Renovation Proposal	4 weeks	
Government Comments on Proposal	4 weeks	
Tenant Submits Final Proposal	4 weeks	
Government Approves Proposal	4 weeks	
Tenant Carries Out Site Validation	3 weeks	
Tenant Submits Preliminary Design	2 weeks	
Government Comments on Preliminary Design	2 weeks	
Tenant Submits Final Design	2 weeks	
Government Approves Statutory Compliance	3 weeks	
Design Issued for Tender	3 weeks	
Tender Review	2 weeks	
Tender Award.	1 week	
Site Commencement	20 weeks	
Inspection of Works	2 weeks	
Works Rectification	3 weeks	
Total Completion of Contract	59 weeks	

4.0 Schematic Design

Existing Stair (dark brown)	2	Below head room measured
Passenger Lift (red)	2.2	1500mm x1500mm lift

4.3.4 Arrangement 04

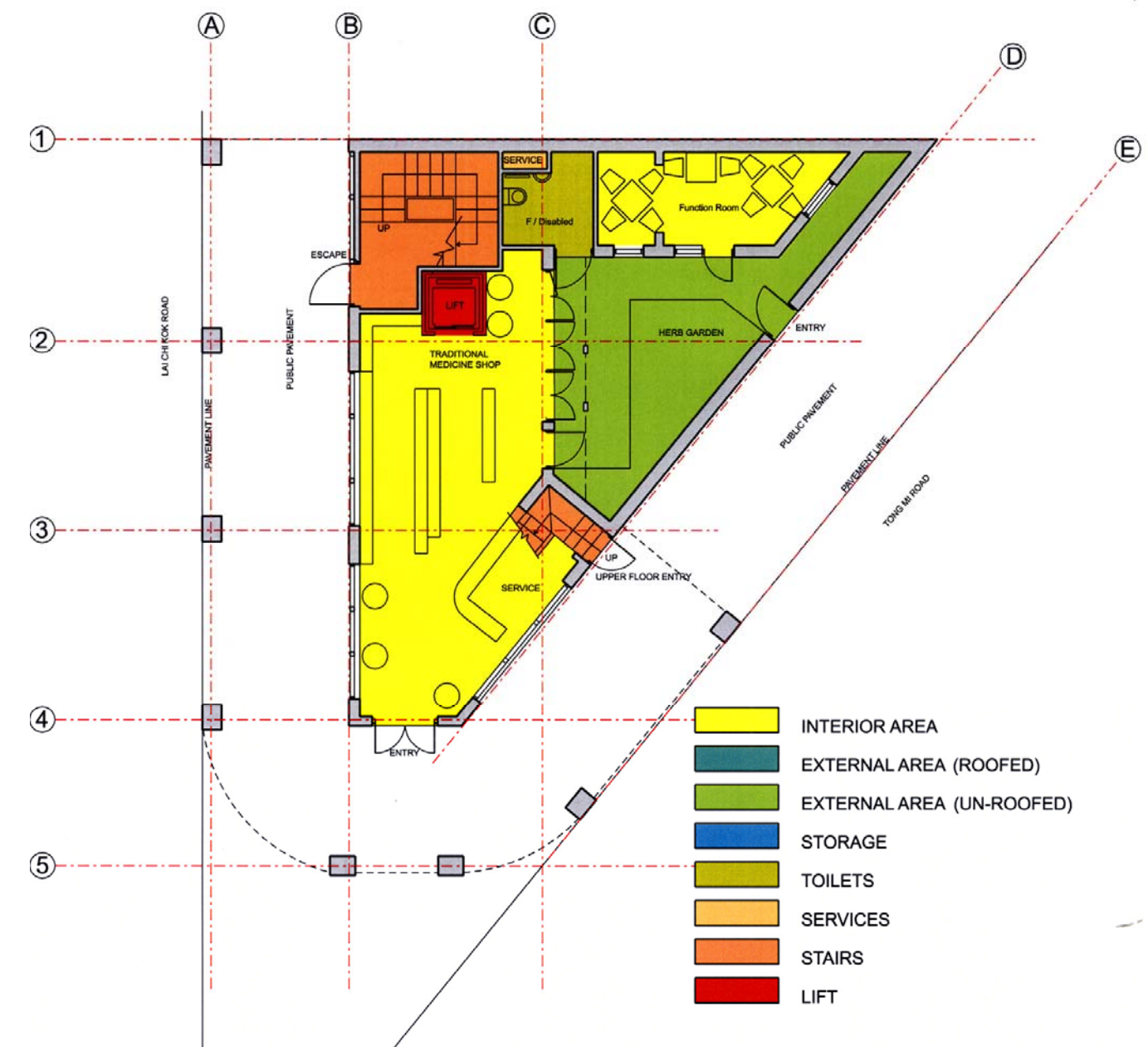
Note: This arrangement is a non-prescriptive use for reference only. See note on page 75.

Proposed use: G/F: Traditional Medicine Retail Outlet
1/F: Book Shop and Reading Room
2/F: Office
3/F: Coffee Shop

4.3.4.1 Ground Floor Arrangement – Traditional Medicine Retail Outlet.

- Allowable use for ground floor, single escape stair.
- Lift located internally to lessen visual impact on external elevation.
- Internal escape stair location enables ground floor façade to be largely unchanged.
- Medicine related historical artifacts could be included as part of interior decoration.
- Public access is compatible with this level and use.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow area)	55	Retail use allows 3 sq. m per person – 18 persons
Courtyard Area (light green)	26.2	Retail use allows 3 sq. m per person – 8 persons
Female / Disabled Toilet (1xWC, 1xHB)	4.4	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Excluding service area



4.0 Schematic Design

4.3.4.2 First Floor Arrangement – Book Shop and Reading Room

- Lift located internally to leave external façade presentation without major interventions.
- Internal escape stair location enables first floor façade to be unchanged.
- Internal toilets installed in existing room arrangement.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation
Part of open verandah retained unmodified.
- Historical artifacts could be a permanent part of the decoration.
- Public access is compatible with this area and use.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	102	Commercial use allows 9 sq. m per person – 11 persons
External Verandah (dark green)	16	Commercial use allows 9 sq. m per person – 2 persons
External Balcony (dark green)	4.2	Not used
Open Roof Top (light green)	9	Not used
Male Toilet (1xWC, 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Standard provision for 25 persons
New Escape Stair (dark brown)	10	Capacity 4-30 persons
Existing Stair (dark brown)	6	Non-compliant escape

Passenger Lift	2.2	1500mm x 1500mm lift
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4.0 Schematic Design

4.3.4.3 Second Floor Arrangement – Office

- Lift located internally to leave external façade presentation without major interventions.
- Internal escape stair location enables first floor façade to be unchanged.
- Internal toilets installed in existing room arrangement.
- Clear frameless glazing installed between inside face of verandah columns to preserve balustrade fenestration to external presentation.
- Historical artifacts could be included as part of interior decoration to the reception area allowing public access outside trading hours with the offices locked.
- Public access could be restricted to the reception area with the offices locked.
- Assessment of Accommodation

Function	Area sq. m.	Permitted use of area
Usable Floor Space (yellow)	118	Commercial use allows 9 sq. m per person – 13 persons
External Balcony (dark green)	4.2	Not used
Male Toilet (1xWC, 1xHB)	1.2	Sufficient for 25 persons
Female Toilet (1xWC, 1xHB)	1.8	Sufficient for 25 persons
New Escape Stair (dark brown)	10	Capacity 4-30 persons
Existing Stair (dark brown)	6	Non-compliant escape
Passenger Lift (red)	2.2	1500mm x 1500mm lift
Services (light brown)	2.3	



4.0 Schematic Design

4.3.4.4 Third Floor Arrangement - Coffee Shop

- a) Special permission required for use with a single escape stair.
- b) Lift located internally to lessen visual impact on external elevation.
- c) Internal escape stair location enables third floor façade to be largely unchanged.
- d) Historical artifacts could be included as part of interior decoration.
- e) Public access at this level is compatible with proposed use.
- f) Assessment of Accommodation.

Function	Area sq. m	Requirement
Usable Floor Space (yellow)	83	3sqm/person for retail -27 people
External Verandah (dark green)	30	3sqm/person for retail -10 people
Escape Stair (dark brown)	12	
Existing Stair (dark brown)	6	Non Compliant escape stair
Passenger Lift (red)	2.2	1500mm x 1500mm lift
Male Toilet (1xWC & 1xHB)	1.2	Standard provision for 25 persons
Female Toilet (1xWC & 1xHB)	1.8	Standard provision for 25 persons
Services (light brown)	1.4	



4.0 Schematic Design

4.3.4.5 Roof Arrangement – Coffee Shop

- a) Special permission from Fire Services Department required for use with a single escape stair.
- b) Lift located internally to lessen visual impact on external elevation.
- c) Internal escape stair location enables ground floor façade to be largely unchanged.
- d) Historical artifacts are not suitable for display at this level except as part of the building fabric, such as the flagpole.
- e) Public access at this level is compatible with proposed use.
- f) Assessment of Accommodation.

Function	Area sq. m	Requirement
Covered External Balcony (dark green)	35	3sqm/person for retail -11 people
Open External Balcony (light green)	82	3sqm/person for retail -27 people
Escape Stair (dark brown))	12	Excluding service area
Existing Stair (dark brown)	6	
Passenger Lift (red)	2.2	1500mm x1500mm lift



4.0 Schematic Design

4.3.4.6 Arrangement 04 Scope of Work

- a) Remove existing concrete between Grids B and C and Grids 1 and 2 to the 1/F, 2/F, 3/F and roof to enable installation of 2hr fire rated concrete escape stair from roof level to ground floor level, inclusive of emergency lighting and fire doors.
- b) Remove 2000mm x 2000mm area of floor slab to 1/F, 2/F, 3/F and roof and install passenger lift.
- c) Remove existing partial timber sub floor from ground floor.
- d) Install two toilets (1xWC, 1xhand basin) to 1/F, 2/F and 3/F and one toilet (1xWC, 1xhand basin) to G/F with all associated plumbing and drainage.
- e) Install fire sprinkler system, smoke detectors and exit lights to all slab soffits and underside of glass roof canopy.
- f) Reinforce existing concrete slabs to 1/F, 2/F, 3/F and roof as code requires.
- g) Fit new shop fronts to the existing ground floor openings, Grid A, in a manner compatible with the building and to the approval of the AMO (based on generic glazed shop front generally applicable for street frontage display).
- h) Install new floor tiles to the ground floor courtyard, and remove existing concrete to form planting area (herb garden).
- i) Repair and clean the existing tiled floors finishes to the G/F, 1/F, 2/F and 3/F. Clean and seal the existing paving under the glazed roof on the roof level and install new ceramic floor tiles to the uncovered seating area.
- j) Enclose the verandah with glazing installed on the inside face of the balustrade, to all openings between existing columns at 2/F and partial openings at 1/F and 3/F. Note curved glass is required to two openings at 1/F and 2/F and one opening at 3/F.

- k) Replace 80% of the existing external doors and replace with new doors which match the remaining 20% in every respect, at 1/F, 2/F and 3/F. The actual doors to be replaced will be determined on site (heritage related work).
- l) Install new flagpole to roof to match existing (based on photograph).
- m) Rewire building and install new transformer.
- n) Install reverse cycle air conditioning to G/F, 1/F, 2/F and 3/F. Allow for architectural finish to ducts as the system is exposed.
- o) Install 900mm high service counter to G/F.
- p) Install 900 high service counter and associated services for coffee / tea and cake sales to 3/F.
- q) Install 3000 high light weight wall panels to 2/F.
- r) Enclose escape stair at roof level with light weight wall panels and a steel framed roof at 2700mm above FFL.
- s) Install a glazed canopy over the extent of the existing raised floor to the roof.
- t) Provide good quality tables and chairs as shown to all floor.

Note: As this is a non-prescriptive use and the followings should be noted:

- i) A fire engineering approach involving a very detailed study of the use of the building and all the mitigating conditions supporting relaxation of statutory requirements is required.**
- ii) Access by appointment may be considered to ensure the maximum persons allowed on a floor comply with the single stair condition.**
- iii) If the tenant did not renew the lease, the building would need to be returned to at least a prescriptive condition (removal of roof access) with major interventions to the building.**

No costing or program is produced for this option as the assumptions required to be made would be misleading.

