



中研遺文建  
心究產化築

Consultancy for Heritage Impact Assessment for  
Transformation of the Former Police Married Quarters Site  
on Hollywood Road  
into a Creative Industries Landmark

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Architectural Services Department

# **CONSULTANCY FOR HERITAGE IMPACT ASSESSMENT FOR TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK**

March 2011

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# **EXECUTIVE SUMMARY**

## **(BUILT HERITAGE IMPACT ASSESSMENT)**

### **Background and Objectives**

The Centre for Architectural Heritage Research Centre (CAHR) has been commissioned by the Architectural Services Department (ArchSD) to conduct a Heritage Impact Assessment (HIA) for Transformation of the Former Police Married Quarters Site on Hollywood Road into a Creative Industries Landmark in the end of 2010.

The site has remained vacant since 2000. In 2010, Development Bureau launched proposals for transforming the former Police Married Quarters on Hollywood Road into a creative industries landmark. In the end of 2010, the Advisory Committee on Revitalisation of Historic Buildings completed the selection of the proposals and Development Bureau announced the successful proposal in November 2010. The selected operator is Musketeers Education and Culture Charitable Foundation Limited (Musketeers Foundation), with the support of Hong Kong Design Centre, Hong Kong Polytechnic University and the Hong Kong Design Institute of Vocational Training Council. The revitalized site will be named “PMQ” 原創坊. In November 2010, the site was accorded as Grade 3 Historic Building, and has been listed as a Site of Archaeological Interest after the site investigation in 2007.

The objective of this Heritage Impact Assessment (HIA) is to assess the impact of the proposal to transform the Former Police Married Quarters on Hollywood Road into a Creative Industries Landmark. This consists of two major parts, first part is the baseline study – identify the cultural significances of the site and establish conservation policies; and the second part is the impact assessment – identify potential impacts and suggest mitigation measures.

### **Significance**

The Former Police Married Quarters Site (abbreviated as PMQ) on Hollywood Road, No.35 Aberdeen Street, is bounded by four streets, namely Hollywood Road, Aberdeen Street, Staunton Street and Shing Wong Street. It was formerly the site of Queen’s College, which was originally known as Central School located at Gough Street before it was moved to the current site for larger campus. It was renamed as Victoria College when it was moved to the current site and completed in 1889 and finally renamed as Queen’s College in 1894 before it was demolished. The school was finally moved to its present site at Causeway Bay in 1950. The school building on Hollywood Road

was damaged seriously during the Second World War and was later demolished for the construction of the existing Police Married Quarters which was completed in 1951. The site consists of four plateaus formed by rubble granite retaining walls and three buildings, namely Block A and Block B which are the living quarters and a recreation centre, which was later converted into Junior Police Call Building (abbreviated as JPC Building). The three buildings are made of reinforced concrete, with Block A and Block B are of 8-storey and 7-storey high respectively, and the JPC Building is of 2-storey high.

The significance of the site is related to its different layers of history, its association with the former Central School, which was the first Government school to provide upper primary and secondary western education to the public, and the Former Police Married Quarters, which was the first police quarters for Asiatic married rank and file officers in Hong Kong. Architecturally, it represents the typical modern style architecture commonly found in the post war period, which is featured by functional and pragmatic approach on elevations and interior layout, with minimum decoration and spatial articulation.

## **Proposal**

The proposal is prepared by Architectural Services Department (ArchSD). The three existing building blocks, Block A, Block B and the JPC Building formerly served as police married quarters and recreation centre respectively, will be retained, reinforced, refurbished and upgraded for new uses. The original residential units at G/F and 1/F of Block A and Block B will be converted into studios and shops, while those at 2/F and above will become studios and offices for creative industries and ancillary facilities including six lodgings for visiting designers. The topmost floor of Block B will be undergone conversion into a high-headroom roof top restaurant with mezzanine floor. The two building blocks will be connected by an I-cube which is a double volume fully enclosed multi-function hall for events of creative industries at the 2/F level. A landscaped roof will be provided at the top of I-cube (i.e. 4/F) for occupant and public appreciation. A glass canopy will be added between Block A and Block B above the courtyard at 6/F to create a weather-proof outdoor space for holding large events and public leisure. An underground interpretation area beneath the courtyard including facilities for displaying foundation remains of the former Central School will be provided. The existing Junior Police Call Clubhouse (JPC Building) will be converted into a restaurant. The running of piping and passage of utilities will be located inside the underground public latrine. For public safety concern, one of the two entrances to the underground public latrine (at Aberdeen Street) will be decked over for pedestrian passage along Aberdeen Street with the parapet wall will be removed while the other entrance at Staunton Street will be retained, repaired and restored.



## **Impacts Assessment and Mitigation Measures**

Most of the proposed works are aimed to add values and meet the practical needs for the new adaptive uses or to meet the current legislations for public safety and barrier free accessibility, or necessary changes to make the place sustainable. Considering the proposed changes would not compromise the cultural significance of the historic site and be able to enhance the understanding the different layers of significance, which are considered justifiable. New additions including an I-cube and glass canopies will be introduced in either reversible manner or in a way not eroding the heritage values of the site. The alterations to the underground public latrine will be introduced in a reversible manner.

Another proposed major change is the conversion of the topmost floor of Block B into a high headroom roof top restaurant, which are demonstrably necessary to make the place sustainable and attractive as a landmark. It is recommended that this new roof top restaurant shall be added in a way that is distinguishable from the existing fabric while maintaining the integrity of the façade. The existing elevations of the topmost floor facing Hollywood Road and the courtyard will be retained in principle with the aim to maintain the integrity of the façade featured by the horizontality and the rhythm of solid and void. Considering the proposed changes may offer potential to enhance and add values to the site, and would not materially harm the values of the site, the predicted benefits to the site and the public would outweighs the impact to the top floor façade of Block B.

# 摘要 (建築文物影響評估)

## 背景及目的

建築文化遺產研究中心於2010年末受建築署委託，為荷李活道前已婚警察宿舍改造為標誌性的創意中心進行文物影響評估。

該址自2000年起開始空置。2010年，發展局計劃改造荷李活道前已婚警察宿舍為標誌性的創意中心。至2010年末，活化歷史建築諮詢委員會完成對建議書的甄選。2010年11月，發展局宣佈項目將由同心教育文化慈善基金會有限公司聯同香港設計中心、香港理工大學和職業訓練局轄下的香港知專設計學院奪得，活化成名為「原創坊」的標誌性創意中心。同時，該址被評為三級歷史建築，而前中央書院遺址亦於2007年的實地勘測後被列為香港具考古研究價值的地點之一。

這份文物影響評估的目的主要是評估將荷李活道前已婚警察宿舍改造為標誌性的創意中心的影響。該研究主要分為兩部份，第一部份是基線研究，以鑑定該址的文化價值，以及制定保育政策。第二部份為影響評估，以鑑定其潛在影響，同時建議改善措施。

## 文化價值

荷李活道前已婚警察宿舍位於鴨巴甸街35號，由荷李活道、鴨巴甸街、史丹頓街和城隍街四條街道包圍。該址前身原為皇仁書院(即前中央書院)的舊址。該校校舍原位於歌賦街，其後該校為擴充校舍，始遷移到新校舍，即現時荷李活道前已婚警察宿舍的位置。新校舍於1889年建成，該校遷到新址後，易名為維多利亞書院，於1894年再次改名為皇仁書院，至其拆卸前一直沿用皇仁書院的名字。1950年，該校遷到銅鑼灣現址。而位於荷李活道的校舍則在二次大戰期間破壞不堪，因而被拆卸。1951年，現存的已婚警察宿舍於該址建成。整個已婚警察宿舍由四個平台以及三幢建築物構成，該平台由花崗岩毛石擋土牆建成，而該三幢建築物則包括兩幢宿舍，分別稱為A座 (Block A)及B座(Block B)以及一幢康樂中心。該康樂中心其後改建為少年警訊會所。這三幢建築物以鋼筋混凝土建成，A座(Block A)及B座(Block B)分別樓高八層及七層，而少年警訊會所則樓高兩層。

該址的文化價值與其多重的歷史意義大有關係。首先，該址是皇仁書院，即前中央書院的前身。該校是香港首間為公眾提供中、小學西方教育的政府學校。而荷李活道已婚警察宿舍則是香港首間華人已婚的員佐級警務人員的警察宿舍。在建築上，前荷李活道警察

宿舍代表著戰後常見之現代風格的典型，其特色主要為功能主義，並採用實用及不花巧的立面設計和空間佈局及只作最基本的建築裝飾。

## 方案

方案由建築署負責設計。三幢現存的建築物，即A座、B座，及少年警訊會所，分別為前已婚警察宿舍及康樂中心將會被保留，並會作出鞏固、翻新及改善工程。原本位於A座及B座地下及一樓的住宅單位將會改裝為工作室及商店；二樓及以上樓層則會作為創意工業的工作室及其他配套設施，當中包括六個駐場藝術家的宿舍。B座的頂樓將會改建為一個高樓底的天台餐廳，並附設閣樓。而兩幢建築物將會由位於二樓的I-cube連接。I-cube是一個兩層高的室內多用途禮堂，提供舉辦創意工業活動的空間。其頂層(即四樓)將會建有一個平台花園，供用家和公眾享用。位於兩幢建築物之間的庭院將會由一個位於六樓的玻璃天幕覆蓋，形成一個全天候的室外空間，作為舉辦活動以及公眾休憩的地方。而在庭院的地底將會設有一個展示廳，展示廳內將會展示前中央書院的地基遺跡。至於現存的少年警訊會所將會改作餐飲用途。而公用設施如電纜等則會置於地下公共廁所內。基於公眾的安全考慮，地底公共廁所其中一個位於鴨巴甸街的出入口將會被填平為行人通道，其入口的矮牆將會被移除，而位於士丹頓街的入口則會原址保留、維修和修復。

## 文物影響評估及緩解措施

大部份建議的工程主要為增加該址的價值，及配合新用途的實際需要而設，同時亦為符合現行公眾安全條例以及提供無障礙的通道，或讓該址可持續發展而作的必要改動。考慮到建議的改動不會對該歷史遺址整體的文化價值有損害，並可以提升公眾對該址多層次文化價值的認知，新加設的建築，如I-cube及玻璃天幕將會以一個可還原的手法或在不損害該址文化價值的原則下進行。而地底公共廁所的改動亦會以一個可還原的方式進行。

另一個較大的改動建議是將B座的頂層改建為一個高樓底的天台餐廳，讓該址得以持續發展，並成為一個具吸引力的地標。報告建議新建的天台餐廳外觀應有別於現存建築物，以維持建築物立面的完整性。現存面對荷李活道以及庭院的頂層正立面將會原則上保留，目的是保留其立面橫向的線條及虛與實的特色。考慮到建議的改動或有機會提升及增加該址的價值，而且這些建議的改動亦將不會嚴重損害到該址的整體文化價值，因此，這些建議為該址及公眾帶來的預期好處將會超過對B座頂層正立面的影響。



# **EXECUTIVE SUMMARY**

## **(ARCHAEOLOGICAL IMPACT ASSESSMENT)**

The Chief Executive announced in his 2009-10 Policy Address to plan for the transformation of the Former Hollywood Road Police Married Quarters (the Site) into a creative industries landmark which affects the Former Central School Site, a Site of Archaeological Interest listed by the AMO, an Archaeological Impact Assessment (AIA) as part of the Heritage Impact Assessment (HIA) is required due to the implementation of this capital works project (the Project). ERM-Hong Kong Limited, as the sub-consultant of the Centre for Architectural Heritage Research Centre of the Chinese University of Hong Kong has been commissioned by the Architectural Services Department to conduct the AIA.