4.0 Schematic Design

4.3.4.7 Arrangement 04 Evaluation

Design Brief Evaluation	
Objective #1	Maximize the usable area of the existing building
	This proposal has the most negative impact on internal usable space.
Objective #2	Proposed works should not adversely affect the historical fabric and composition of the building
	Whilst having biggest internal intervention, this option has less impact on external façade presentation, with the exception of the roof works.
Objective #3	Proposed works should address appropriate restoration works required for the final presentation of this Grade 1 building
	With the exception of the escape stair and internal lift, the arrangement allows for reversible installations. However non prescriptive works may need to be removed in case of change of use.
Objective #4	The proposed works shall take into account any works needed to enhance the condition of the existing building to make it functionally suitable for its proposed adaptive re-use
	The scope of work includes the installation of a fire sprinkler system, escape stair and toilet facilities.
Objective #5	The proposed scope of work should make the building compliant with a wide range of uses as possible for its adaptive re-use.
	This arrangement is not prescriptive and requires relaxation of requirements supported by a fire engineering plan.

5.0 Adaptive Re-use Appraisal

5.1 Proposed Use

A limited study of the existing local retail environment was undertaken to ascertain current retail type and leasing rates. The results of this study can be found in Section 6 Financial / Disposal Appraisal item 6.1 Background

5.2 Local Retail Study



Local Retail Study Plan

- a) Area shown black is Lui Seng Chun
- b) Areas shown red are vacant retail, GF and 1/F only.
- c) 80% of local retail use is construction orientated (small fabrication, building material supplies, interior fit out supplies).

5.3 Adaptive Re-use Option 1 - Specialist Retail

5.3.1 Constraints

- a) Such a retail operator may wish to use the heritage and historical aspects of the building for branding purposes making this a sensitive issue if the brand is not seen as appropriate to the building.
- b) This type of use may not be compatible with the concept of public access to the building as this would be a commercial concern that has to concentrate on earning sales revenue to survive.
- c) Strong existing brands may consider the building complementary to their existing brand, but their strong brand image in the form of signage and graphics may not be considered appropriate for a Grade 1 building.
- d) Such retailers may not wish to take on the entire building if the permitted use is solely as a shop.

5.3.2 Advantages

- a) highly specialized retail can create a "destination" by establishing the location as the only place at which the product concerned may be obtained. This diminishes the importance of the attractiveness of the location as such in that effective advertising will advise customers of where the product can be obtained and reliance on casual passing trade is not as great.
- b) Such type of tenant would seek to make a profit from the use of the building, and so a rental return to the government may be possible.
- c) A quality brand would also be sensitive to appropriate use if part of the building was to be sub-let to another tenant.

5.0 Adaptive Re-use Appraisal

5.3.2 Examples

- a) A local example of such a specialist retailer is Shanghai Tang, located in the Pedder Building in Central, displays synergy with the historic presentation it occupies. The China Club and the Fringe Club are other examples of local uses using the ambience of historical buildings to enhance their branding.

5.4 Adaptive Re-use Option 2 - Benevolent Commercial

5.4.1 Constraints

- a) Such organizations, although run on commercial principles may be less profit orientated and less likely to provide a material rental return to the government.
- b) A tendering process different from a normal commercial tender would be required and the process would need to be conducted in such a way that it was transparent to the public.
- c) The number of organizations who may be interested in submitting proposals may be limited, and they may not be prepared to submit in a commercial environment in competition with retail businesses.

5.4.2 Advantages

- a) Organizations such as these do not rely on strong retail locations to survive. Many are prepared to locate themselves in lower economic areas in order to be more accessible to the sector of society that they serve.
- b) While not directly associated with heritage issues, such organizations would be suitable tenants and responsible guardians of the property.
- c) This type of organization would attract donations from many sources, as they are generally well known and trusted.

- d) The public may perceive this as an appropriate use for a government owned Grade 1 building, as serving the community.

5.4.3 Examples.

- a) A local and international example of such an organization is the Salvation Army. This organization runs its self on a commercial basis, but does not necessarily rely on income from any one premise it occupies.

5.5 Adaptive Re-use Option 3 – Non-Government Organization (NGO)

5.5.1 Constraints

- a) The number of organizations prepared to submit proposals for a project such as this will be limited.
- b) Such organizations are not-for-profit, and as such would not be in a position to pay a commercial rental for the building.
- c) NGO's would not be prepared to bid against retail submissions based on commercial returns as they would see little hope of success.

5.5.2 Advantages

- a) This type of organization has a vested interest in the building itself, its mandate usually being the preservation and protection of such properties.
- b) Unlike other possible users of the building, the prime purpose of this type of tenant would be to preserve and maintain the building as an example of their vision and to demonstrate how they would provide such services for other similar projects.
- c) This would be a good example of private participation with government to solve a difficult technical and financial issue very much in the public arena at present.

5.0 Adaptive Re-use Appraisal

5.5.3 Examples

- a) A local example would be the Royal Asiatic Society, which may see Lui Seng Chun as a viable project to demonstrate one of the functions of the organization.

6.0 Financial / Disposal Appraisal

6.1 Background

The following financial and disposal appraisal is based on current leasing rates in the locality of Lui Seng Chun. The operating cost are based on reasonable assumptions for theoretical users, but it is stressed the variations possible within these theoretical scenarios are considerable. It is not considered appropriate to include detailed costing such as power consumption and general management as the variations possible in operating hours and extent of public access are negotiable and could vary considerably.

6.1.1 Enquires were made at small local real estate offices with regard to acquiring premises in which to operate a small tea house. General advice relevant to the locality was given as follows:

- a) A small local hotel, the Metro Park Hotel, located at 22 Lai Chi Kok Road (see Local Retail Study Plan page 77) is frequented by single entry tourists from the Mainland who tend to use the local tea and restaurant establishments in the area and such establishments are quite busy in the evenings. The local agent advised such F&B outlets are a good business option for the neighborhood.
- b) Lai Chi Kok road is known locally as the “yin and yang (good and bad)” road, with the side on which even numbered properties are located being the positive side (this is the opposite side of the road to Lui Seng Chun, being located at No, 119). The local agent advised that people are reluctant to cross the busy Lai Chi Kok Road, and premises located on the even numbered side are a better business proposition.

6.1.2 The local agent also advised that older vacant ground floor premises with street frontage could be obtained for around HK\$25 per square foot (e.g. No.84 Lai Chi Kok Road) and new or refurbished ground floor premises, which have basic facilities such as hand basins fitted, can be secured for around HK\$43 per square foot (e.g. No. 6 Poplar Street). Generally, upper floor premises in the area can be obtained for HK\$10 – 11 per square foot. There are many vacant premises in the locality currently available for purchase or lease. See Local Retail Study Plan page 77.

6.1.3 In so far as rental levels are concerned, the monthly rents proposed are estimated on the basis of affordability given the location, the design/layout of the building and the high level of management and maintenance costs always associated with heritage structures rather than by comparison with those passing for other premises in the vicinity.

6.2 Financial Appraisal

6.2.1 The following table sets out the estimated monthly/annuals revenues that could be generated for Government by the three options identified in Section 2. It also sets out the estimated operating costs of the tenants in each case and the renovation costs associated with each of the options.

Based on the adaptive re-use options described in Section 2, Item 2.5 and on the assumption that Government is willing to consider reasonable rental levels in order to attract tenants both to the location and the building, the estimated costs and revenues of each of the options is summarised as follows:

Costs/Revenues	Re-use Option 1	Re-use Option 2	Re-use Option 3
	Commercial	Benevolent	NGO
Rental Income (pm) to Government	30,000	40,000	1000
Operating Cost of Tenant	30,000	40,000	20,000
Net Annual Income to Government	360,000	480,000	12,000
Cost of Works (Gov)		10,610,000	
Cost of Works (tenant)	10,480,000		11,060,000
Pay back period	n/a	22 years	n/a
Length of lease	5 years (renewable)	5 years (renewable)	15 years (renewable)

6.0 Financial / Disposal Appraisal

Option 01

Due to the higher capital cost outlay and recurrent maintenance cost, the potential Specialist Retailer will be reluctant to pay a Full Market Rent and hence some discount will be made on it when they are bidding the premises. In fact, given the high capital cost involved and the level of operating costs associated with the specialist retail sector (high advertising and promotional costs, frequently high production costs also) Lui Seng Chun may not be a viable proposition for most such retailers. However, it may prove interesting to operators who are able to use the heritage aspects of the premises as part of their promotional efforts and to supplement their particular corporate identity and image.

Option 02

As the Benevolent Commercial user will not have to incur the same capital expenditure, they will be able to pay a slightly higher rental. However, although such users do operate part, at least of the operations on a commercial basis they are not fully commercial enterprises and therefore cannot afford high rents. Lui Seng Chun will also be an expensive building to maintain compared with a more modern structure and this will impact on the level of rent as any organisation will take into consideration the total outgoings each month, not at each item in isolation.

Option 03

The nominal rental is proposed on the basis that this is all that an NGO could afford to pay given the level of capital expenditure it is also expected to meet. It is also true that such a use would be seen as appropriate by the public who would not expect such a high rental to be demanded from such an organization. Also, the use of the building by such an organization would be seen positively by the public and the concessionary rent would underwrite and promote Government's recently expressed support for heritage conservation.

- 6.2.2 The renovation costs do not include any sums previously incurred by Government and for which it is understood the Government does not wish to seek reimbursement. Other operating costs (including electricity and other utilities, etc.) would be over and above this and would depend very much on the uses to which the building is put but would also be to the tenant's own account. No allowance has been made for security costs in connection with possible public access as

even if potential tenants would agree to such general access (which would be seen as a serious intrusion into their occupancy of the building), it is unlikely that they would accept any associated expense and that it would be assumed that any such responsibility would be covered by Government within the rental charged.

6.3 Disposal Appraisal

- 6.3.1 There are only two types of disposal option open to the government that is both transparent and open to an evaluation process.

Disposal Option 1 – The Commercial Option (Section 2, item 2.5.2) and Disposal Option 2 - The Non-Commercial Option (Section 2, item 2.5.3)

- 6.3.2 A third option - by negotiation - is technically possible, but it is considered that associated confidentiality issues would prevent the release to the public of sufficient information in the context of the disposal of a public asset.

- 6.3.3 Of the two disposal methods proposed, the Disposal Option 2 – The Non-Commercial Option seems to be more orientated to the protection of the building, which would be appropriate to a Grade 1 building. Also, this option does not require any further funding from the government and at the same time may possibly be more acceptable to the public which may prefer this option to the building being passed to a commercially orientated private enterprise.

7.0 Evaluation of Options

7.1 Consolidation of Evaluations

7.1.1 Adaptive Re-use Option1 – Specialist Retail

a) The Physical Aspect

The preservation of the historic fabric of the building may be in conflict with the branding image of the retail operator. Retail premises usually advertise their presence in the form of signage or window dressing, and this may not be appropriate if applied to a Grade 1 building. Starbucks and HMV are examples of appropriate use but not necessarily presentation, their branding being strong in its presentation.

Whilst all options require the upgrading of the building services and structure, this option may require a higher level of upgrade. Retail use is generally limited to street or first floor level, and a retail tenant may be looking to sub-lease the other levels for uses requiring more intervention.

Retail also tends to change its presentation when promotional campaigns are undertaken for sales purposes. This will require consultation with the government, and may prove too onerous for a retail tenant.

b) Social Aspect

If the retail user is related to the building's history it may become a local icon, an example of a historical building realigning with its past. However, retail is more likely to be a relatively short stay tenant as the retail industry tends to react and adapt to financial and market changes.

c) Financial Aspect

The retail use needs to be of a type not dependant on casual passing trade. It would need to have a product not available elsewhere so as to ensure the customer has to come to this location to purchase the specific product. Such a product could be quite expensive and a reasonable return could be made. However, this will also require an effective advertising campaign to inform the public this special product is available and this is where it can be procured.

7.1.2 Adaptive Re-use Option 2 – Benevolent Commercial

a) Physical Aspect

This type of use requires very little signage as it is promoted through other means and does not rely on passing trade.

The tenant would probably occupy the entire building, not needing to sub-lease any floors, and could comply with prescriptive statutory requirements (retail lower level, domestic or office upper level).

This tenant type, similar to the Salvation Army, is more stable in terms of presentation.

b) Social Aspect

This type of use can have many social benefits for the local community. Whilst the tenant uses the building as its local branch administration office, it could also be used for counseling or community meetings. The public would probably see this as a positive working partnership with the government, and possibly as a more appropriate use than that of a private sector profit generating entity.

c) Financial Aspect

This type of tenant type is more stable in terms of financial planning. It would not rely on income from the building, as its income base is much broader, and so less affected by the fluctuations in the economy. In fact such tenants are more active in times of social depression caused by economic factors. They are relatively stable financially and have long term plans. They are not particularly profit orientated, but are run on commercial principles, albeit they would not expect to pay a high level of rent.

7.0 Evaluation of Options

7.1.3 Adaptive Re-use Option 3 – Non Government Organization (NGO)

a) Physical Aspect

This type of use, particularly if the organization's mandate is heritage orientated, would be very sensitive to the presentation of the Grade 1 building.

The tenant would occupy the whole of the building, and uses would be more likely to be heritage related.

This type of tenant would have a clearer understanding of the issues related to the works required for the adaptive re-use, and the ongoing management and maintenance, of a heritage building.

b) Social Aspect

This type of use would promote the history of the Grade 1 building and the organization's activities in the wider sense will inform the public of the building's existence.

c) Financial Aspect.

This type of NGO would be a not-for-profit organization, and relies on funds donated from the community, both private and commercial. It would be able to present a business plan based on single donations from similar organizations (Jockey Club, corporate groups) and annual funds from membership dues and fund raising activities.

7.1.4 Disposal Option 1 – Commercial Option

a) Degree of Transparency

As this option will attract potential users with a business plan which enables them to produce a profit from the use of the building, a level of confidentiality would be required in the tender process which may not have the level of

transparency which would satisfy the public at large or organizations which represent the public.

b) Ability to Attract Interesting Proposals

Due to the location and size of Lui Seng Chun, it is likely a number of innovative proposals will be proposed to address the commercially remote location and the required adaptive works. Also, the requirement for a degree of public access will be a major consideration for any business use which intends running a commercial operation from the building. There are also several conditions the tenderer needs to address when preparing a business plan for the bid. The tenderer will need to invest a significant capital cost in the building before earning any income from the property. Ongoing management costs relating to security and up keep may be higher than for a similar sized premises in the neighborhood.

c) Public Acceptance

The adaptive re-use of heritage buildings by way of participation by the private sector is being explored and implemented world-wide. However, the general public in Hong Kong may need to be actively advised of this concept to understand the rationale. The disposals of such buildings to the private sector in the past in Hong Kong have not been received positively by the general public.

d) Ensure the Building's Use is to be Self-Sustaining

When considering the sustainability of the buildings operation over the lease period, any proposals need to be evaluated from a stability point of view, not only a financial one. The retail sector is very susceptible to the general economic conditions and adapt very quickly to adverse conditions by reducing overheads which negatively impact profit, or reduce outlets which are least profitable.

7.0 Evaluation of Options

7.1.5 Disposal Option 2 – The Non – Commercial Option

a) Degree of Transparency

This option is more orientated towards organizations whose use of the building may not require the generation of profit or even ongoing maintenance and management costs. The disposal process could be very transparent with a high degree of public participation involved as there are no profits generated. The high degree of transparency may be advantageous to organizations relying on private donation or membership fees, as the process acts as a means of communicating the organizations vision and activities to interested parties.

b) Ability to Attract Interesting Proposals.

The range of proposals possible with this option is considerably wider than from one which would require to generate a profit to operate. With the requirement to cover overheads and management costs covered by donation, the user could provide office space for similar organizations at minimal cost.

c) Public Acceptance.

The non-profit aspects of the buildings use under this option may be more acceptable to the public's perception of the use of a government owned graded building. With the transparency issues referred to in item a) of this clause. The public may feel more informed and involved in the disposal and subsequent operation of Lui Seng Chun.

d) Ensure the Building's Use is to be Self-Sustaining

As it is assumed the type of user under this option will not rely on income from the use of the building to cover the capital and ongoing management costs, relying on donation and similar capital income. As such, the user will be less effected by the general economic conditions, and be a more stable occupant over the lease period.

7.2 Overall Assessments

It is considered that the overall rankings resulting from the rating of the detailed assessment criteria clearly indicate the relative advantages and disadvantages of the various options and that the assessment methodology is robust and objective.

7.0 Evaluation of Options

7.3 Evaluation Framework & Methodology of Evaluation

7.3.1. The evaluation framework of the three adaptive re-use options was derived from the design objectives in Section 4.1 of the report. The evaluation process is as follows:

- a) A rating system on the scale of A to D has been applied in assessing each adaptive re-use option in the context of its overall achievement of the design objectives
- b) These ratings have then been inserted into a standard table (example opposite) and are derived from the assessment of the related detailed evaluation criteria (see over).
- c) The ratings are the result of discussion between team members with deciding consensus between the lead consultant and the property consultant.

Rating definitions

A- likely to achieve all aspects of the criteria
 B- likely to achieve many aspects of the criteria
 C- likely to achieve some aspects of the criteria
 D- unlikely to achieve any aspects of the criteria

	Option 1	Option 2	Option 3
A. Physical Aspect			
1. Conservation: Retention of historical, architectural, and cultural values			
2. Building Standards: Upgrade to meet current statutory standards			
3. Appropriate restoration of a Grade 1 building			
B. Social Aspect			
1. Enhance the pride, identity and strengths of the local community			
2. Demonstrate how the private sector and government can co-operate for the good of the community			
3. Put an unused building in a prominent position to use, so creating a positive presentation to the streetscape			
C. Financial Aspect			
1. Achieve economic activity in the local community			
2. Achieve a financially sustainable project			
3. Determine a disposal method which protects the building and the government legally and commercially.			

7.0 Evaluation of Options

7.4 Detailed Evaluation Criteria – Adaptive Re-Use

The detailed evaluation criteria of the three adaptive re-use options were derived from the design objectives in Section 4 and the different appraisals contained in Sections 5 to 8 inclusive

7.4.1 A Physical Aspect

Objective [1]:

Conservation: Retention of historical, architectural, and cultural values

Evaluation aspects:

- a) Preservation of the historic fabric.
- b) The use of the building
- c) Appropriate restoration of a Grade 1 building

Objective [2]:

Building Standards: Upgrade to meet current statutory standards

Evaluation aspects:

- a) Enhance level of structural soundness and integrity
- b) Increase level/extent of fire safety
- c) Increase provision of effective means of lighting, ventilation and sanitation.
- d) Increase provision of barrier free access.

Objective [3]:

Appropriate restoration of a grade 1 building

Evaluation aspects:

- a) Limit interventions to the building as a result of adaptive reuse
- b) Ensure any required interventions are sensitive to the building's current presentation

7.4.2 B Social Aspect

Objective [1]:

Enhance the pride, identity and strengths of the local community

Evaluation aspects:

- a) Introduce successful and vibrant activity to the locality
- b) Introduce activity of use or of interest to the local community

Objective [2]:

Demonstrate how the private sector and government can co-operate for the good of the community

Evaluation aspects:

- a) Successful implementation of government/private sector participation project

Objective [3]:

Put an unused building in a prominent position to use, so creating a positive presentation to the streetscape

- a) Possibility of the building becoming a landmark in the local and wider community
- b) Improvement of the local presentation with a small anchor building

7.0 Evaluation of Options

7.4.3 C Financial Aspect

Objective [1]:

Achieve economic activity in the local community

Evaluation aspects:

- a) Creating a destination to override down market location
- b) Existing local F&B may benefit from visitors drawn to destination

Objective [2]:

Achieve a financially sustainable project

Evaluation aspects:

- a) Ensure the use of the building to be self sustaining

Objective [3]:

Determine a disposal method which protects the building and the government legally and commercially

Evaluation aspects:

- a) Determine a method by which a government owned heritage building can be leased to the private sector to carry out necessary changes for adaptive reuse, and carry out ongoing maintenance work

7.5 Detailed Evaluation Criteria - Disposal Options

The detailed evaluation criteria of the two disposal options were derived from the design objectives in Section 4 and the different appraisals contained in Sections 5 to 8 inclusive. Please note these criteria differ from the Adaptive Re-Use evaluation.

7.5.1 Degree of Transparency

Objective [1]:

Extent to which the public can be informed

Evaluation aspects:

- a) Public comment on tender process
- b) Public representation the tender appraisal

Objective [2]:

Extent to which the public can participate

Evaluation aspects

- a) Public representation in the tender preparation
- b) Extent to which public comment is invited

7.5.2 Ability to Attract Interesting Proposals

Evaluation aspects:

- a) Possibility of relaxation of statutory requirements
- b) Flexibility in financial requirements to enable interesting proposals to be considered

7.0 Evaluation of Options

7.5.3 Public Acceptance

Evaluation aspects:

- a) Possible conflict with local acceptance and wider acceptance
- b) Publics perceived appropriate use of a graded building

7.5.4 Ensure the Buildings Use to be Self-Sustaining

Evaluation aspects:

- a) Ensure the building is self sustaining during its leased period, requiring no financial support in any way from the Government

7.0 Evaluation of Options

7.6 Detailed Evaluation Framework with Evaluation Rating by the Project Team

7.6.1 Adaptive Re-use

A. Physical Aspect	Option 1	Option 2	Option 3
1. Conservation: Retention of historical, architectural, and cultural values			
a. Preservation of the historic fabric	C	B	A
b. The use of the building	C	B	A
c. Appropriate restoration of a Grade 1 building	B	B	A
2. Building Standards: Upgrade to meet current statutory standards			
a. Enhance level of structural soundness and integrity	A	A	A
b. Increase level/extent of fire safety	A	A	A
c. Increase provision of effective means of lighting ventilation and sanitation.	B	B	B
d. Increase provision of barrier free access	B	B	B
3. Appropriate restoration of a grade 1 building			
a. Limit interventions to the building as a result of adaptive reuse	B	B	A
b. Ensure any required interventions are sensitive to the building's current presentation	B	A	A

B. Social Aspect	Option 1	Option 2	Option 3
1. To enhance the pride, identity and strengths of the local community			
a. Introduce successful and vibrant activity to the locality	B	B	B
b. Introduce activity of use or of interest to the local community	B	B	A
2. Demonstrate how the private sector and government can co-operate for the good of the community			
a. Successful implementation of government and private sector participation project	B	A	A
3. Put an unused building in a prominent position to use, so creating a positive presentation to the streetscape			
a. Possibility of the building becoming a landmark in the local and wide community	B	B	A
b. Improvement of the local presentation with a small anchor building	B	B	A

Rating definitions

- A - Likely to achieve all aspects of the criteria**
- B - likely to achieve many aspects of the criteria**
- C - likely to achieve some aspects of the criteria**
- D - unlikely to achieve any aspects of the criteria**

7.0 Evaluation of Options

7.6.2 Adaptive Re-Use Summary Conclusion.

a) Adaptive Option 1 – Specialist Retail

This option carries the greatest risk of intervention to the buildings external presentation as a result of branding and associated advertising to the exterior faces of the building.

An acceptable level of public access may not be possible with the commercial requirements of such a use regarding operating hours.

A compatible business plan which will result with an operating profit will be difficult to achieve.

Some of the types of use permitted under the planning requirements may be considered not appropriate to the graded building, but no statutory requirement exists to exclude them.

b) Adaptive Option 2 – Benevolent Commercial

This option would not require a significant impact on the buildings external presentation as it would not require street visible signage.

It is anticipated the user would not require achieving profit from the specific use of Lui Seng Chun, its income coming from a wider base of operation.

Some benevolent uses may be sensitive to the local community, and some form of public consultation may be necessary.

c) Adaptive Option 3 – Non Government Organization (NGO)

This user would be very sensitive to the presentation of the building as it reflects the vision and function of the organization.

As an organization relying on donations to operate, a degree of stability is achieved as such donations would be confirmed for the lease period.

NGO arrangements are becoming increasingly successful internationally.