Desktop review supplemented by ground investigation findings identified underground remains of the Former Central School that are mainly located under the area between Block A and Block B but some of them had already been severely disturbed by the construction of the Former Police Married Quarters in 1950.

In order to meet public aspiration of displaying foundation remains and unearthed objects of the Former Central School and to manifest its cultural significance, an underground interpretation area (UIA) with the size of 230m<sup>2</sup> will be constructed beneath the area between Block A and B to display variety of foundation remains. However, construction of the UIA will potentially impact on some of the underground foundation remains of the Former Central School. Thus, mitigation measures including an archaeological investigation, collection and proper storage of impacted foundation remains, in-situ protection of foundation remains to be displayed prior to new materials are added on and full documentation (including photographic and video recording) prior to, during and upon completion of the works at the impacted areas have been recommended. All the relevant mitigation measures will be detailed in the Archaeological Action Plan (AAP), that will be prepared for the concerned areas.

In addition, construction of some of the pile-caps, passenger lifts, new staircases, underground utilities and landscaping work for the Project may potentially impact on underground features or structures of the Former Central School. The potential impact of these proposed works is considered acceptable and appropriate archaeological works will be designed and implemented as detailed in the AAP so as to tie in with the detailed design for the Project.

In order to ensure Site Staff are aware of the archaeological remains in the Site, the provision of an induction briefing and a communication plan and procedures during construction stage (i.e.

before and during the construction works) have also been recommended so that appropriate action could be taken if archaeological remains are identified.

Having considered that the underground remains in the Site had been considerably disturbed, and mitigation measures in the AAP will be implemented, the possible impact of proposed transformation works for the site is considered acceptable.

# 中文摘要 (考古影響評估)

行政長官在2009-10年施政報告中宣布，計劃把中環舊荷李活道已婚警察宿舍(下稱該址)轉化成一個創意產業的地標。由於此工程將會影響前中央書院遺址(此乃被古物古蹟辦事處列為香港具考古研究價值的地點)，所以此基本工程項目必須進行包括考古影響評估的文化遺產影響評估。環境資源管理顧問有限公司作為香港中文大學建築文化遺產研究中心之次承辦顧問公司受建築署委託進行此考古影響評估。

該址的文獻資料和地質勘探工程結果顯示，前中央書院地下遺跡主要埋藏在現存A座和B座建築物之間的範圍，但部份遺蹟於1950年興建舊荷李活道已婚警察宿舍時受到嚴重破壞。

為了滿足公眾期望能展示與前中央書院有關的地基和出土之遺物及彰顯其文化價值，此工程倡議在現存A座和B座建築物之間範圍興建一個面積有230平方米的地下展示空間，以展示多樣的地基遺跡。然而，興建地下展示空間會對部份的地基遺跡有潛在的影響；因此，本報告建議需根據考古工作計劃實施緩解措施，其中包括進行考古調查；收集並妥善儲存受影響的遺跡；原位保護將被展示的地基遺跡後才把新物料置於其上；並在受影響的遺跡位置於施工前、施工中及施工後進行完整的記錄（包括攝影和錄像記錄）。有關地點而制定之所有緩解措施將在考古工作計劃中詳細列明。

此外，是項工程興建的部份樁帽、客用升降機、新建樓梯、地下設施及美化景觀工程可能對前中央書院的地下遺跡或結構物有潛在的影響，其潛在的影響是可以接受的，而適當的考古工作將會按工程詳細設計在考古工作計劃中詳列並加以實施。

為了確保在場工作人員熟悉在該址內的考古遺物，已建議在施工期（即施工前及施工期間）為工作人員提供一個入職簡介會及須具備一套通報機制和程序，確保如發現考古遺物時工作人員會按照機制採取適當的行動。

考慮到該址之地下遺跡已受到相當程度的影響以及將會按考古工作計劃實施緩解措施，擬推行之轉化工程對該址可能帶來之影響是可以接受的。



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# 1

## INTRODUCTION



### 1.1 Background

The Centre for Architectural Heritage Research Centre (CAHR) has been commissioned by the Architectural Services Department (ASD) to conduct a Heritage Impact Assessment (HIA) that included a Built Heritage Impact Assessment (BHIA) and Archaeological Impact Assessment (AIA), for Transformation of the Former Police Married Quarters Site (PMQ) on Hollywood Road into a Creative Industries Landmark in the end of 2010. ERM-Hong Kong Limited, as the sub-consultant of the CUHK covered the scope for the AIA.

The site has remained vacant since 2000. In 2007, Chief Executive (CE) announced in his 2007-08 Policy Address that for exploring revitalization of the site, removed the site from “List of

Sites for Salve by Application”. In his 2008-09 Policy Address, CE announced the site was dedicated for revitalisation with creative industries and related education uses. In the 2009-10 Policy Address, CE further announced to include the site into one of the eight projects under the “Conserving Central” initiative. In 2010, proposals for transforming the former Police Married Quarters on Hollywood Road into a creative industries landmark had been launched. In 2010 November, the Advisory Committee on Revitalisation of Historic Buildings completed the selection of the proposals and Development Bureau had announced the successful proposal and the selected operator is Musketeers Education and Culture Charitable Foundation Limited (Musketeers Foundation), with the support of Hong Kong Design Centre, Hong Kong Polytechnic University and the Hong Kong Design Institute of Vocational Training Council, and the revitalized site will be named as “PMQ” 原創坊.<sup>1</sup> Musketeers Foundation has set up a special purpose company to run the site and best fulfill the three objectives of the project, namely promotion of creative industries, heritage conservation and provision of public open space.

The site was rated as Grade 3 Historic Building in the same month. The site was also included in the List of Sites of Archaeological Interest in Hong Kong for Former Central School Site<sup>2</sup>. As any government projects affecting declared monuments, proposed monuments, sites and buildings graded by the Antiquities Advisory Board, recorded sites of archaeological interest and Government historic sites identified by AMO except those specified are required to conduct an Heritage Impact Assessment (HIA) since 1 January 2008, this report aims to conduct an HIA on the subject site.

## 1.2 Objectives

A Heritage Impact Assessment (HIA) is required to carry out to assess the impact of the proposal to convert the former Police Married Quarters on Hollywood Road into a creative industries landmark. The objectives of this HIA Report are thus to identify any potential impacts, evaluate the impacts and suggest mitigation measures to help to minimize any adverse impact on the historic site. The report aims at the following main tasks:

- Study the history, architecture and development of the site
- Establish the cultural significance of the site
- Develop conservation policies and guidelines

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<sup>1</sup> *Background and Invitation for Proposals (IFP)*. Retrieved on 4 January 2011, from Commissioner for Heritage’s Office, Website: <http://www.heritage.gov.hk>.

<sup>2</sup> *List of Sites of Archaeological Interest in Hong Kong (as at Nov 2010)*. Retrieved on 4 January 2011, from Antiquities and Monuments Office, Website: [http://www.amo.gov.hk/form/list\\_archaeolog\\_site\\_eng.pdf](http://www.amo.gov.hk/form/list_archaeolog_site_eng.pdf).

- Assess the development and building proposal and identify the potential impacts to the site
- Recommend mitigation measures
- Develop conservation policy and long term conservation strategy, maintenance and management plan after construction work for the PMQ is completed.

## 1.3 Site Particulars

The site was formerly the school premises of former Central School, which was renamed as Victoria College when moved to the site and finally renamed as Queen's College before it was demolished. After the school building was demolished, police married quarters were built. The site consists of 4<sup>th</sup> plateaus housing mainly two former quarters (Block A and Block B) and the Central Junior Police Call Clubhouse (the JPC Building). Remnants of former Central School above ground were found mainly along the boundary walls surround the site. Several archaeological investigations has been carried out by AMO from 2005-2007, underground remains and relics of former Central School were identified. The site has remained vacant since 2000.

<b>Address of the studied site</b>	<b>No. 35 Aberdeen Street, Central</b>
Grading	Grade 3 Historic Building (Buildings of some merit; preservation in some form would be desirable and alternative means could be considered if preservation is not practicable <sup>3</sup> ) List of Sites of Archeological Interest in Hong Kong – Former Central School Site
Site Area	Approx 6,013 sqm. <sup>4</sup>
Completion Year	1951
Original Use	1889 - 1949 - formerly as the premises of the former Central School (The school was former Central School before it was moved to the current site. After it was moved to the site, it was renamed as Victoria College in 1889, and was finally renamed as “Queen's College” in 1894 before it was demolished.) 1951 - 2000 - Police married quarters and the recreation centre (became Junior Police Call Clubhouse (JPC Building) in 1974)
Recent Use	Vacant since 2000
Proposed use	Creative industries and related uses

<sup>3</sup> The definition of the gradings is internal guidelines adopted by the Antiquities Advisory Board and the Antiquities and Monuments Office for the preservation of historic buildings. See *Definition of the Gradings of Historical Buildings*. Retrieved on 4 January 2011 under Built Heritage, by the Antiquities and Monument Office, Website: <http://www.amo.gov.hk/en/built3.php>.

<sup>4</sup> *Transformation of Former Police Married Quarters Site on Hollywood Road into a Creative Industries Landmark Resource Kit*, Item 3.3 Site Area., prepared by Development Bureau, 2010.



## 1.4 Definition and abbreviation of terms

The former Central School	Throughout the report, “ <b>The former Central School</b> ” is generally referring to the former school building in the site, unless particular period of time is referred and the name of Victoria College or Queen’s College would be used.  The school was former Central School before it was moved to the site. After it was moved to the site, it was renamed as Victoria College, and was finally renamed as “Queen’s College” before it was demolished.
PMQ	Former Police Married Quarters
Block A & Block B	The quarters blocks
JPC Building	Junior Police Call Clubhouse

## 1.5 Methodology and Structure of the Report

### 1.5.1 The first step: baseline study

The research process for the baseline study will generally follows the Burra Charter Process and James Kerr’s model of Conservation Plan<sup>5</sup>. This will be mainly divided into two major stages:

#### Understanding the significance

Research should be carried out about the place in order to understand its significance. It mainly includes the following:

1. Historical and Documentary Research – understanding the context of Central, the history and the development of the historic place; the architectural characteristics of the buildings, their functions; and the changing roles in the society through time, what survives today.
2. Assessing the significance and determine its cultural significance, then establish the statement of significance, and assess how this significance is vulnerable.
3. Investigate the existing conditions of the historic place by condition survey and study its status about compliance with current building legislations.

#### Development of conservation policy and management plan

Conservation policy should be derived based on the cultural significance established in the first stage. It mainly includes the following:

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<sup>5</sup> Kerr. J.S., *Conservation Plan*, National Trust of Australia (NSW), 6<sup>th</sup> edition, 2004.

1. Develop conservation policy and determine the accepted level of intervention for the historic place. This defines opportunities and constraints, and areas of uncertainty for future use of the buildings and the site.
2. Prepare conservation guidelines which guide changes to the historic place for retaining the significance of the site
3. Set out long term management and maintenance guidelines for long term operation and management of change, and develop strategies for adoption, monitoring and review of conservation plan in long term

### **1.5.2 Second step: impact assessment study**

The heritage impact assessment study generally follows the reference provided by the government and the guidelines which are adopted and recognized internationally:

#### Guidelines by Hong Kong Government

1. The Conservation Guidelines for the PMQ issued by AMO in February 2010.
2. Annex 19 of the Technical Memorandum on Environmental Impact Assessment Process (section 16 of Environmental Impact Assessment Ordinance, Cap 499) – Guidelines for Assessment of Impact on Sites of Cultural Heritage

#### Guidelines adopted and recognised internationally

1. Heritage impact statement as introduced by James Kerr in his book of Conservation Plan<sup>6</sup>,
2. Heritage Impact Statements-Guidelines prepared by the Australian Heritage Council<sup>7</sup> (on the basis of State of Victoria and NSW).

#### Heritage impact assessment

The baseline study as mentioned above provides a general guide to the retention of the heritage values. In this section, the proposal to convert the historic place to compatible uses will be examined by studying its impact on the assessed significance of the place. A heritage impact statement will be established by relating to the conservation policies as established in the beginning, which sets out mainly the following:

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<sup>6</sup> Kerr, J.S. *Conservation Plan*. National Trust of Australia (NSW), 6<sup>th</sup> edition, 2004, pp. 42-43 and pp. 62-63.

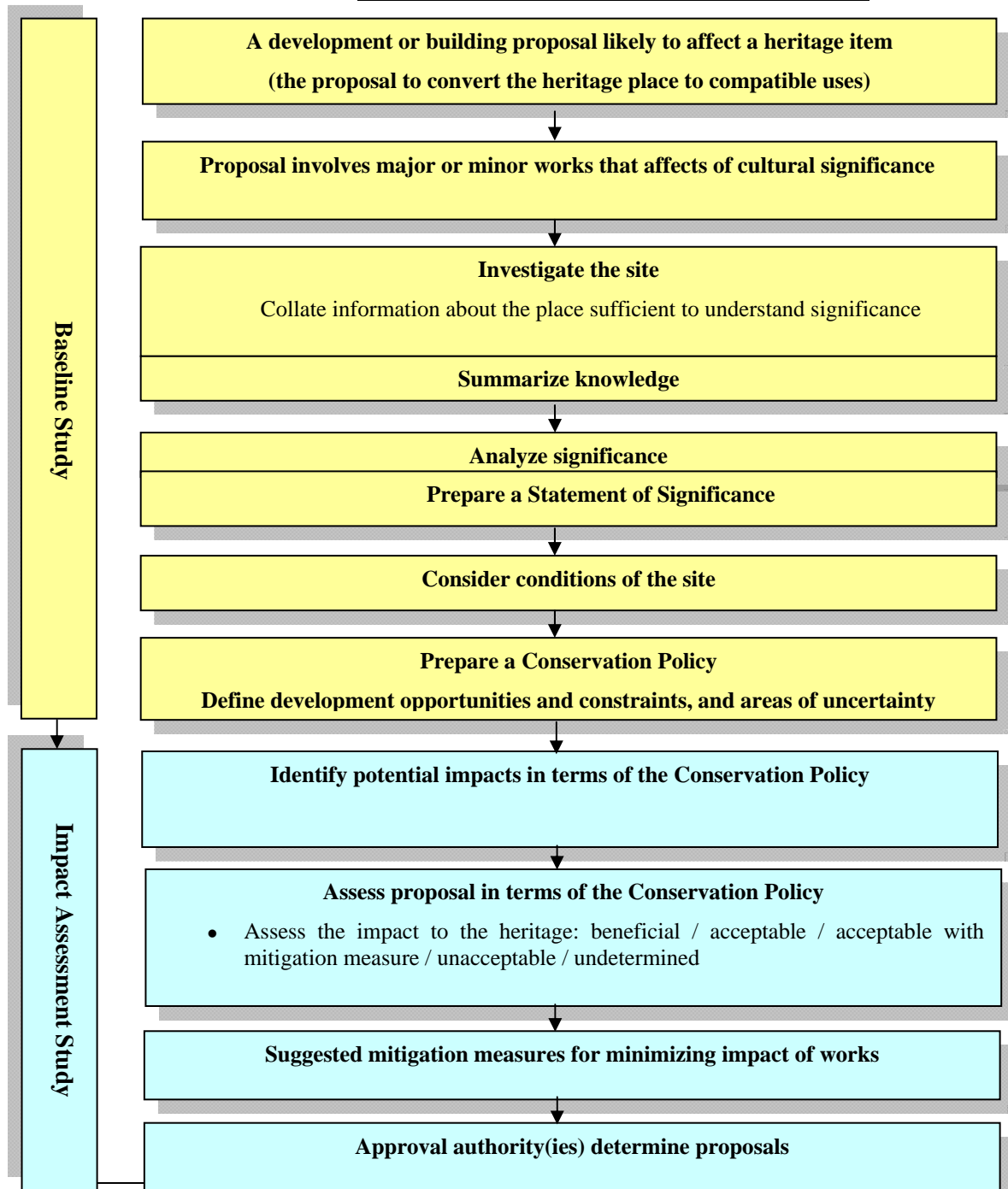
<sup>7</sup> See *Heritage Information Series: Heritage Impact Statements Guidelines*. Retrieved on 25 March 2008 under Heritage Council (Victoria), website: [http://www.heritage.vic.gov.au/pages/pdfs/heritage\\_impact.pdf](http://www.heritage.vic.gov.au/pages/pdfs/heritage_impact.pdf). See also Statements of

1. Identify the proposed changes and the potential impact - identify those parts and areas of the place that will be affected, together with any statutory and non-statutory requirements. Direct and indirect impacts and the visual impacts on the built heritage and surrounding landscape and context will be clearly stated.
2. Assessment of the heritage impacts – during the assessment, the heritage impacts will be identified into different levels. To evaluate the extent and the ways in which heritage values of the place are affected by the proposal.
3. Recommendations of mitigation measures – recommendations for acceptance, acceptance conditional on modification, or rejection of the proposal. This includes recommendation of mitigation actions to reduce the adverse impact of the proposal on the significance of the historic place and help to improve the design in the design process.

## 1.6 Development Process of the Heritage Impact Assessment

The process is adapted from Development and Building Approval Flow Chart, in the guideline of Statements of Heritage Impact prepared by the Heritage Council of New South Wales.<sup>8</sup>

### Development and assessment process (Adapted)



<sup>8</sup> *Statements of Heritage Impact*. Retrieved on 25 March 2008 under Heritage Council (NSW), website: [http://www.heritage.nsw.gov.au/docs/hm\\_statementsofhi.pdf](http://www.heritage.nsw.gov.au/docs/hm_statementsofhi.pdf).

# 2

## SITE AND CONTEXT

### 2.1 The site of Former Hollywood Road Police Married Quarters (1840s-1870s)

#### 2.1.1 Establishment of Victoria City (1840s)

Located between Central and Sheung Wan District, the area along the northern shore of Hong Kong Island where the Former Police Married Quarters is located was only a sparsely populated district before British occupation. While the British army landed and held a flag raising ceremony in Possession Point, a small hill at present-day Hollywood Road Park on 26th January 1841, they proclaimed that Hong Kong Island was occupied by Britain.<sup>9</sup> (Fig. 1 and Fig. 12) Thereafter, the place was developed by the British Government.

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<sup>9</sup> Ernest John Eitel, *Europe in China: the History of Hongkok from the beginning to the year 1882*, Taipei, Ch'eng-wen Pub.Co., 1968, p. 124.



**Fig. 1. Possession Point, c. 1930.**  
(from Solomon Bard, *Voices from the Past: Hong Kong, 1842-1918*, Hong Kong, Hong Kong University Press, 2002, p. 11.)

One month later, the areas now known as Wan Chai and Causeway Bay were first occupied by foreign merchants to build warehouses, offices and residences.<sup>10</sup> (Fig. 2) In order to raise revenues and develop the island with the help of foreign money, the Colonial Government conducted the first public land auction on 14<sup>th</sup> June 1841. Fifty-one lots of land at the northern shore of Hong Kong Island were eventually sold to 23 foreign merchant houses for constructing dwellings, offices and godowns.<sup>11</sup> In the following years, western-styled buildings were completed on the waterfront of the new possession. (Fig. 3-Fig. 4 and Fig. 12)

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<sup>10</sup> Ernest John Eitel, *Europe in China: the History of Hongkok from the beginning to the year 1882*, Taipei, Ch'eng-wen Pub.Co., 1968, p. 167.

<sup>11</sup> Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 13.



**Fig. 2. A painting of Spring Gardens, 1846. Spring Gardens was a residential and commercial area developed by the foreigners in Wan Chai in the 1840s. (from Katherine Mattock, *This is Hong Kong: The Story of Government House*, Hong Kong, Hong Kong Government Printer, 1978, p. 29.)**



**Fig. 3. An English School artist painted the settlement of Victoria in the late 1840s. (from Nigel Cameron, *An Illustrated History of Hong Kong*, Hong Kong; Oxford, Oxford University Press, 1991, p. 57.)**





**Fig. 4. Queen's Road in 1846. Western-styled buildings were built on the waterfront.**  
(from Ko Tim Keung 高添強, *Xianggang jinxi* 香港今昔 [Hong Kong Then and Now], Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2005, p. 71.)

The Colonial Government also chose the northern side of Hong Kong Island as a base to establish their political and commercial centre. In November 1841, the Colonial Government reserved a small hill, named later as Government Hill, in Central for Crown use, where Government and communal buildings, including the colonial church, St. John's Cathedral (Fig. 5), Government Office (Fig. 6) and Government House (Fig. 7) were subsequently erected in the 1840s and 1850s. (Fig. 12 and Fig. 13)

Apart from Government Hill, a few government buildings, such as Post Office and Magistracy and Jail built in 1841, (Fig. 8) were erected among the area lying between Central and Sheung Wan. Central area was gradually zoned for political use of the new possession, while the area between Government Hill and Wan Chai was designated for military use where Wellington and Murray Barracks were built in the 1840s. (Fig. 9 and Fig. 12 - Fig. 13)





**Fig. 5. St. John's Cathedral (built in 1847-49), 1868-71.**  
 (from Asia Society Galleries, *Picturing Hong Kong: Photography 1855-1910*, New York, Asia Society Galleries, 1997, p. 69.)



**Fig. 6. Government Offices, built in 1843.**  
 (from Arthur Hacker, *Hong Kong: A Rare Photographic Record of the 1860s*, Hong Kong, Wattis Fine Art, c.1997., p. 39.)

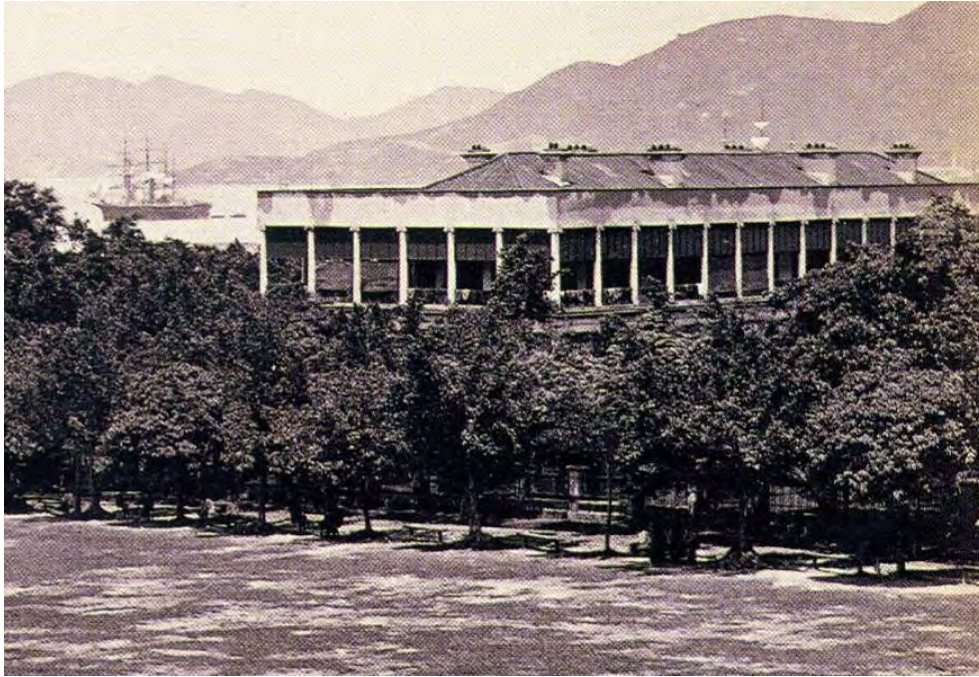




**Fig. 7. Government House, built in 1851-55.**  
(from Arthur Hacker, *Hong Kong: A Rare Photographic Record of the 1860s*, Hong Kong, Wattis Fine Art, c.1997., p. 37.)