C. Financial Aspect	Option 1	Option 2	Option 3
1. To achieve economic activity in the local community			
a. Creating a destination to override down market location	B	B	B
b. Existing local F&B may benefit from visitors drawn to a destination operation.	B	B	C
2. Achieve a financially sustainable project			
a. Ensure the building's use to be self sustaining	B	A	A
3. Determine a disposal method which protects the building and the government legally and commercially			
a. Ensure the disposal documentation is orientated towards appropriate potential uses	B	A	A

Rating	Option 1	Option 2	Option 3
A	2	6	13
B	14	12	4
C	2	—	1
Overall	B	B+	A

Rating definitions

A - Likely to achieve all aspects of the criteria

B - likely to achieve many aspects of the criteria

C - likely to achieve some aspects of the criteria

D - unlikely to achieve any aspects of the criteria

7.0 Evaluation of Options

7.6.3 Detailed Evaluation Criteria - Disposal Options

A. Degree of Transparency	Option 1	Option 2
1. Extent to which the public can be informed		
a. Public comment on tender process	C	B
b. Public representation in tender appraisal	B	B
2. Extent to which the public can participate		
a. Public representation in tender preparation	A	A
b. Extent to which public comment is invited	A	A
B. Ability to attract interesting proposals		
a. Possibility of relaxation of statutory requirements	B	B
b. Flexibility in financial requirements to enable interesting proposals to be considered.	B	A
C. Public Acceptance		
a. Possible conflict with local acceptance and wider acceptance	B	B
b. Publics perceived appropriate use of a Graded building	B	B
D. Ensure the Buildings Use to be Self-Sustaining		
a. Ensure the building is self sustaining during its leased period, requiring no financial support in any way from the Government.	B	B

Rating definitions

- A - likely to achieve all aspects of the criteria**
- B - likely to achieve many aspects of the criteria**
- C - likely to achieve some aspects of the criteria**
- D - unlikely to achieve any aspects of the criteria**

7.6.4 Disposal Options Summary Conclusion.

a) Disposal Option 1 – Commercial Option

This option is a competitive commercial tender requiring a high degree of confidentiality, and as such will not appear as transparent as the public might expect.

Public participation in the process would be limited due to the confidential content of the proposals.

Retailing tends to be fairly conservative, and a mixture of interesting uses in the building is not likely.

Subject to fluctuations in the local economy, this option is the least stable of the two options.

b) Disposal Option 2 – The Non-Commercial Option

No profit issues enable a high degree of transparency throughout the disposal process.

There is the possibility of many interesting uses with this option as the user's management of the building may allow relaxation of some statutory regulations.

Rating	Option 1	Option 2
A	2	3
B	6	6
C	1	-
Overall	B+	A-

8.0 Recommended Option

8.1 Summary

8.1.1 The options under consideration relate to the tenant type and disposal options.

8.1.2 The tenant type, as defined in Section 2.4 are:

- a) Adaptive Re-use Option 1- Specialist Retailer
- b) Adaptive Re-use Option 2- Benevolent Commercial
- c) Adaptive Re-use Option 3- Non Government Organization

8.1.3 The disposal methods described in Section 2.5 are:

- a) Disposal Option 1 - Commercial by way of tender
- b) Disposal Option 2 – Non-commercial by way of inviting Expression of Interest (EOI)

8.2 Recommended Option

8.2.1 The recommended way forward for the adaptive reuse of Lui Seng Chun is for use by a Non Government Organization (Adaptive Re-use Option 3) using the Non-commercial disposal option, i.e. EOI (Disposal Option 2) as the means of selection of tenant.

8.2.2 Our research has revealed some organizations may specifically be interested in this type of building, being one of substantial historical and heritage value offering limited commercial adaptive reuse.

8.2.3 Such organizations are less concerned with retail related locations as they would create a destination as their own office or exhibition area.

8.2.4 When determining the proposed uses of the building it will be necessary to take into consideration the use of the building. Proposals which require fewer interventions to the building, while not necessarily providing the greatest financial return in rentals, should be considered. A user not requiring enclosing the balcony would maintain a very prominent fenestration element in the façade. In

addition, with a lower population in the building because of the reduced usable area, an acceptable fire plan may be devised to negotiate more relaxations in statutory requirements which are interventions to the building fabric.

8.2.5 The government would seek EOI from organizations or individuals who may be interested in taking responsibility for the adaptation, refurbishment, management and ongoing maintenance of the building at their own cost.

8.2.6 A series of workshops would be held to inform all parties of the vision for the adaptive reuse of Lui Seng Chun and the anticipated costs involved in the adaptive reuse works, heritage restoration works and future management issues related to maintenance and public access. This could be an entirely transparent exercise with public participation.

8.2.7 Once all interested parties are fully informed, those wishing to proceed would submit formal proposals to the government describing the proposed use of the building, changes required to the building to accommodate their proposed use, the scope of heritage restoration works to be undertaken, financial documentation describing how necessary funds will be raised to affect the works and an implementation program.

8.2.8 The government would select an operator/tenant from the submissions based on an assessment of the technical aspects of the proposals received. Those proposals passing the technical assessment will be subject to financial assessment with a view to selecting the most financially viable proposal.

8.2.9 The government will need to establish a method of approving and monitoring the buildings implementation of the required capital works, ongoing management of the building with special reference to public access, and the general maintenance of the building over the lease period. It is suggested a management committee be established with representatives from the interested parties. The structure of the committee could be as follows:

- a) AMO to chair and advise on heritage issues.
- b) ASD to advise on technical issues.

8.0 Recommended Option

- c) Building operator to advise on operational problems or changes in operation, including temporary changes for promotional or special functions.
- d) FSD to advise on regulatory issues and means to address temporary changes in management as required.
- e) BD to advise on regulatory issue, and possible short term relaxations for temporary changes in the buildings management.

The AMO could call monthly meetings, or ad-hoc meetings if required by the operator, to monitor and document the operation of the building and issue reports which advise on real life problems and subsequent solutions. This would be the basis of a design and operating manual for future similar projects.

Appendix A – Historical Statement of Significance

1.0 Historical Statement of Significance

1.1 Description

- 1.1.1 Located on a triangular lot in the dense heart of Kowloon, Lui Seng Chun, a **tong lau** (the local term for Hong Kong's shop house typology) completed in 1931, operated as an herbal medicine shop and a multi-generation house for the Lui family. While families lived on the first, second and third floors, Mr. Lui Leung operated the herbal medicine shop on the ground floor, and it closed down a few years after he died in 1944. Around the late 1960s, the Lui family finally moved out from the house and the upper levels were then billeted by their friends and relatives for free. By 1980, the building was left empty.

While its address is 119 Lai Chi Kok Road, the four-storied building has its entrance at the convergence of Lai Chi Kok Road and Tong Mei Road. Mixing the sweeping horizontal lines of Streamline Modern (Art Deco) with robust classical elements, the shop house is one of a small number of distinctive shop houses remaining from the 1930s that are scattered throughout the area.

1.2 Statement of Significance (SOS)

1.2.1 Architectural

- 1.2.1.1 Lui Seng Chun is a four-storey building that belongs to the shop house typology (Figure 1 page 98), which is more commonly referred to as "tong lau" in Hong Kong. A corner building that commands the Y-junction connecting Lai Chi Kok Road with Tong Mi Road, Lui Seng Chun has shop spaces opening out to public covered walkways on the ground floor, and residential upper floors with wide verandahs. Built in 1931, when reinforced concrete became widely used locally in construction, it is among the earliest buildings in Hong Kong whose structure is built using this relatively new technology. Lui Seng Chun was designed by Walter Hargreaves Bourne, a local architect (Authorized Architect from 1925 to 1938)

who specialized in shop houses. The source of information for the architect is attached as Appendix F. A comparable building to Lui Seng Chun is Tung Tak Pawnshop at 371 Hennessy Road in Wan Chai (Figure 2 page 98).

- 1.2.1.2 At the end of the 1920s, Art Deco began to replace Neo-Classicism as the popular architectural style in Hong Kong. Art Deco became the dominant style throughout the 1930s, but was completely superseded by Modernism by the early 1960s. Lui Seng Chun, as a building designed in the early 1930s, shows the early influence of Art Deco while retaining the Neo-Classical style of earlier decades. Such a mixture of old and new styles is not uncommon in buildings designed during a transitional period of architectural trends. Similar to Lui Seng Chun, a number of shop houses built in Singapore in the late 1920s and early 1930s display a mixture of Art Deco and Neo-Classicism (Fig 3 page 99).

1.2.1.3 Neo-Classical elements:

- 1.2.1.3.1 Elliptical pediment over the ground-floor entrance area.
- 1.2.1.3.2 Flattened triangular pediment on the roof.
- 1.2.1.3.3 Giant columns rising from the first floor to the second floor.

1.2.1.4 Art Deco elements:

- 1.2.1.4.1 Geometrically simplified decorative details, particularly the column capitals on the top floor and the flattened triangular pediment on the roof.

Appendix A – Historical Statement of Significance

- 1.2.1.4.2 Flagpole-like decorative feature that rises from the roof pediment. This is one of the most characteristic features of Art Deco buildings, and is most commonly found on Art Deco shop houses in Singapore (Figure 4 page 99).
- 1.2.1.5 Lui Seng Chun is architecturally significant for the following reasons:
 - 1.2.1.5.1 One of the few remaining corner tong tau in Hong Kong.
 - 1.2.1.5.2 One of the few tong lau designed by an authorized Western architect.
 - 1.2.1.5.3 An early example of a building constructed with reinforced concrete beam and slab supported by granite columns and brick core walls.
 - 1.2.1.5.4 An early example of the emergence of the Art Deco style in Hong Kong.
- 1.2.2 Contextual
 - 1.2.2.1 Lui Seng Chun is situated on Lai Chi Kok road in the district of Lai Chi Kok and near the larger district of Sham Shui Po. These are population-dense districts that are home to a large portion of Hong Kong's lower economic class. The area was not known for having a concentration of Chinese medicine shops or trades; instead, Hong Kong's concentration of such activities was in the Sheung Wan district. As such, the type of commercial activities in Lai Chi Kok was never the context for Lui Seng Chun; rather, it was the demographics, especially the socio-economic class of the people inhabiting the district that formed the operational context for Lui Seng Chun.
 - 1.2.2.2 Lui Seng Chun is contextually significant for the following reasons:
 - 1.2.2.2.1 A commanding urban landmark in the Lai Chi Kok and Sham Shui Po districts.
 - 1.2.2.2.2 A physical manifestation of the social context of the Lai Chi Kok and Sham Shui Po districts.
- 1.2.3 Historical and Social
 - 1.2.3.1 Lui Seng Chun was built and originally owned by Mr. Lui Leung, who was born in Taishan, Guangdong in 1898, and who arrived in Hong Kong to settle in 1922. Once in Hong Kong, he operated a trading company and, in 1933, together with four others, he founded KMB Co., a small bus company that served Kowloon. He chose two sites on Lai Chi Kok Road as the sites for Lui Seng Chun, a Chinese medicine shop and residence, and the KMB Depot.
 - 1.2.3.2 "Lui Seng Chun" is not only the name of a building, but the name of a Chinese medicine shop and the brand of packaged Chinese medicine that Lui Leung sold. Lui Leung originally chose the site on Lai Chi Kok as he had wanted to provide inexpensive medicine to the lower economic class that settled in this new district. Lui Seng Chun was an extra-curricular activity for Lui Leung; neither the business nor the building was ever listed as part of KMB Co's assets.
 - 1.2.3.3 Lui Seng Chun is historically and socially significant for the following reasons:
 - 1.2.3.3.1 A physical representation of the social history of a family from Mainland China,

Appendix A – Historical Statement of Significance

who came to Hong Kong, and created a successful local business.

- 1.2.3.3.2 Illustrative of the social phenomenon of "giving back to community" that was widespread among early Hong Kong immigrants.

1.3 Character-defining Elements (CDEs)

- 1.3.1 The heritage values of Lui Seng Chun (architectural, contextual, and historical and social) are directly linked to a series of character-defining elements (CDEs). To maintain the significance of the building, each element needs to be protected and appropriately conserved. The following CDEs have been identified as particularly important:

1.3.2 List of CDEs

- 1.3.2.1 Front verandahs with railings and related details.
- 1.3.2.2 Courtyard verandahs with railings and related details.
- 1.3.2.3 Interior floors with original tiles.
- 1.3.2.4 Doors and windows with details, especially the mechanics.
- 1.3.2.5 Staircases with handrails.
- 1.3.2.6 Cornice and pediment details.
- 1.3.2.7 Chimney.
- 1.3.2.8 Ground floor granite columns.
- 1.3.2.9 Ground floor entrance, especially design and finishings.
- 1.3.2.10 Flagpole.

- 1.3.2.11 Other decorative (fixed) elements.

- 1.3.2.12 Artifacts.

1.3.3 Description of CDEs and Recommended Actions

- 1.3.3.1 Although a list of CDEs is very useful, of even greater use is a chart that sets out each CDE, notes its current state (and, if known, its original state) and recommends an appropriate level of care (intervention). Table 01 offers an abbreviated version of such a chart and, hopefully, demonstrates its potential value.

1.4 Introductory Comments

- 1.4.1 Existing documentation suggests that recent work carried out on the building was seen as basic repair work. Given the poor condition of the building, remedial repair work can be justified. Because of the heritage importance of the building, in the future adaptive re-use of the building, the works should reflect international Best Practice in the field of conservation.