**Fig. 8. Magistracy and Jail, built in 1841.**  
(from Ko Tim Keung 高添強, *Xianggang jinxi* 香港今昔 [Hong Kong Then and Now], Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2005, p. 95.)



**Fig. 9. Murray Barracks.**  
(from Arthur Hacker, *Hong Kong: A Rare Photographic Record of the 1860s*, Hong Kong, Wattis Fine Art, c.1997., p. 43.)

New roads were constructed on Hong Kong Island by the Colonial Government at the same time. The native masons, bricklayers, carpenters and scaffold builders who were required for the construction of roads and barracks and for the erection of mercantile buildings were immediately followed by a considerable influx of Chinese provision dealers.<sup>12</sup> Majority of them settled near the site of present-day Central Market approximately at Queen's Road and Pottinger Street, namely the Bazaar.<sup>13</sup> (Fig. 14)

Other than the Bazaar, the Chinese newcomers also settled in Upper Bazaar and Lower Bazaar where the Government designated as Chinese residential area in the first land sale in June 1841.<sup>14</sup> Upper Bazaar referred to the area west of present-day Aberdeen Street and east of Hollywood Road, near Kau U Fong and Gough Street, while Lower Bazaar was the area between present-day Jervois Street and Bonham Strand.<sup>15</sup> (Fig. 14)

In 1843, a proclamation was published in Hong Kong Gazette to fix the name of the new possession as "the Colony of Hongkong" and that of the city as "Victoria".<sup>16</sup> The extent of Victoria City covered Central, Sheung Wan and Wan Chai.

<sup>12</sup> *Ibid.*, p. 168.

<sup>13</sup> *Ibid.*, p. 168.

<sup>14</sup> Ho Pui Yin, *Challenges for and Evolving City – 160 Years of Port and Land Development in Hong Kong*, Hong Kong, The Commercial Press (H.K.) Ltd., 2004, p. 44.

<sup>15</sup> *Ibid.*, p. 44.

<sup>16</sup> Ernest John Eitel, *Europe in China: the History of Hongkok from the beginning to the year 1882*, Taipei, Ch'eng-wen Pub.Co., 1968, p. 188.



To generate higher land revenue, the Colonial Government resumed the land at Upper Bazaar where was replanned as a European commercial zone in 1844.<sup>17</sup> The Chinese merchants and residences in Upper Bazaar were resettled in Tai Ping Shan district, the area around present-day Tai Ping Shan Street. Rows of Chinese tenement houses were built on the sloped site, where soon became the most densely populated area. (Fig. 10 and Fig. 14)



**Fig. 10. Tai Ping Shan District, 1880s.**  
(from Ho Pui Yin, *Challenges for and Evolving City – 160 Years of Port and Land Development in Hong Kong*, Hong Kong, The Commercial Press (H.K.)Ltd., 2004, p. 60.)

Communal places were founded to cater for the Chinese community, such as new market places opened in Central and Sheung Wan, namely Central Market and Western Market, and Man Mo Temple built on Hollywood Road. (Fig. 13)

Dedicated to Man Cheong 文昌 [God of Literature] and Kwan Tai 關帝 [God of War], the temple was built by local Chinese leaders at the core of Chinese residential area in 1847. (Fig. 11 and Fig. 14) Man Cheong 文昌 [God of Literature] is the deity overseeing the academy, examinations, and hierarchy in officialdom, while Kwan Tai 關帝 [God of War] represents righteousness, brave and justice. Not only did the temple served as place for religious worshipping, but also the venue where communal affairs and disputes among the Chinese were settled.

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<sup>17</sup> *Ibid.*, p. 44.



**Fig. 11. Man Mo Temple at Hollywood Road.**  
(from Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 57.)



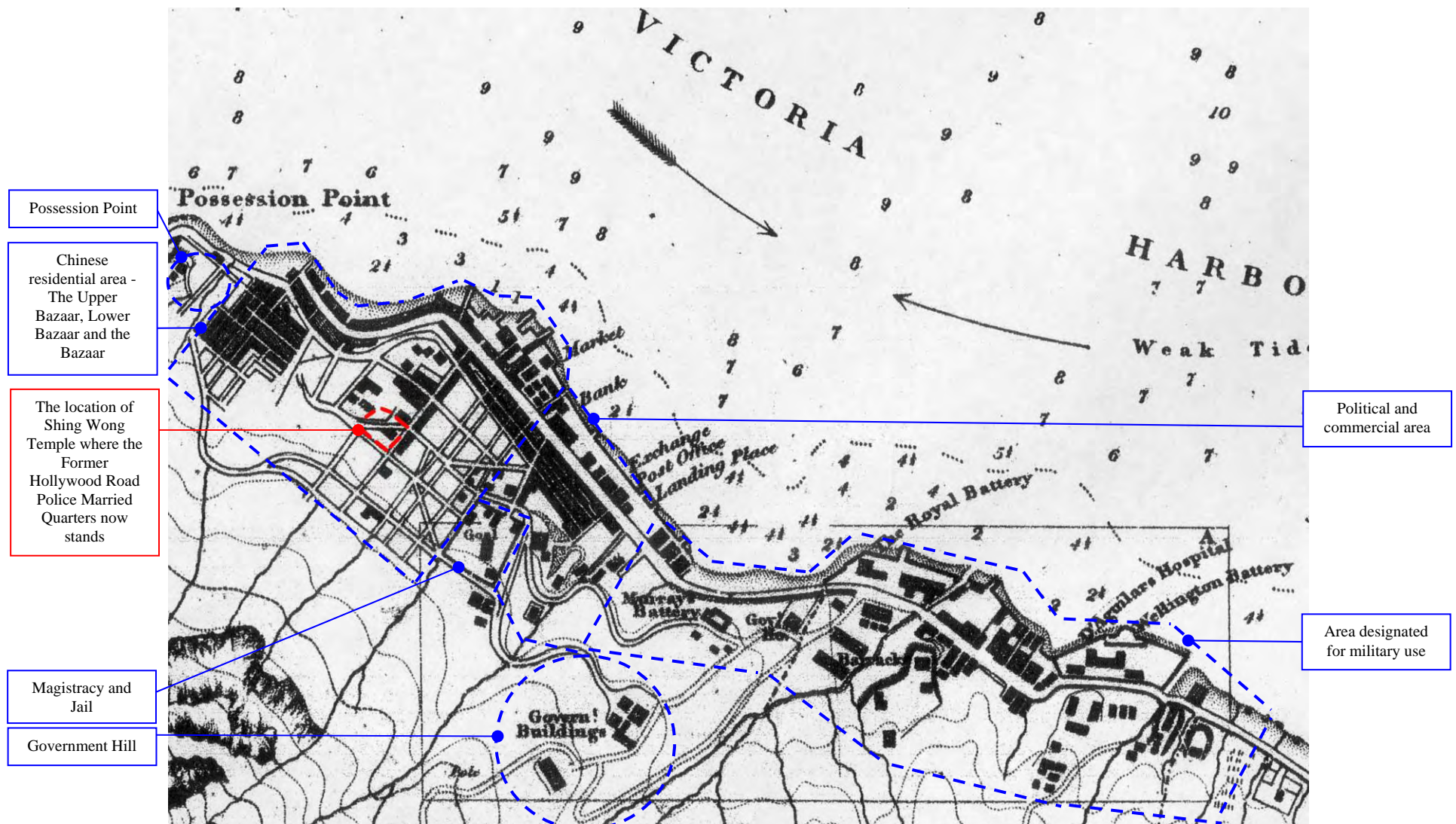
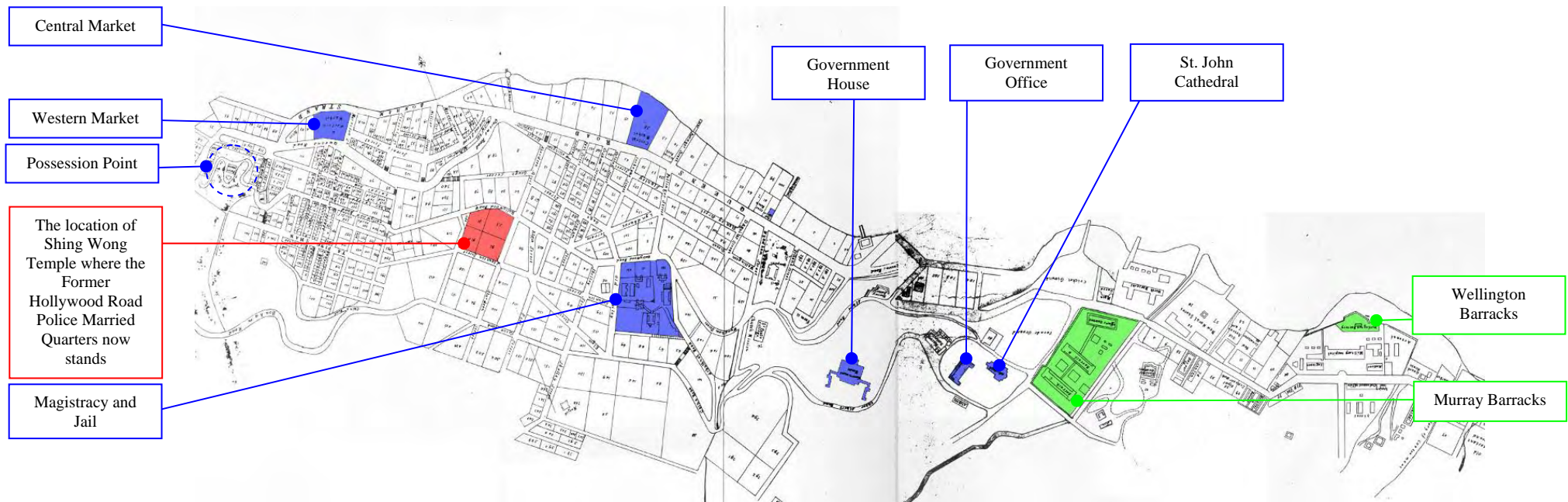
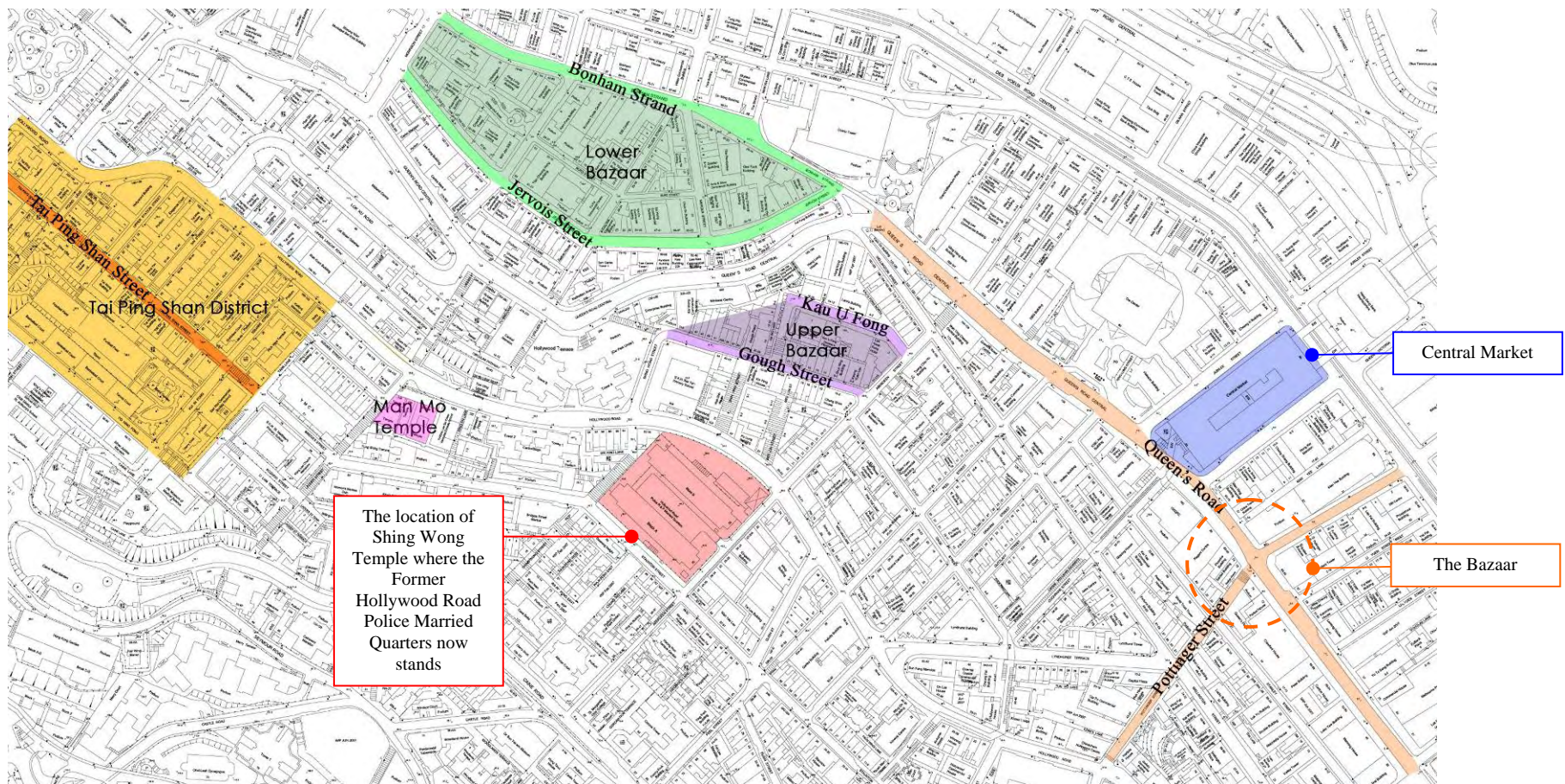


Fig. 12. Map of 1845 showing the development of Central and Sheung Wan in the 1840s.  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HE2-1(E))



**Fig. 13. An old map of 1850 showing the location of the government and communal buildings in Central and Sheung Wan in the 1840s and 1850s.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HG20-2(partial))





**Fig. 14. A diagram showing the location of the Former Hollywood Road Police Married Quarters and Man Mo Temple, as well as the indicative location of Upper Bazaar, Lower Bazaar and Tai Ping Shan District.**

(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: 11-SW-8A, 2003, Scale 1:1000 (partial))



### 2.1.2 Shing Wong Temple 城隍廟 (1843)

It is said that there is another temple founded on Hollywood Road in the 1840s. According to Dr. John Eitel<sup>18</sup>, Inspector of Schools in Hong Kong in the 1870s, the Chinese commenced building their City Temple, namely ‘Sheng-wong-miu’, on the site of Queen’s College<sup>19</sup>, where the Former Hollywood Road Police Married Quarters now stands, in 1843.

Similar to other major Chinese locality, City Temple ‘Sheng-wong-miu’, the Cantonese Dialect of “Shing Wong Temple” 城隍廟 was built for the worship of Shing Wong 城隍 [City God]. Deity Shing Wong 城隍 [City God] was worshipped for his protective power by which the evil spirits within the city boundary were under control. With the guardianship of the City God, it is believed that the peace and order of a city could be maintained by bringing down blessings and warding off natural disaster.

From an old map of 1845, it is seen that numerous new roads and streets were constructed in the surroundings of the site where Shing Wong Temple was located. They are the Hollywood Road, Aberdeen Street and Staunton Street as shown on an old map dated to 1850.(Fig. 15 - Fig. 16)

It is said that the name of Hollywood Road originated from holly trees planted along the road.<sup>20</sup> Staunton Street was named after Sir George Staunton (1781-1859) who once worked for the East India Company in China and was a ranking member of the second embassy to China under Lord Amherst.<sup>21</sup> Intersected with Hollywood Road and Staunton Street, Aberdeen Street was named in the memorial of Lord Aberdeen (1784-1860), the Prime Minister of the United Kingdom between 1852 and 1855.<sup>22</sup>

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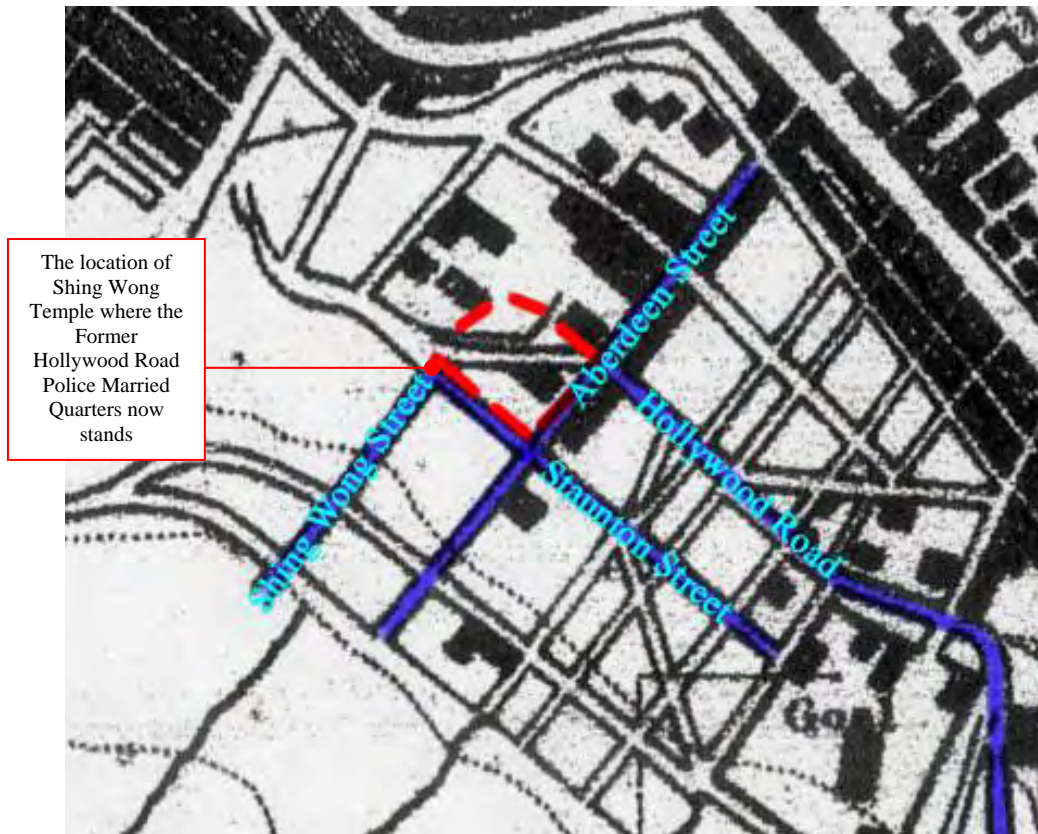
<sup>18</sup> Eitel, Ernest John (1838-1908), born in Wurttemberg, Germany. He served as pastor in Evangelical Church of Wurttemberg. He later resided in Guangdong and transferred to the London Missionary Society. In 1870, he moved to Hong Kong and became Inspector of Schools in Hong Kong.

<sup>19</sup> Ernest John Eitel, *Europe in China: the History of Hongkong from the beginning to the year 1882*, 1895, see edition in Taipei, Ch’eng-wen Pub.Co., 1968, p. 190.

<sup>20</sup> Cheng Baohong 鄭寶鴻, *A Century of Hong Kong Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 10.

<sup>21</sup> See *Summary*. Retrieved January 12, 2011 from Sir George Leonard and George Thomas Staunton papers, under Electronic Resources, the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/ER/detail/hkul/4088944>.

<sup>22</sup> Jason Wordie, *Streets: Exploring Hong Kong Island*, Hong Kong, Hong Kong University Press, p. 16.



**Fig. 15. An old map of 1845 showing the area where Shing Wong Temple was possibly located and its vicinity.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HE2-1(E))



**Fig. 16. An old map of 1850 showing the area where Shing Wong Temple was possibly located and its vicinity.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HG20-2(partial))

### 2.1.3 Chinese Communities in Sheung Wan and Tai Ping Shan District (1850s - 1870s)

A large number of Chinese flooded into Hong Kong due to the civil unrest caused by Taiping Rebellion since its outbreak in 1851. The tenement houses in Sheung Wan and Tai Ping Shan District were soon occupied by the newcomers while more tenement houses were mushroomed to accommodate such suddenly increased population. (Fig. 17) In view of the overcrowding in Sheung Wan and Tai Ping Shan District, the Colonial Government started to develop Sai Ying Pun and Wan Chai where these new immigrants could settle.

The boundary of the city hence extended eastwards and westwards. In 1856, the new boundary of Victoria City was proclaimed in the Hong Kong Government Gazette. The Victoria City was divided into seven districts, including Sei-Ying-Poon, Sheong-Wan, Tai-Ping-Shan, Choong-Wan, Ha-Wan, the village of Wong-Nei-Choong and Soo-Koan Poo.<sup>23</sup>