1.5 Issues

- 1.5.1 The structural and less major repair works involved a range of intervention from minimum to maximum. Structural repair work, for example, included the repair of reinforced concrete structural members, while other repair work included the replacement / repair of deteriorated wooden door and window frames and ironmongeries.
- 1.5.2 Over time the authenticity of the fabric of the building has been affected. While recent structural repair work was clearly necessary and appears to have been done to an acceptable standard, the same rigor seems not to have been applied to other repair, replacement and alteration works in the past. For example, careful scrutiny of older repairs reveals a series of alterations and damages to existing building fabric.

Appendix A – Historical Statement of Significance

- 1.5.3 Because of different degrees of intervention throughout its life, it could be argued that the building is a mixture of different conservation approaches – preservation, conservation, restoration, reconstruction and rehabilitation..
- 1.5.4 Given that this is one of Hong Kong's pilot projects in the adaptive re-use of a heritage *tong lau*, there is a potential opportunity to showcase it as an example of good stewardship of a heritage resource. Best Practice conservation approach should be adopted in the adaptive re-use project.

1.6 Recommendations for future restoration projects

- 1.6.1 Document building/complex completely and systematically before commencement of any intervention.
- 1.6.2 Write a Statement of Significance (SOS) (description; values; and CDEs) with input from professionals and representative members of the community.
- 1.6.3 Propose appropriate interventions based on international Best Practice in conservation and SOS.
- 1.6.4 Write detailed specifications that move beyond generalized directions, such as, "make good".
- 1.6.5 Supervise all work regularly and closely.
- 1.6.6 Document building/complex completely and systematically after all interventions.

1.7 Implications

- 1.7.1 To recapture the building's fabric value, repair work, excepting structural repairs, needs to be systematically assessed for accuracy and, where lacking, such work needs to be redone according to conservation standards ("Best Practice") befitting a Grade 1 building. In discussions of authenticity, the **process of fabrication** can carry as much importance (value) as the fabric

itself.

- 1.7.2 Most fortunately, given the poor "as found" condition of the building, it is probable that little of material (fabric) value has been lost in the current round of repairs, and, as a corollary, redoing some of the repair work will not materially affect the authenticity value of the building's fabric.
- 1.7.3 Of course, there remains the overall **integrity** of the building and, clearly, given the level of repair (intervention) and the removal of some elements from the service areas, the integrity of the building has been reduced. However, with the careful replication of building elements, the overall integrity of the building can be improved.

Appendix A – Historical Statement of Significance



Figure 1: Lui Seng Chun, an early 1930s reinforced concrete tong lau. (Source: AMO)



Figure 2: Tung Tak Pawnshop in Wan Chai, contemporary with Lui Seng Chun. (Source: Lee Ho Yin)

Appendix A – Historical Statement of Significance





Figure 3: Early 1930s Singapore shophouse showing a mixed Art Deco and Neo-Classical style. (Source: Lee Ho Yin)






Figure 4: A late Art Deco shophouse in Singapore that features an antenna-like decorative element projecting from the pediment. (Source: Lee Ho Yin)


Appendix A – Historical Statement of Significance

Table 01 Lui Seng Chun: Selected Character-defining Elements (CDEs) and Recommended Conservation Action

Description	Current state	Original state	Recommended actions	Remarks
Front Verandas Uninterrupted space; Balustrades and stone railings (1 st and 2 nd floors); Stone railing (3 rd floor); Pediments.		From historical pictures and from designs of buildings of the same period, it can be assumed that the verandas were designed as uninterrupted spaces.	(i) Maintain the uninterrupted spaces; (ii) Clean the stone railings.	A number of balusters have been repaired. A complete schedule of repaired balusters is required.
Interior Floors Coloured ceramic tiles and their geometric patterns.		From careful examination, it appears that the floor tiles are in their original state, with minor exceptions.	(i) Replace damaged tiles with tiles of the same composition and colour; (ii) Clean floors; (iii) Remove raised wooden floor from ground floor shop areas.	A new layer of cement sand screeding finish in the form of square tiles has been laid over original tiles on part of the 1 st floor veranda (date unknown). Further investigation is required and, if the investigation suggests, the original layer may be re-exposed by removing the new layer.

Doors French doors along the inside of the verandas and solid wooden doors in other areas (along with their associated iron grills, patterned glass and various mechanical devices).		From the examination of the French doors, original profiles and details are evident. It is also evident that the wooden panels had mechanisms attached to them to keep the doors open in windy conditions.	(i) Follow original design details; (ii) Use same type of materials; (iii) Reinstall original finishes. (iv) Reinstall original mechanics.	Existing French doors along the inside of the verandas show various combinations of old and new parts as well as various types of finish. A complete schedule of repaired doors is required.
Cornice and Pediment Details		From remaining details, the original cornice and pediment details are evident.	(i) Where damaged or repaired badly, follow design of intact adjacent sections with similar features; (ii) Use similar materials; (iii) Reinstall original finishes.	Details of the cornice were damaged/changed by previous alterations and have not been reinstated. A complete schedule of repaired cornice and pediment details is required.
Chimney		From examination of the chimney, it appears that the chimney is in its original state.	(i) Retain; (ii) Repair with same materials.	Although the chimney does not have a functional use currently, it is a distinctive CDE and, accordingly, must be conserved.

Appendix A – Historical Statement of Significance

Flagpole		<p>The original concrete “flagpole” has been dismantled and removed from the site as its advanced deterioration was a danger to the public and beyond practicable repair.</p>	<p>(i) Construct a replica flagpole using the original materials and methods if possible. Cartographic and photo graphic records are available to ensure the replication work is accurate.</p>	<p>The “flagpole” is an important CDE that expresses Art Deco influence. It cannot be reinstated due to its condition, but should be accurately replicated and installed as new.</p>
----------	---	---	--	--

Appendix B – Statutory Requirements

- Building (Construction) Regulations

- All options

Floor strengthening works for all three options are required as the assumption for imposed loads was increased.

- The related clauses extracted from building regulations are:

CAP 123B

BUILDING (CONSTRUCTION) REGULATIONS

reg. 17 Imposed loads

(1)

The imposed load on any building, street, building works or street works shall be the greatest applied load likely to arise from the intended use or purpose of the building, street, building works or street works (including forces exerted by the adjacent ground), but subject to this regulation-

(a) the minimum imposed load on a building or street shall be-

(i) the distributed load specified in column 3 of Table 1 applied uniformly on plan; or

(ii) the concentrated load specified in column 4 of Table 1 applied on plan over any square with a 300 mm side; or

(iii) the total load specified in column 5 of Table 1 applied on beams uniformly distributed over the span, whichever shall produce the most adverse effect;

(b) beams, ribs and joists spaced at not more than 1 m centres shall not be regarded as beams for the purposes of column 5 of Table 1;

(c) where a building is to support partitions but the position of the partitions is not indicated on the plan of the building, the weight of such partitions shall be regarded as imposed distributed load applied uniformly on plan and shall, in addition to other imposed loads, be- not less than 1/3 of the weight per metre length of the partitions uniformly distributed per square metre; and

(i) not less than 1 kPa if the floor is used for office purposes.

Appendix B – Statutory Requirements

Building (Standards Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations

- All options

Adequate sanitary fitments provisions.

- The related clauses extracted from building regulations are:

CAP 123I BUILDING (STANDARDS SANITARY FITMENTS, PLUMBING, DRAINAGE WORKS AND LATRINES) REGULATIONS.

reg. 5 Offices, industrial undertakings and other places of work.

1) Save as provided in paragraph (3), in every building used or intended to be used for the purpose of an office and in every industrial undertaking and other place of work-

(a) the number of watercloset fitments and urinals provided for male persons employed or likely to be employed therein shall be not less than the number specified in Table VI;

(b) the number of watercloset fitments provided for female persons employed or likely to be employed therein shall be not less than the number specified in Table VII; and

(c) the number of lavatory basins provided for persons employed or likely to be employed therein shall not be less than the number specified in Table VIII

Appendix B – Statutory Requirements

Code of Practice for The Provision of Means of Escape in the Case of Fire 1966

- All options

Section 7 Assessment of accommodation

The capacity or population of the building, or the number of persons and population density within the building is determined by reference to Table 1 of the code the allowed capacity for assessing the requirements for means of escape.

Floor and Enclosed Area	Population
Ground Floor Plan 63.9 M2	21 persons
First Floor Plan 137.5 M2 (including major balcony)	45 persons
Second Floor Plan 138 M2 (including major balcony)	46 persons
Third Floor Plan 138 M2 (including major balcony)	46 persons
Roof Floor Plan 141.4 M2 (no roof covering)	47 persons

Note:

Assuming 3 sq. m. per person for shopping areas as per Code

Section 9 Buildings with a Single Staircase

Single staircase may be permitted in buildings not exceeding 6 Storey's in height and the level of the uppermost storey is not more than 17m above the level of the ground at the point of discharge of the stair.

Although the existing stair complies, it is non-compliant in other aspects.

Section 11 Exits from Storey's

The current widths of the existing exit stair do not comply with the minimum requirement stated in the Code.

Section 13 Access to Staircase(s) within a Building

Every staircase should be separated from the remainder of the building in accordance with the requirements of the Code of Practice for Fire Resisting Construction.

The existing stair does not comply with this requirement.

Section 14 Direct Distance and Travel Distance

In a storey of a single-staircase building, the travel distance and the sum of the direct distance should not exceed the limitation stipulated in Table 3 of the Code.

The travel distances at present comply with this requirement.

Section 15 Discharge Value and Width of Staircase

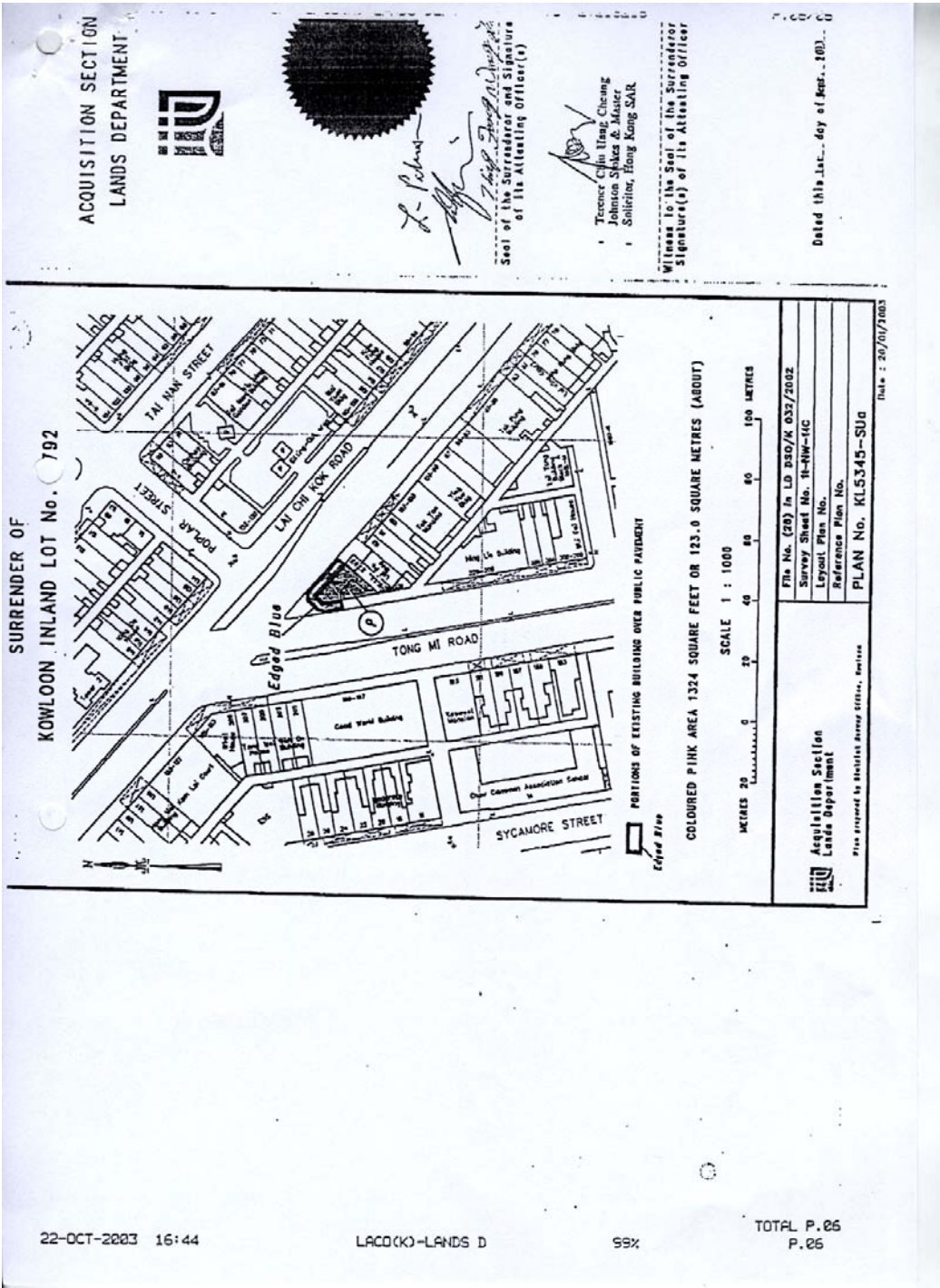
The existing stair does not comply with the minimum requirement required by this code.

Section 17 Construction of Staircase

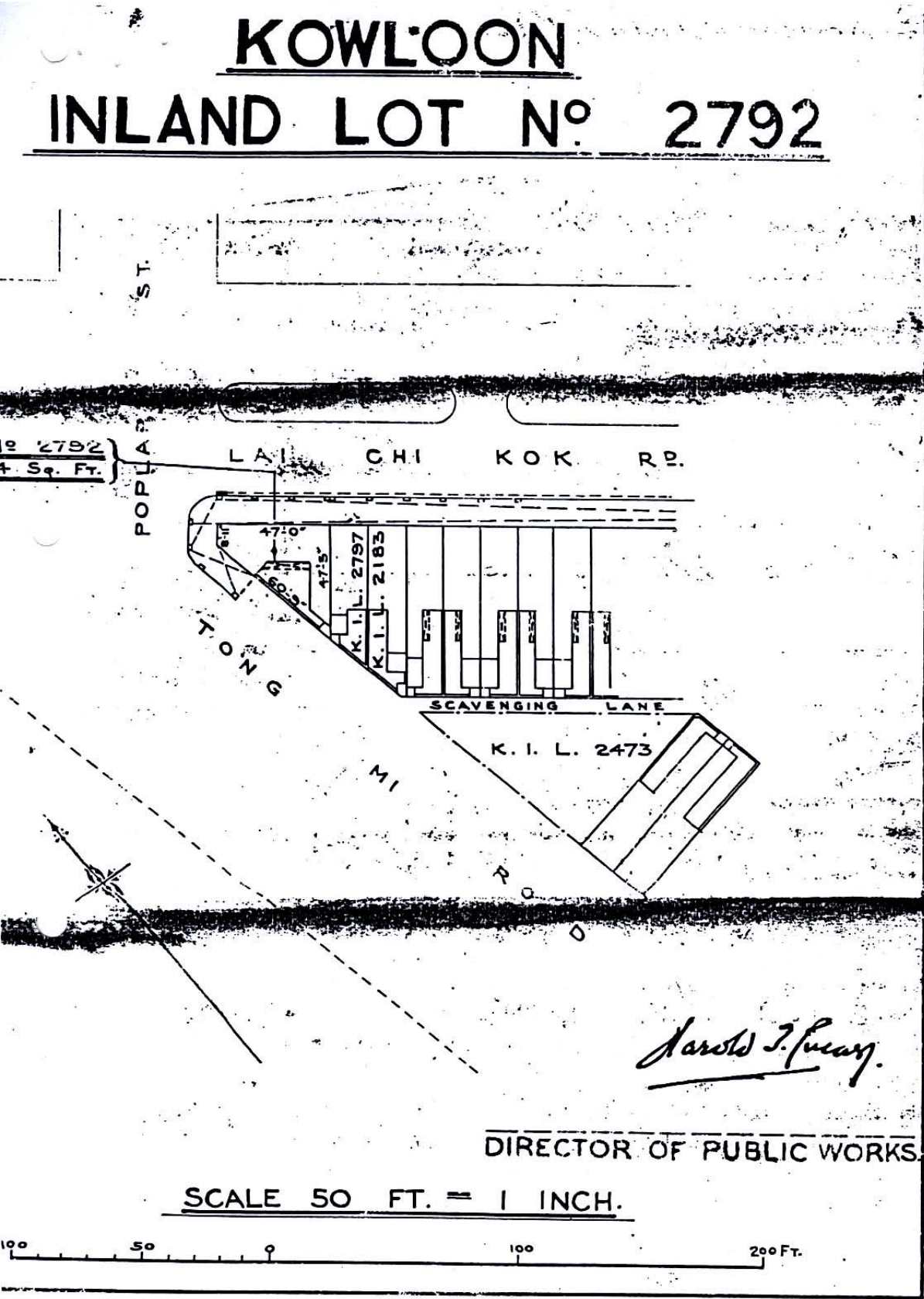
The existing stair does not comply with the minimum requirement required by this code.

Appendix C – Extract from Government Lease Document and New GLA

Extract from GLA



Extract from original Indenture Document



Appendix D – Case Study – Macau Pawn Shop

The Pawn Shop Tak Seng in Macau is a very successful example of adaptive re-use.

The building originally operated as a Pawn Shop, but is now used by the general public as a reading room, and is very popular with the local community.

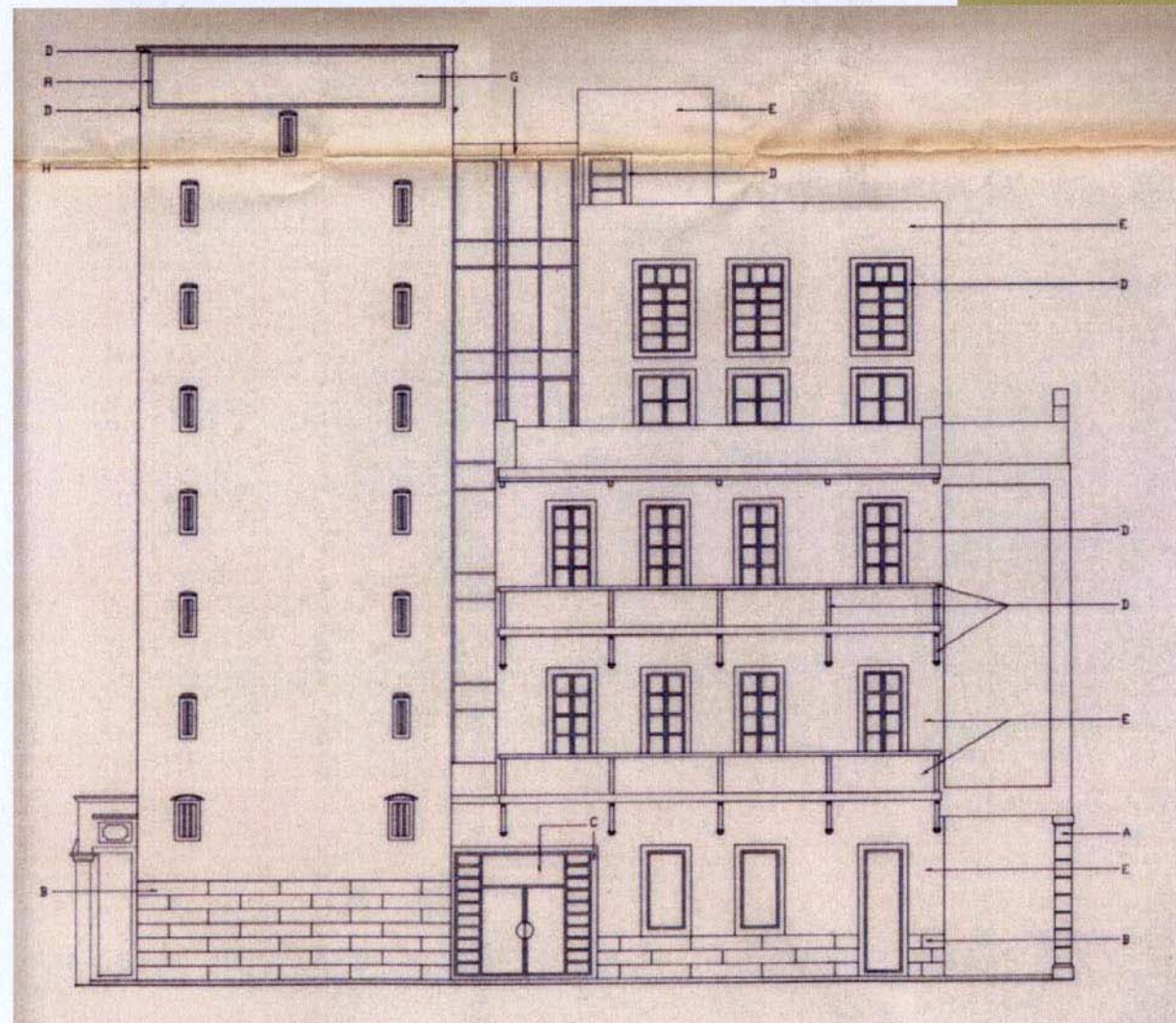
The building could have some relevance to Lui Seng Chun with respect to the adaptive work and the management. The following points relating to the operation and management of the building are similar to those proposed for Lui Seng Chun.

1. The building is open to the public, who are charged a nominal entrance fee.
2. The building has an internal spiral staircase, which would be non-compliant as a means of escape.
3. The building is managed actively to ensure a limited number of people are using the building at any one time