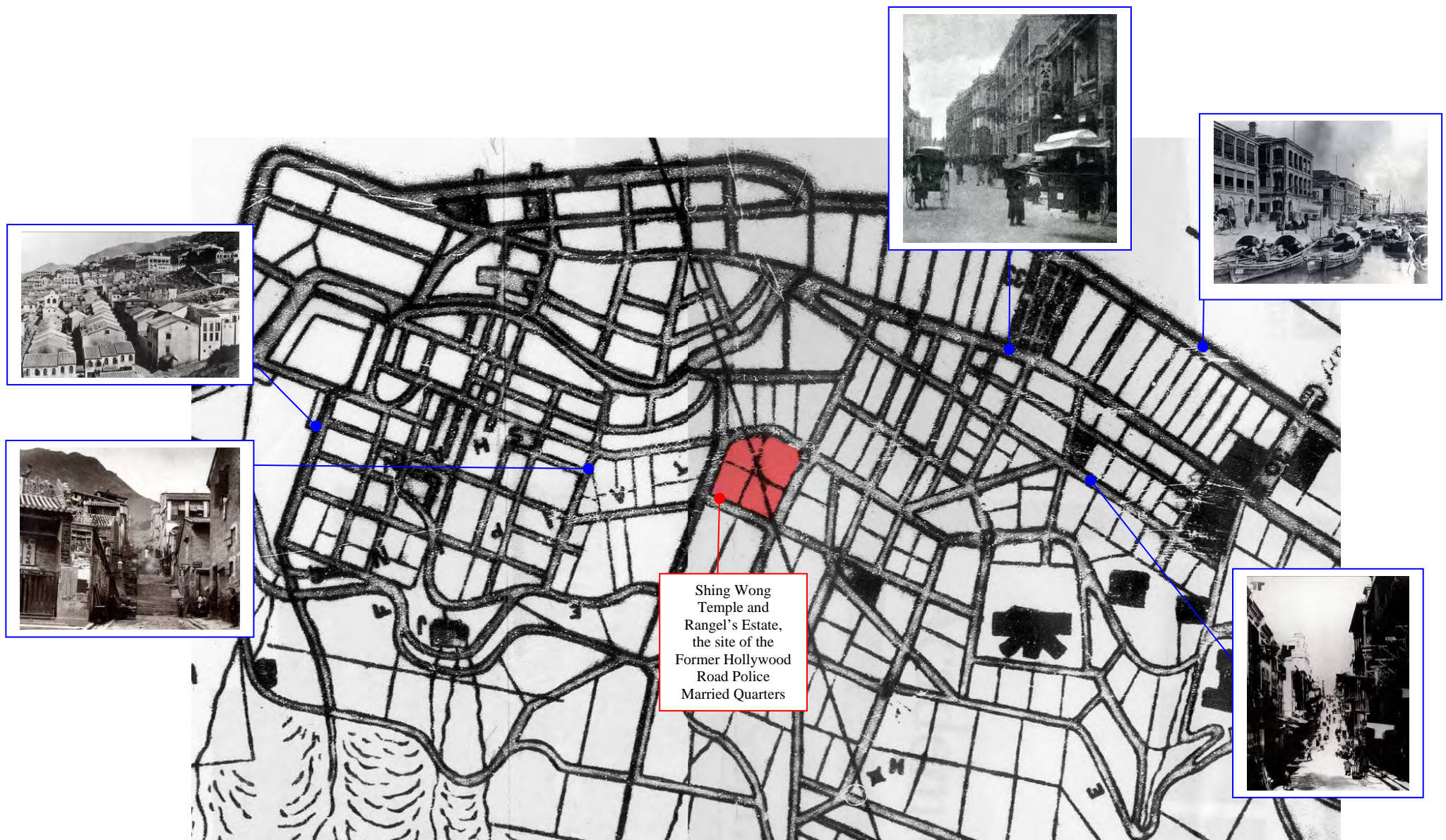


**Fig. 17. Overview of hillside near Tai Ping Shan Street, 1880s.**  
(from Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 61.)

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<sup>23</sup> See *Government Notification No. 69, The Hongkong Government Gazette, 9 May 1857 (1996)*. Retrieved January 12, 2011, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1857/725874.pdf>.





**Fig. 18. Map of 1866 showing the Site of the Former Hollywood Road Police Married Quarters and their vicinity in the 1850s and 1860s.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HD32 (partial).)

Institutional and communal buildings were gradually founded to cope with the needs of the Chinese community in western Central Sheung Wan area since 1850s, including Kwong Fuk Tsz 廣福祠 (1851), new markets at Central and Sheung Wan (1858), Central School (1862), Tong Hing Theatre 同慶戲院 (1867), Central Police Station (1864), No. 5 Police Station (1857), No. 8 Police Station (1870), No. 9 Police Station (1853) and Tung Wah Hospital (1872).

Dedicated to Kshitigarbha Buddha 地藏王 and Tsai Kung 濟公 [Living Buddha], Kwong Fuk Tsz 廣福祠, literally Temple of Common Benevolence, was founded by Mr. Tam Choy 譚才 in 1851 to house the soul tablets of those Chinese came to Hong Kong for work but unfortunately died. It also provided a place of refuge and medical service for the underprivileged. (Fig. 19)



Fig. 19. Kwong Fuk Tsz 廣福祠, 1856.

(from Ho Pui Yin 何佩然, *Yuan yu liu: Donghuayiyuan de chuangli yu yanjin* 源與流：東華醫院的創立與演進, Hong Kong, Joint Publishing Co., 2009, p. 35.)

The new Central Market and Western Market (Fig. 20) were established in 1858 at location where present-day Central Market and Sheung Wan Municipal Services Building currently stand. The Central Market was rebuilt at the same site in 1895, while the Western Market, later renamed as the South Block, was demolished in 1980.





**Fig. 20. The south block of Western Market, built in 1858.**  
 (from Ko Tim Keung, *A Sense of Place: Hong Kong West of Pottinger Street*, Hong Kong, Joint Publishing Co., 2008, p. 42.)

Located on Po Yan Street 普仁街, Tong Hing Theatre 同慶戲院 was the first theatre built in Hong Kong. (Fig. 21) It was founded in 1867 and rebuilt in 1890 as Chungking Theatre 重慶戲院.



**Fig. 21. Tong Hing Theatre 同慶戲院, 1870s.**  
 (from Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 60.)

Adjacent to Victoria Prison, Central Police Station, the first Police Headquarters in Hong Kong, was constructed in 1864. (Fig. 22) Three other police stations were built in Sheung Wan and Central, including No. 9 Police Station on Shelley Street (1853), No.5 Police Station at the junction of Wellington Street and Queen's Road Central (1857) and No. 8 Police Station at Po Yee Street (1870).



**Fig. 22. Central Police Station, built in 1864.**  
(from Colin Crisswell, *The Royal Hong Kong Police, 1841-1945*, Hong Kong, Macmillan, 1982, p. 70.)

Next to Kwong Fuk Tsz 廣福祠 is Tung Wah Hospital founded by Chinese community leaders and merchants in 1870. (Fig. 23) After serving the community for almost 20 years, the unhygienic condition noted in Kwong Fuk Tze 廣福祠 aroused deep concern among the public and authorities. Thus, a group of Chinese elites proposed to raise funds for building a hospital besides the temple. Being the first hospital for Chinese in Hong Kong, the new hospital building was completed in 1872.



Fig. 23. Tung Wah Hospital in the early 20th century.  
(from Ho Pui Yin 何佩然, *Yuan yu liu: Donghuayiyuan de chuangli yu yanjin* 源與流：東華醫院的創立與演進, Hong Kong, Joint Publishing Co., 2009, p. 216.)

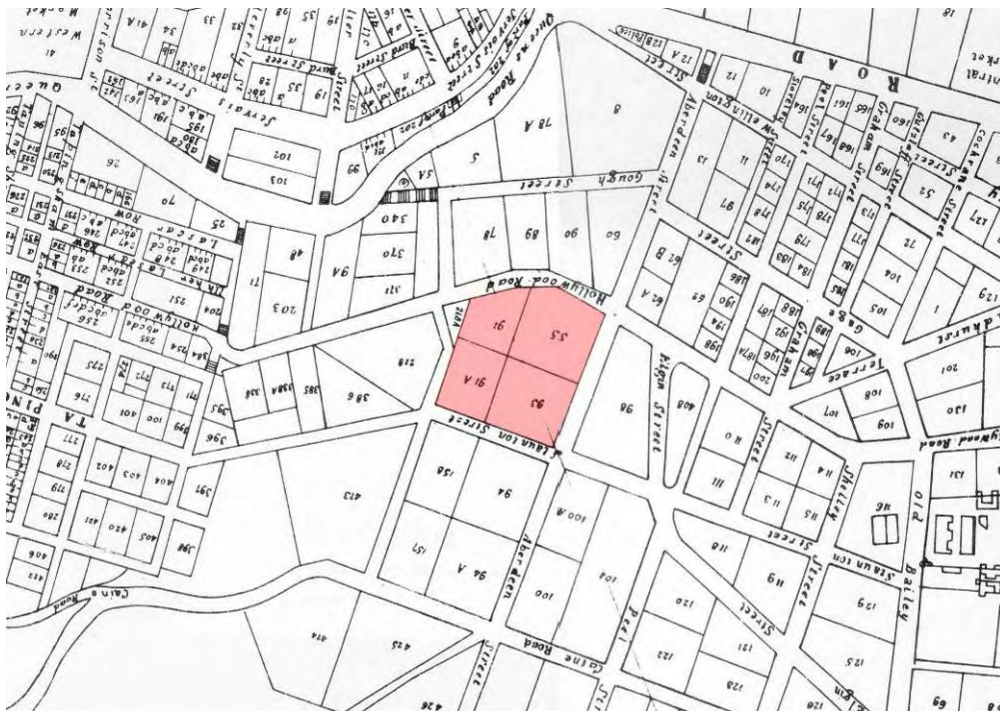




**Fig. 24.** An old map of 1886 showing the location of the government and communal buildings in Central and Sheung Wan in the 1850s and 1860s.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HD32 (partial).)

#### 2.1.4 Rangel's Estate (1852-1870s) and its surroundings

According to Rev. Carl. T. Smith, the Inland Lot No. 91 partially occupied by Shing Wong Temple was sold by the Government at a public auction in 1852.<sup>24</sup> The land was eventually bought by Floriano Antonio Rangel, a Portuguese bookkeeper in Jardine, Matheson & Co.<sup>25</sup> (Fig. 25) Subsequently, approximately fifty houses were built on Inland Lot No. 91, No. 55, No. 91A and No. 93 surrounding Shing Wong Temple, which were collectively called Rangels' Row, Rangel's Alley or Kow Kong Lane.<sup>26</sup>



**Fig. 25. An old map of 1850 showing the locations of Inland Lot Nos. 55, 91, 91A and 93.**  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HG20-2(partial))

Rangel owned the land until he passed away in 1873. All properties in the estate were subsequently succeeded by Messrs. Siemssen & Co., Mr. Dorabjee and some Chinese.<sup>27</sup> There were 78 dilapidated properties located on the site at that time, known as Rangel's Estate.<sup>28</sup>

<sup>24</sup> Carl. T. Smith, "Notes on Chinese Temples in Hong Kong", in *Journal of The Hong Kong Branch of the Royal Asiatic Society*, The Hong Kong Branch of the Royal Asiatic Society, vol. 13, 1973, p. 133.

<sup>25</sup> Carl. T. Smith, "Notes on Chinese Temples in Hong Kong", in *Journal of The Hong Kong Branch of the Royal Asiatic Society*, The Hong Kong Branch of the Royal Asiatic Society, vol. 13, 1973, p. 133.

<sup>26</sup> Carl. T. Smith, "Notes on Chinese Temples in Hong Kong", in *Journal of The Hong Kong Branch of the Royal Asiatic Society*, The Hong Kong Branch of the Royal Asiatic Society, vol. 13, 1973, p. 133.

<sup>27</sup> See GA 1877 no. 236, *Central School, Report, &c., as to Site for; Tree Planting, Report as to; Time-Ball. Regarding the Establishment of a; Breakwater, Report on the Erection of.*, (1996). Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1877/691303.pdf>, p. 501.

Three years later when Colonial Government was choosing a site for a new premise of Central School, Rangel's Property was listed as one of the 6 choices. According to the Government Gazette issued in 1877, the recommendation written by the Board of Education to the Colonial Secretary on 30th May, 1876 is as follows:

4th site. Rangel's Property – The Board has no hesitation in stating, that, taking every thing into consideration, this is by far the most appropriate site that can be chosen, and in this they are borne out by all the evidence obtainable on the subject. It is healthy and conveniently situated for the greater number of those who attend the school, while the nature of the ground is suitable for building and the whole place might probably be purchased at a reasonable rate.

.....