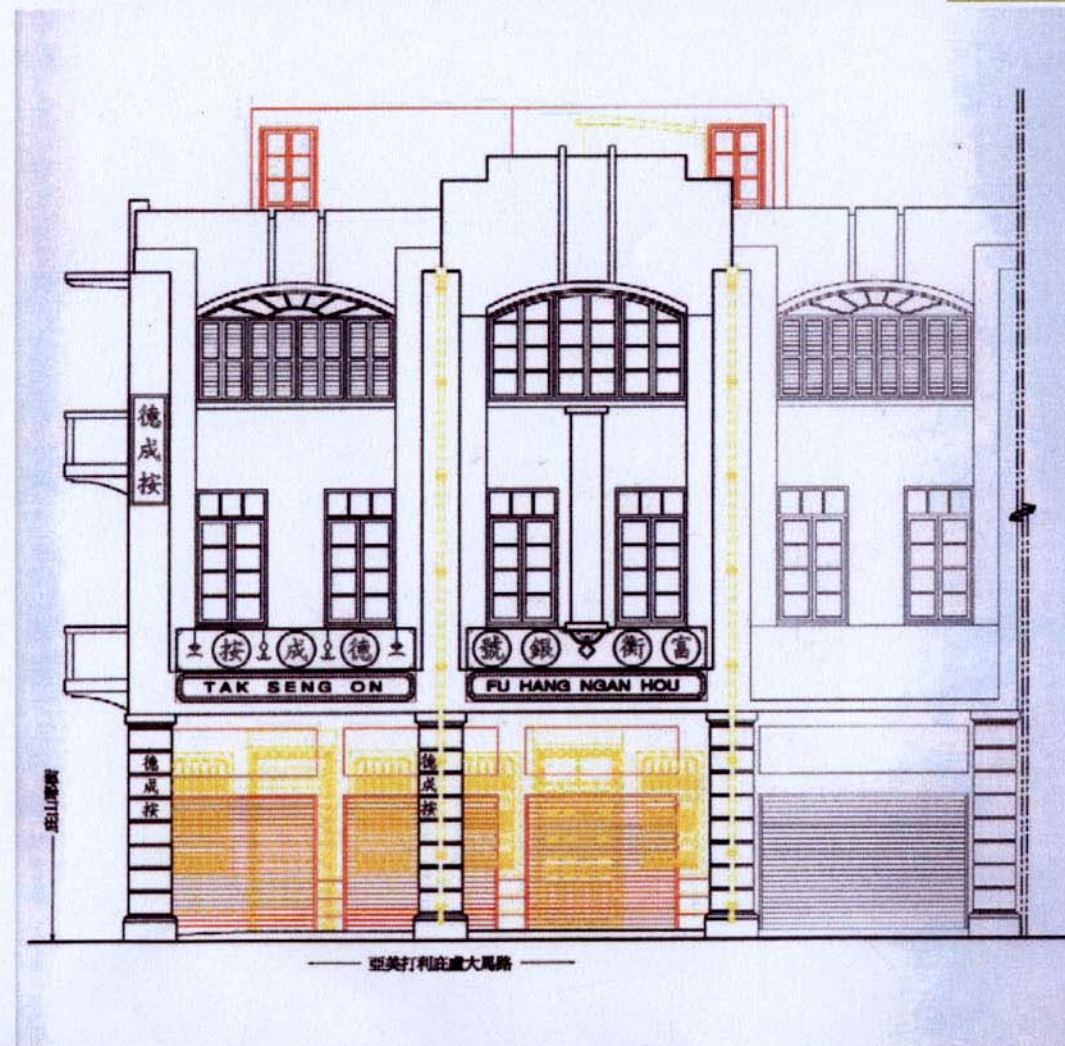
CASE STUDY : PAWN SHOP TAK SENG

1995 Redevelopment
Project-side facade



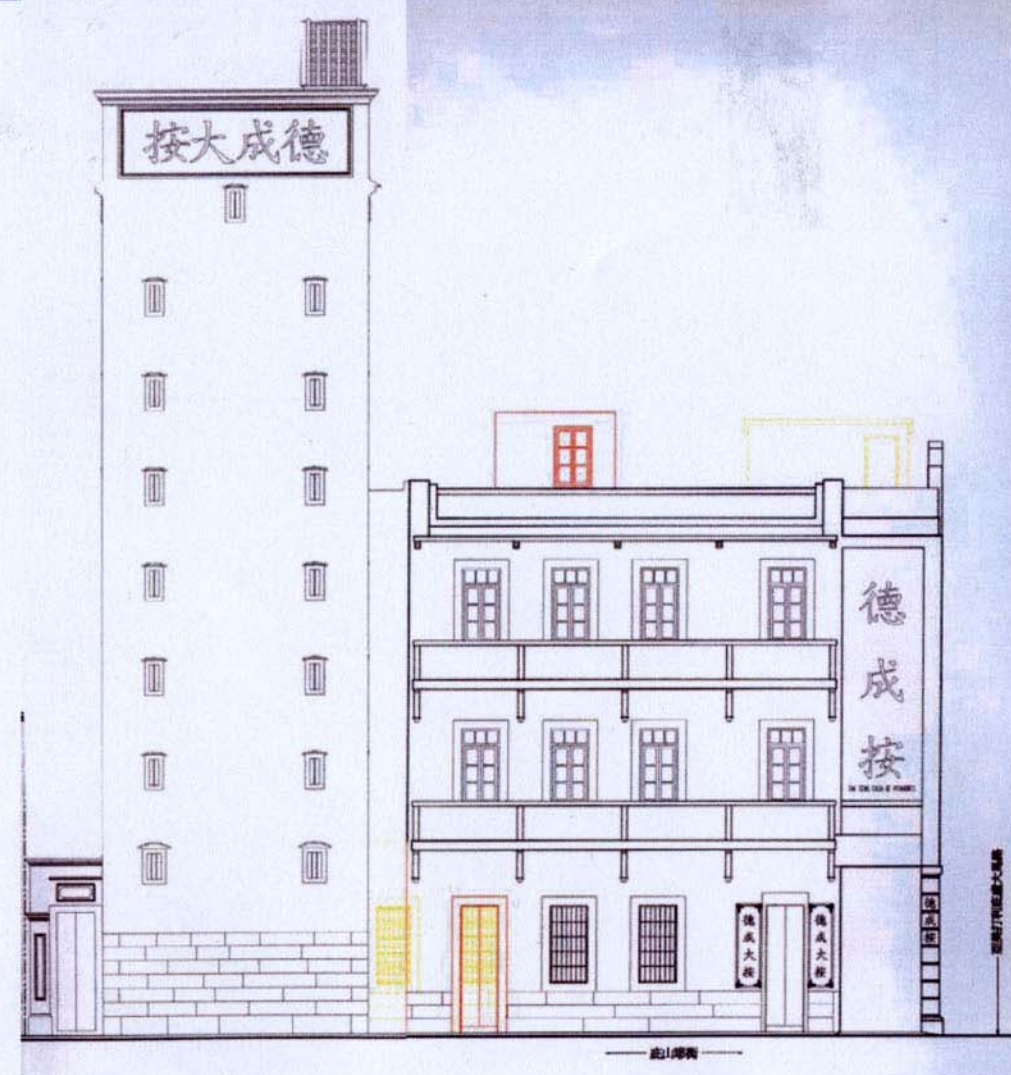
CASE STUDY : PAWN SHOP TAK SENG

2000 Redevelopment
Project-main facade




CASE STUDY : PAWN SHOP TAK SENG

2000 Redevelopment
Project-side facade



CASE STUDY : PAWN SHOP TAK SENG


 澳門特別行政區政府
 Governo da Região Administrativa Especial de Macau
 文化局
 Instituto Cultural
 文化遺產廳
 Departamento do Património Cultural

78

批示:
Despacho

同業本報告士以意見建議,呈請社會文化司長
予以確認。 15.12.00

事由:
Assunto

位於亞美利利庇盧大馬路386至396號之土地提供意見
 Pedido de parecer do avenida de Almeida Ribeiro, N.ºs 386 a 396.
 (Processo 2000A040)

意見:
Parecer

上段地段位於亞美利利庇盧大馬路被評定之建築群內,其建築條件如下:

地段A: 建築物重建時,其高度不能超過18米,而在樓宇現有高度上
 加建之部份建築應與其旁邊之牆石塘當鋪保持3米的距離。

地段B: 保持現有之立面且不能增加其高度。

此外, A, B地段建築之外牆應採用灰泥批盪及木製或鍍色鋁門窗。

二零零零年十二月六日於澳門

謹呈上級批示

文化遺產廳廳長
陳澤成
高級技術員
張錦標
19.12.00

同業
崔志華
19.12.2000

CCX/ck

CASE STUDY : PAWN SHOP TAK SENG

70

澳門特別行政區政府
Governo da Região Administrativa Especial de Macau
文化局
Instituto Cultural
文化遺產廳
Departamento do Património Cultural

批示:
Despacho

同應本報告主建議,呈請社會文化司司長予以核議。
20.11.00
11.10.00

事由:
Assunto

位於亞美打利庇盧大馬路(新馬路)386-390號及396號的更改工程
計劃書
Avenida de Almeida Ribeiro n.ºs 386 - 390 e 396
(Proc. 254/2000/L)

意見:
Parecer

位於新馬路386-390號“富衡銀號”及396號“德成按”,由於空置多年,現業主要求重新裝修上述建築物,計劃保留沿街立面,重新設計內部間格,以作商業用途。

該兩幢樓宇,均被評為具建築藝術之建築物,且是同類建築物中保存得最完整,規模最大的,又地處新馬路受保護建築群內,鄰近福隆新街,為遊客常到的區域。

該兩幢樓宇雖然空置多年,現時其內部仍保持原有面貌,能很好地反映澳門昔日當押及銀號的情況。如果將建築物改建為普通的商用大廈,殊為可惜。

我們就此建議政府跟業主協商,將該兩幢樓宇內外原有面貌保留,並改作有關昔日當押業及銀莊的生活博物館,充份利用該兩幢樓宇的地理條件,為發展本地文化旅遊增添景點,並進而開發其鄰近街區與旅遊有關的商業。

二零零零年十月十二日於澳門
謹呈上級批示

AL/mb

文化遺產廳廳長
陳澤成
高級技術員
呂澤強
呂澤強

2000年10月12日
A-1 2000/10/12
Formulário A-1 (Imp. Out. 2000)

CASE STUDY : PAWN SHOP TAK SENG

214
Cassio Pimenta
26-03-2001
26-03-2001

澳門特別行政區政府
Governo da Região Administrativa Especial de Macau
文化局
Instituto Cultural

批發: 1566
14. MAR 2001
21 MAR 2001

意見: Parecer
以文化促進旅遊,是特區政府文化政策的其中一項重要內容。位於必石塘的德成棧的保存情況相當良好,如政府順利取得該建築物的擁有權,再加以修復並適當利用,將會使其成為另一個新的旅遊景點,從而提高新馬路一帶的旅遊價值。呈請社會文化司司長批准本局為達到上述目的作進一步行動,包括了解業主出讓的意向等。

批示: Despacho
同意與業主研究其意向。
21-3-2001

呈請司長予以批准。
何麗霞
12.3.01

批: DPC
22.3.01

事由: 鑲石塘當舖
Assunto: 鑲石塘當舖

報告書
Informação

編號: 15/DPC/2001
N.º
日期: 08 01 2001
Data

在澳門文物建築中,當舖建築可算是一個異數,它外形奇特,且沒有風格可言,完全是以功能衍生出形式,並表現出一定的美學韻味。而其發展的興衰與社會之發展緊密連繫著,事實上,當舖歷史也直接或間接反映

--/2

A-4 0000107 20010321
Formato A-4 (Ann. Rev. 2001)

15/10/2001 16:46 700404

1.C.

Page 03

澳門特別行政區政府
Governo da Região Administrativa Especial de Macau
文化局
Instituto Cultural

署長
Parecer

同意批准并給予“國際工程
顧問有限公司”，總金額
為MOP114,759.90。並
按建議書內容支付。
呈請社會文化司司長
予以批准。

10.10.01

批示:
Despacho

EE: DAF (18)
DPC (LAPM - 2nd. 185) 08
20.12.10.01

事由 樓宇修繕工程之結構加固
Assunto

各類設計計劃 (Projectos diversos da

consolidação de estrutura da Prestumista na Rua
de Camilo Pessanha) - PIDDA 2001

建議書
Proposta

編號: 185/DPC/2001
N.º
日期: 10 / 10 / 2001
Data

根據社會文化司司長於 6 月 6 日對本編號 70/DPC/2001 號建議書的批示（見附件一），批准進行樓宇修繕工程之諮詢，然而由於興建建築物業權人的協議書尚未達成，所以一直沒有展開有關諮詢。

近日，有關協議書的磋商已進入最後階段，因此可以進行上述諮詢，可是在制定有關工程計劃時，發現該項維修目前的建築物將不可能履行該協議中保留部分空間予

10/10/2001

CASE STUDY : PAWN SHOP TAK SENG



CASE STUDY : PAWN SHOP TAK SENG



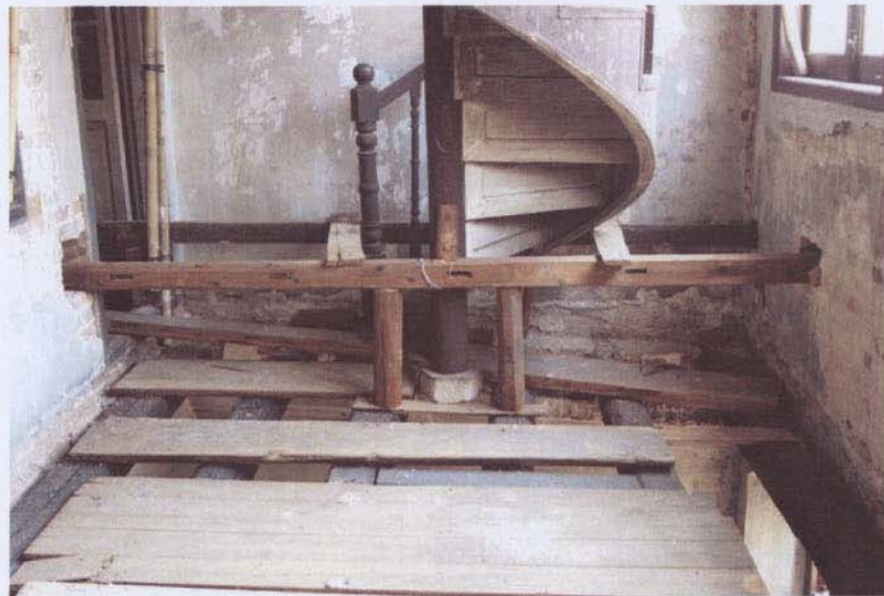
CASE STUDY : PAWN SHOP TAK SENG



CASE STUDY : PAWN SHOP TAK SENG



CASE STUDY : PAWN SHOP TAK SENG



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CASE STUDY : PAWN SHOP TAK SENG



CASE STUDY : PAWN SHOP TAK SENG



CASE STUDY : PAWN SHOP TAK SENG



THANK YOU !


Appendix E – Artifacts Display – Possible use in Fit- Out

The item data sheets were supplied by The Antiquities and Monuments Office (AMO)

1.0 Existing External Doors

Doors restored using all existing components and installed in new partition walls as office doors.

The doors will be in a protected air conditioned environment and will not need to be restored to the extent they are water proof.