Under these circumstances, the Board respectfully recommend the Rangel's Buildings' site to the Government, considering that it embraces all the requisitions of salubrity and neighbourhood, while it can be built on with more economy than the present site, and considering the importance of the school, its present, and probably much greater future, influence for good in the Colony, the Board does not feel it would be justified in recommending any of the other sites on the score of economy, fearing that placing the school on any of them would be calculated seriously to interfere with the attendance thereat. <sup>29</sup>

.....

In 1877, the materials, bricks, stone, tiles, doors, windows, joists, floors, etc. of the buildings situated on the site were put up for public auction by the Government. According to the Government gazette, all materials of a building called "Joss House" built on No. 10 Sing Wong Street was also put up to the public auction.<sup>30</sup> It is likely that this "Joss House" refers to the Shing Wong Temple.

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<sup>28</sup> See *GA 1877 no. 6, RANGEL'S Estate, Auction of Materials &c., (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1877/689728.pdf>.

<sup>29</sup> See *GA 1877 no. 236, Central School, Report, &c., as to Site for,; Tree Planting, Report as to; Time-Ball. Regarding the Establishment of a; Breakwater, Report on the Erection of., (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1877/691303.pdf>, pp. 503-504.

<sup>30</sup> See *GA 1877 no. 6, RANGEL'S Estate, Auction of Materials &c., (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1877/689728.pdf>.





**Fig. 26. An old map of 1866 showing the area where Rangel's Estate was located and its vicinity.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HD32 (partial).)

## 2.2 The site of Former Hollywood Road Police Married Quarters (1880s-1945)

### 2.2.1 The late 19th century and early 20th century

In the late 19th century, Tai Ping Shan District and Sheung Wan were overcrowded with Chinese tenement houses. The living conditions of Chinese tenement houses were exceedingly congested and unhygienic. In 1894, the terrible sanitary conditions led to the outbreak of a plague epidemic, during which Tai Ping Shan District located to the west of Central School was severely infected. At the end of 1895, many old buildings in the District were demolished by the Government who intended to replan the district. (Fig. 27-Fig. 28) Several measures were taken to improve the hygiene in Tai Ping Shan District. An open space was reserved and converted into a public garden, later named as Blake Garden 卜公花園, adjoining the most densely crowded portion of the City.<sup>31</sup> (Fig. 29) Numerous latrines were erected in the District, including Po Hing Fong 普慶坊, Ladder Street 樓梯街, Bridges Street 必列者士街, Tung Street 東街, Tank Lane 水池巷 and Caine Lane 堅巷.<sup>32</sup>

<sup>31</sup> *Correspondence on Taipingshan Public Garden SP 1903 (1996)*. Retrieved December 10, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong Web Site: <http://sunzi1.lib.hku.hk/hkgro/index.jsp>, p. 1.

<sup>32</sup> Zheng Baohong 鄭寶鴻, *Gangdao jiedao bainian* 港島街道百年 [A Century of Hong Kong Roads and Streets], p. 66.



**Fig. 27. Disinfection work carried out by garrison members and volunteers at the end of Po Hing Fong 普慶坊.**

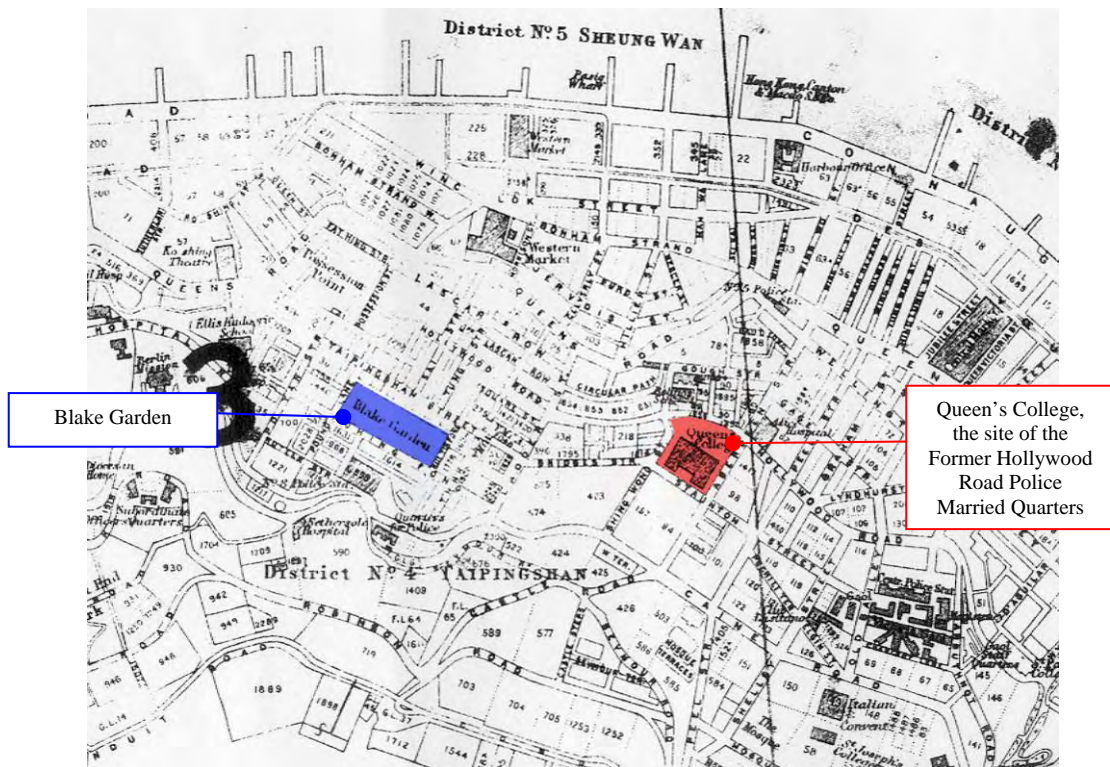
(From Ding Xinbao 丁新豹, *Sihuanjiuyue: bowuguan cang lishi tupian jingxuan* 四環九約: 博物館藏歷史圖片精選 [City of Victoria: A Selection of the Museum's Historical Photographs], Hong Kong, Hong Kong Museum of History, 1999, p. 62.)



**Fig. 28. Tai Ping Shan District under resumption, c. 1895.**

(from Cheng Baohong 鄭寶鴻, *A Century of Hong Kong Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 66.)



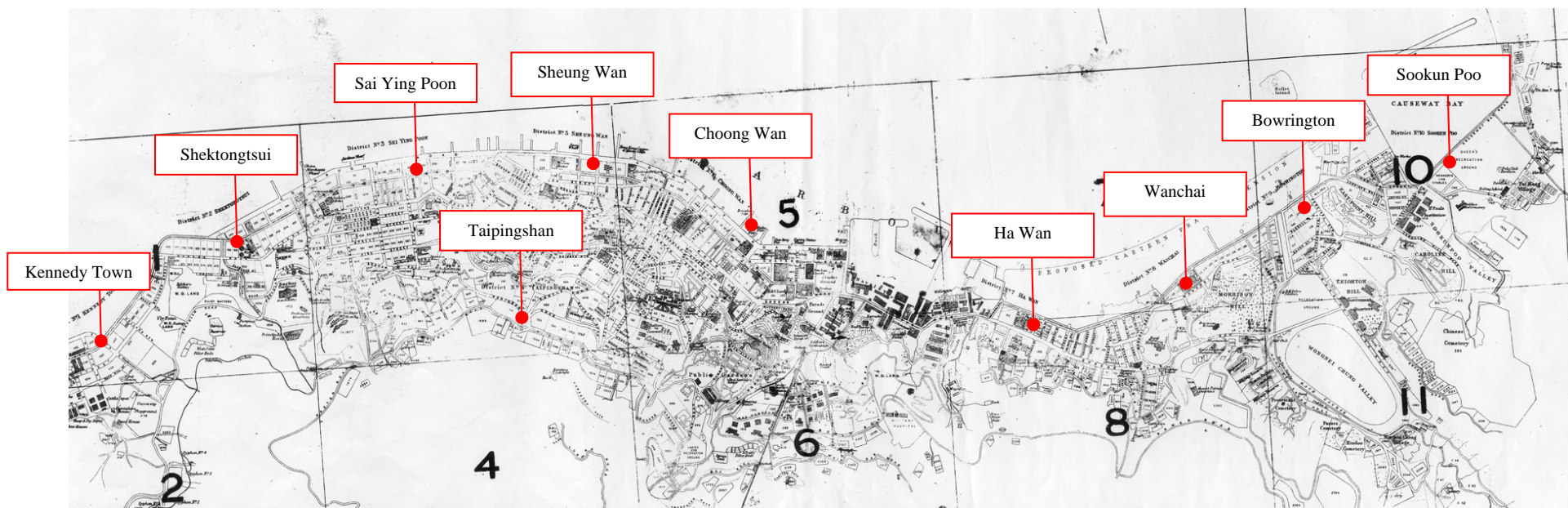


**Fig. 29. An old map of 1922 showing the location of Blake Garden.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HD34, 1922(partial)).

In 1903, the eastern and western boundary of Victoria City further extended to Kennedy Town and Causeway Bay respectively. (Fig. 30) The Colonial Government marked out the new boundary by erecting six granite boundary stones each of which bears the inscription “Victoria City 1903”.<sup>33</sup> At the same time, the Chinese had different names for Victoria and its environs. They called the city *si wan kau yuek* 四環九約 [Four Circuits and Nine Yeuks]. The four Circuits included Sai Wan, Sheung Wan, Choong Wan, known as Central and Ha Wan, known as Wan Chai, while the nine yeuks spreaded from Kennedy Town to Causeway Bay.<sup>34</sup> The site of the Former Hollywood Road Police Married Quarters was located in the five yeuk, which covered the area between Western Market and Central Market.

<sup>33</sup> Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 10.

<sup>34</sup> Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 10.



**Fig. 30. Plan of Victoria City in 1922.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HD34, 1922(partial).)

After the urban renewal carried out by the Government in the late 19th century, Sheung Wan and Tai Ping Shan District were still mainly occupied by the Chinese. Shops, stores and food stalls flourished along Bonham Strand and Jervois Street (Fig. 31 - Fig. 32), while modest hotels for travellers and stores were opened on Connaught Road Central west of Central Market. (Fig. 33-Fig. 34) Connaught Road West was developed into a wholesale centre for rice and Des Voeux Road West was known for its salted fish and dry seafood trade.<sup>35</sup> (Fig. 35)



**Fig. 31. Bonham Strand, 1890.**

(from Dennis G. Crow Ltd., *Historic photographs of Hong Kong, Canton & Macao : an exhibition and sale at The Museum Annex, One Exchange Square, Hong Kong, 23 June 1998-30 June 1998*, Los Angeles, CA: Dennis G. Crow, c. 1998, p. 34.)

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<sup>35</sup> Ding Xinbao 丁新豹, *City of Victoria: A Selection of the Museum's Historical Photographs*, Hong Kong, Hong Kong Museum of History, 1999, p. 49.





Fig. 32. Jervois Street, 1900.  
(from Cheng Baohong 鄭寶鴻, *A Century of Hong Kong Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 35.)