Accession Form of HB Collection			
Accession No.		Type	
Name	Wooden panel door with iron grille (LSCXX2)		
Source	File Ref.	LCS AM 51/2/13 (VII)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street (Container No. 7)
Collected by	ACII(BC)3	Collection Date	6 May 2005
Remarks (e.g. Acknowledgement)			
Photo			
			

Appendix E – Artifacts Display – Possible use in Fit- Out

1.2 Grinder (4 similar artifacts)

Display in protected glass display cabinet incorporated into the interior design.

Relin at Oil Street (As at 25/4/2005)


Accession Form of HB Collection			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Grinder 石磨 (1)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i> Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i> Address of Donors: Kinililand Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
<i>Photo</i> 			

Appendix E – Artifacts Display – Possible use in Fit- Out

Appendix E – Artifacts Display – Possible use in Fit- Out

Medicine Bottle (10 similar artifacts)

Could be re-used in the case of new building use as a Traditional Medicine Shop.


Accession Form of HB Collection			
Accession No.		Type	
Name	Bottle for medicine 藥瓶 (5)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor) Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement) Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
Photo 			

1.3

Appendix E – Artifacts Display – Possible use in Fit- Out

1.4 Bowl


Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Bowl 瓷碗 (11)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i> Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i> Address of Donors: Kiniland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
<i>Photo</i> 			


Appendix E – Artifacts Display – Possible use in Fit- Out

1.5 Jar

Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Jar 甕 (12)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i> Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i> Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
<i>Photo</i> 			

Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	Pot with cover 有蓋瓦煲 (13a-b)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor) Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACH(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement) Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
Photo <div style="text-align: center;">  </div>			


1.6 Pot with cover

Display in protected glass display cabinet incorporated into the interior design.

Appendix E – Artifacts Display – Possible use in Fit- Out

1.7 Glass Bottle (5 similar)


Display in protected glass display cabinet incorporated into the interior design.

Accession Form of HB Collection			
Accession No.		Type	
Name	Glass bottle 有蓋玻璃瓶 (14a-b)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor) Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement) Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
Photo 			


Appendix E – Artifacts Display – Possible use in Fit- Out

1.7 Written Tablet

Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Tablet written 景先 「景先」 鏡匾(19)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i> Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i> Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
<i>Photo</i> 			

Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	Pot 壺 (20)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor) Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement) Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
Photo <div style="text-align: center;">  </div>			


1.8 Pot

Display in protected glass display cabinet incorporated into the interior design.


Appendix E – Artifacts Display – Possible use in Fit- Out

1.9 Dish (2 similar)

Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Dish 鉢 (21)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i> Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i> Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
<i>Photo</i> 			


Appendix E – Artifacts Display – Possible use in Fit- Out

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Mirror tablet written 雷生春大寶號新張鴻發 鏡牌 (23)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i> Mr. Henry Lui, Mr. Charles Lui and Mr. Lui Tim Leung			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i> Address of Donors: Kinliland Investment Company Ltd. 19/F., Mass Mutual Tower, 38 Gloucester Road, Wan Chai, Hong Kong Donation Day: 2 October 2003			
<i>Photo</i> 			

1.10 Mirror Tablet

Restored and mounted on wall as part of interior design

Appendix E – Artifacts Display – Possible use in Fit- Out

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Glazed entrance door (25)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i>			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i>			
<i>Photo</i> 			


1.11 Original Entrance Door

Restore and install as entrance door but protect with additional glazed security door to meet functional requirements (waterproof, security).


Appendix E – Artifacts Display – Possible use in Fit- Out

1.12 Literary couplet

Restored and mounted on wall as part of interior design

Accession Form of HB Collection			
Accession No.		Type	
Name	Literary couplet (26)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement)			
Photo			
			


Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	Lamp fitting (29)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement)			
Photo			
			

1.13 Lamp fitting

Restore and install as non-functioning fitting adjacent new functioning fitting to display changes over the years.


Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	Counter (32)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement)			
Photo			
			

1.14 Counter

Restore and re-use in interior design, with protective glass top, as functioning counter.

Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	Wooden partition (40)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement)			
Photo			
			


1.15 Wooden partition (2 similar)

Restore and install as cladding to new partition wall in interior design.

Appendix E – Artifacts Display – Possible use in Fit- Out

1.16 Tea Pot


Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	茶壺 x 2 (46)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i>			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i>			
<i>Photo</i> 			

Appendix E – Artifacts Display – Possible use in Fit- Out

1.17 Walking sticks

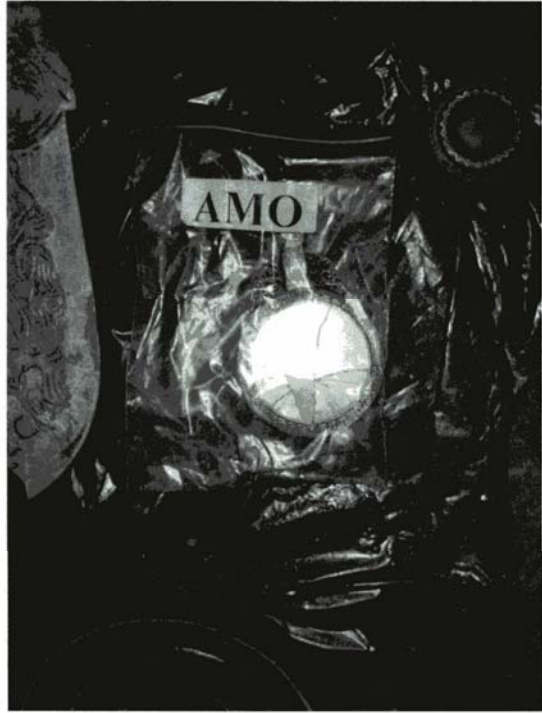
Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	拐杖 x 2 (47)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i>			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> (e.g. Acknowledgement)			
<i>Photo</i>			
			


Appendix E – Artifacts Display – Possible use in Fit- Out

1.18 Hand mirror

Display in protected glass display cabinet incorporated into the interior design.

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	圓形鏡 (48)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VI)	
<i>(Donor)</i>			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	3 May 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i>			
<i>Photo</i>			
			


Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	木椅 (49)		
Source	File Ref.	LCS AM 51/2/13 (VI)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street
Collected by	ACII(BC)3	Collection Date	3 May 2004
Remarks (e.g. Acknowledgement)			
Photo			
			

1.19 Trestle

Restore and incorporate into interior design as a non functioning display.


Appendix E – Artifacts Display – Possible use in Fit- Out

<i>Accession Form of HB Collection</i>			
<i>Accession No.</i>		<i>Type</i>	
<i>Name</i>	Socket (1)		
<i>Source</i>	<i>File Ref.</i>	LCS AM 51/2/13 (VII)	
<i>(Donor)</i>			
<i>(Contact Person)</i>		<i>(Contact No.)</i>	
<i>(Place of Collection)</i> Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
<i>Measurement</i>	<i>(Length)</i>	<i>(Width)</i>	<i>(Height)</i>
<i>Texture</i>		<i>Storage</i>	Oil Street (Container No. 7)
<i>Collected by</i>	ACII(BC)3	<i>Collection Date</i>	16 December 2004
<i>Remarks</i> <i>(e.g. Acknowledgement)</i>			
<i>Photo</i> 			

1.20 Electrical Socket (20 similar)

Restore and install as non functioning adjacent new functioning socket in selected locations.

Appendix E – Artifacts Display – Possible use in Fit- Out

Accession Form of HB Collection			
Accession No.		Type	
Name	Abacus (LSCX2)		
Source		File Ref.	LCS AM 51/2/13 (VII)
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street (Container No. 7)
Collected by	ACII(BC)3	Collection Date	18 March 2005
Remarks (e.g. Acknowledgement)			
Photo			
			


1.21 Abacus

Display in protected glass display cabinet incorporated into the interior design.

Appendix E – Artifacts Display – Possible use in Fit- Out

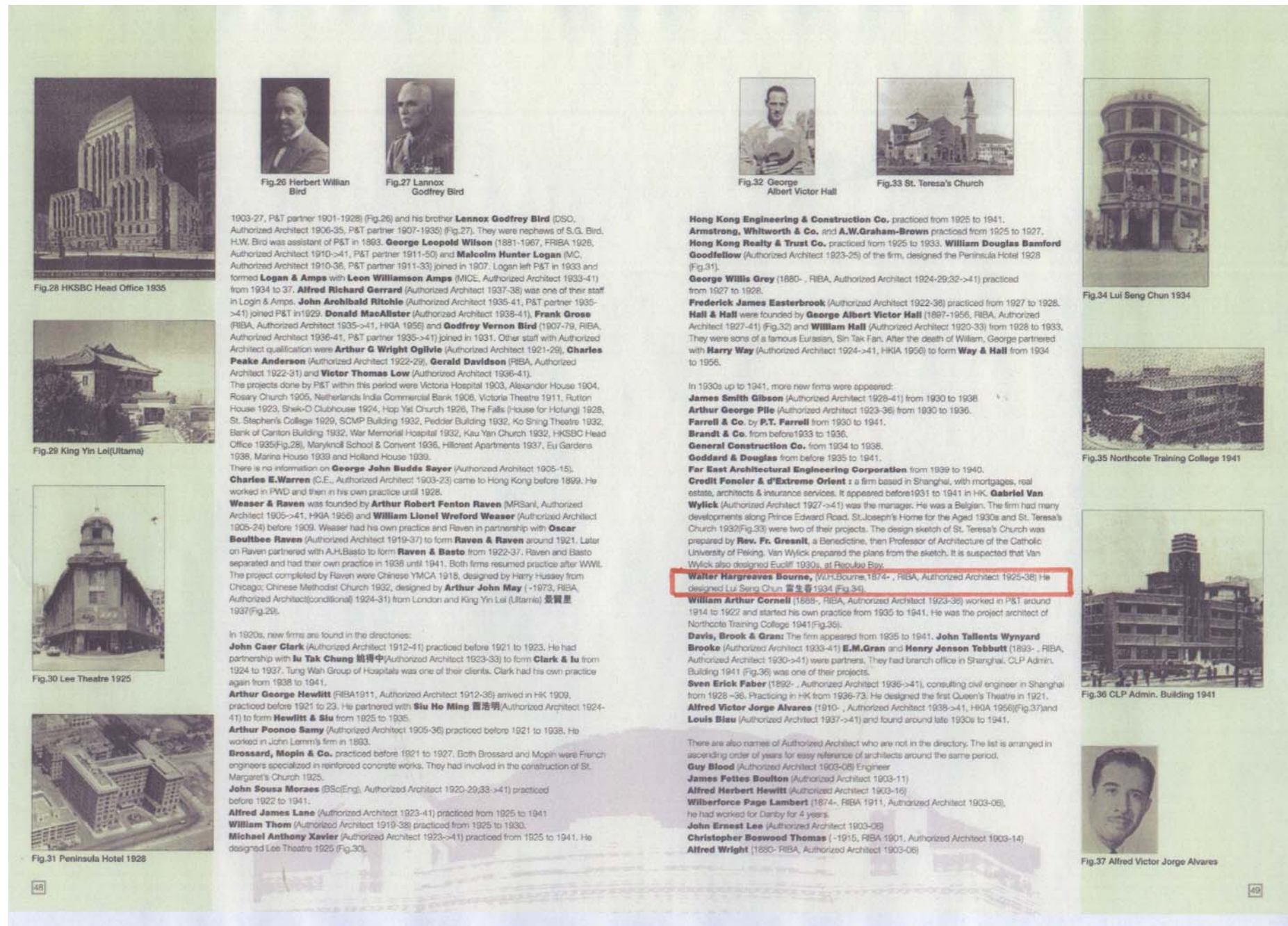
1.22 Security Barrier

Install in courtyard area.

Accession Form of HB Collection			
Accession No.		Type	
Name	Anti-burglary item (LSCX5)		
Source	File Ref.	LCS AM 51/2/13 (VII)	
(Donor)			
(Contact Person)		(Contact No.)	
(Place of Collection) Lui Seng Chun (雷生春), No.119 Lai Chi Kok Road, Mong Kok, Kowloon			
Measurement	(Length)	(Width)	(Height)
Texture		Storage	Oil Street (Container No. 7)
Collected by	ACII(BC)3	Collection Date	18 March 2005
Remarks (e.g. Acknowledgement)			
Photo			
			

Appendix F – Source of Architects Information

Extract from publication “From British Colonization to Japanese Invasion” by Tony Lam Chung Wai, Director of AGC Design LTD.



Walter Hargreaves Bourne, (W.H Bourne, 1874 - , RIBA, Authorized Architect 1925-38). He designed Lui Seng Chun 1934 (Fig.34)