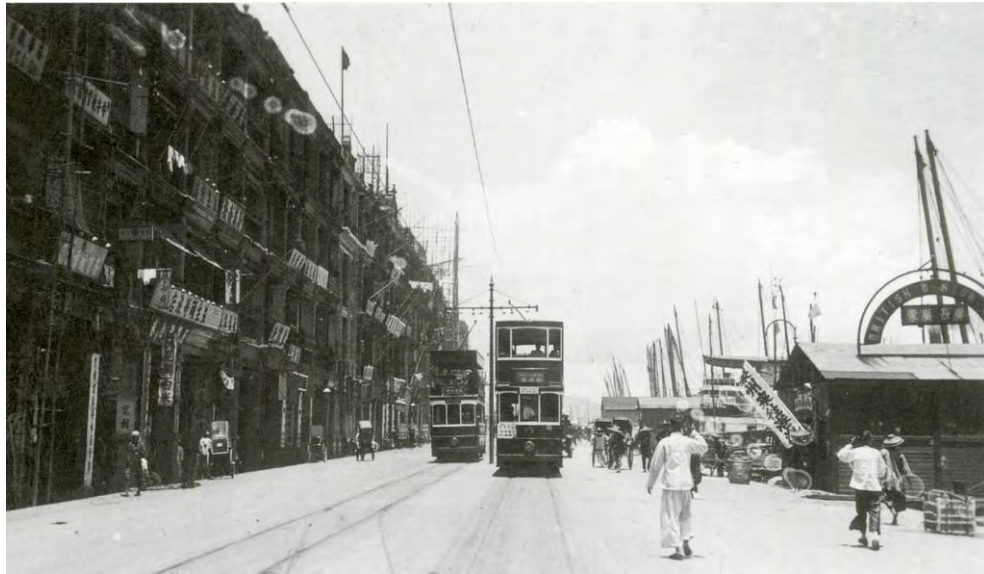


Fig. 33. Connaught Road West, c.1913.  
(from Cheng Po Hung 鄭寶鴻, *Early Hong Kong Tramways*, Hong Kong, The University Museum and Art Gallery, the University of Hong Kong, 2005, p. 69.)

Tram service was provided along the north shore of Hong Kong Island since 1903. (Fig. 34 - Fig. 35) In the early 20th century, numerous piers, including Yuen On Wharf, Ming Sang Wharf and the Hong Kong Macao Wharf were built at the waterfront along Connaught Road. (Fig. 34 -



Fig. 35) They were only means of transportation between Hong Kong Island and Kowloon Peninsula, as well as Guangzhou and Macau at that time.

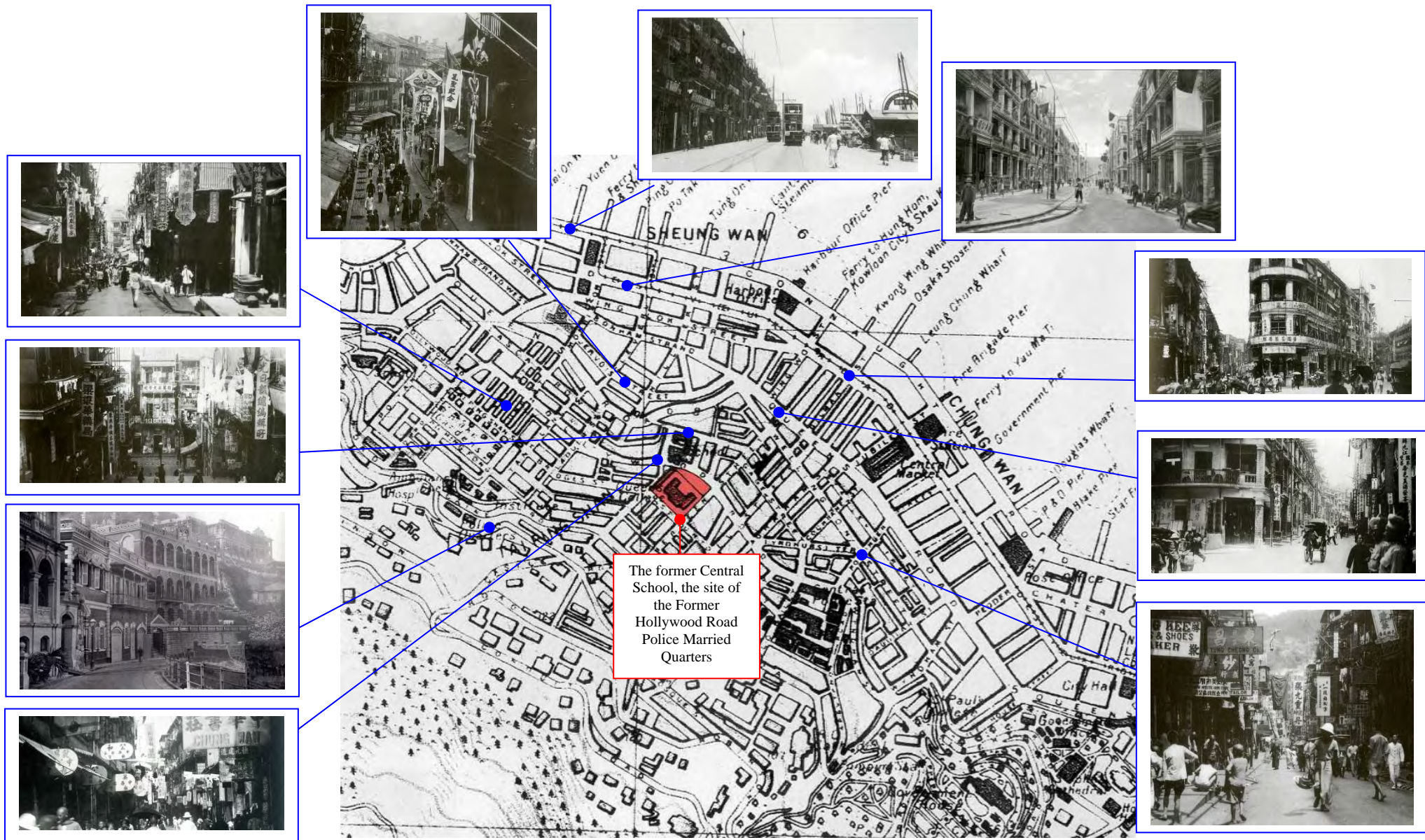


**Fig. 34. Two trams on Des Voeux Road West and Yuen On Wharf, c. 1930.**  
(from Cheng Po Hung 鄭寶鴻, *Early Hong Kong Tramways*, Hong Kong, The University Museum and Art Gallery, the University of Hong Kong, 2005, p. 91.)




**Fig. 35. An old map of 1930-45 showing the tramway in Central and Sheung Wan.**  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HB19 (partial).)






**Fig. 36. Map of 1930-45 showing the former Central School and its vicinity in the early 20th century.**  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HB19(partial).)

When the population grew rapidly in the late nineteenth and early twentieth century, new communal buildings, such as hospitals, schools, market places, magistracy, churches were established by the Colonial Government, charity organizations and religious institutes to cope with the different needs of community.

Belilios Public School		
	Address	Inland Lot No. 78 at Gough Street
	Construction Year	1893
	Founded in 1890, the Belilios Public School, originally known as the Central School for Girls was moved into a new school building located on the old site of Central School in Gough Street in 1893. After the Second World War, the school was moved to its present premises in Tin Hau Temple Road at Causeway Bay in 1965.	

Central Market		
	Address	Lot No. 38 at Queen's Road Central
	Construction Year	1895
	The market was rebuilt on the same site. <sup>36</sup> The construction work was commenced in 1889 and completed in 1895.	

<sup>36</sup> See *SP 1887, Estimate of Contemplated Public Works (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Website: <http://sunzi1.lib.hku.hk/hkgro/view/s1887/1196.pdf>. and *AR 1890 Public Works (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Website: <http://sunzi1.lib.hku.hk/hkgro/view/s1890/1280.pdf>, p. 300 and *AR 1895 Public Works (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Website: <http://sunzi1.lib.hku.hk/hkgro/view/s1896/1516.pdf>, p. 199.



### The North Block of Western Market



Address No. 323 Des Voeux Road Central

Construction Year 1906

Other than the South Block of Western Market built in 1858 at Queen's Road Central, a new block, known as the North Block at Des Voeux Road Central was built in 1906. The building became vacant in 1989 and was converted into a traditional trades, arts and crafts centre.

### Bacteriological Institute



Address No. 2 Caine Lane

Construction Year 1906

Bacteriological Institute was the first purpose-built medical laboratory in Hong Kong. After the Second World War, the building was renamed the Pathological Institute and was later occupied by the Department of Health as a medical store. In 1996, it was converted to the Hong Kong Museum of Medical Sciences.


### Central Magistracy




Address 1 Arbuthnot Road

Construction Year 1914

The Central Magistracy was built in 1914. It was closed in 1979 and subsequently once used as offices for associations of the Hong Kong Police Force.

Central Building		
	Address	No. 51 Bridges Street
	Construction Year	1918
	Served as the headquarters of the Chinese YMCA of Hong Kong, the Central Building was constructed at No. 51 Bridges Street with funding from Chicago YMCA members and local patrons in 1918. The building was officially opened by Sir Claud Severn, the Colonial Secretary of Hong Kong (1911-25) in 1918. The remarkable Chinese writer, Lu Hsun 魯迅, once lectured in the building in 1927.	

Ohel Leah Synagogue		
	Address	No. 70 Robinson Road
	Construction Year	1901
	The Ohel Leah Synagogue was built in 1901 at the junction of Castle Road and Robinson Road by the Sassoon brothers to commemorate their mother, Mrs. Leah Elias Sassoon. It is the only example of historic synagogue that still existed in Hong Kong.	


Hop Yat Church		
	Address	No. 2 Bonham Road
	Construction Year	1926
	Hop Yat Church was the first indigenous church and funded by the local Christian church in Hong Kong. Its predecessor was Daoji Mission House 道濟會堂 established in 1888 by the London Missionary Society. In 1921, Daoji Mission House 道濟會堂 united Church of Christ in China and renamed as Daoji Mission House, Church of Christ in China.	





Fig. 37. An old map of 1930-45 showing the location of the new government and communal buildings in Central and Sheung Wan in the late 19th century and early 20th century.

(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HB19(partial).)

### 2.2.2 Founding of Central School at Gough Street (1862-1889)

Taiping Rebellion (1851-1864) in China induces another influx of Chinese escaped to Hong Kong over the years. Many Chinese merchants brought their families to the Colony. Having pointed out that these newcomers would soon become aware of the commercial advantages of learning English, Dr. James Legge, a committee member of the Board of Education in 1860, suggested the establishment of a secular Government school.<sup>37</sup> A new grand school was proposed to provide quality study of English for the middle-class Chinese with a fee being charged for it.

Founded in Gough Street, the Central School was the first government schools providing upper primary and secondary education to the Chinese boys living in colonial Hong Kong. (Fig. 38)



**Fig. 38. Queen's Road looking west from the junction with Wellington Street. The Colonnaded building should be the Central School, c. 1864.**  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, pp. 6-7.)

Before the founding of Central School, the education in Victoria City was mainly embarked by the missionary and voluntary bodies. Numerous schools were established, such as Morrison Memorial School in Wanchai, St. Paul's College in Lower Albert Road and Anglo Chinese School in Hollywood Road. In 1847, the colony's public system of education began when three Chinese schools at Victoria, Stanley and Aberdeen were granted by the Government. A committee



consisting of the Colonial Chaplain, the Chief Magistrate and the Registrar-General was set up to supervise these three schools and administer the grant. However, there was no effective supervision over the schools where the teachers were found to be unsatisfactory. Although the Committee was strengthened in 1853 by the addition of new members and refinement of its policy, progress in state-aided schools was slow and supervision was quite inadequate. The Education Committee in its 1854 report expressed strong criticism on the existing system. Government education was 'at almost its lowest ebb; it has neither suitable buildings, suitable masters, nor suitable supervision.'<sup>38</sup>

The system of public education reformed under Bowring's governorship in 1854-1859. The Rev. W. Lobscheid, A German missionary, was appointed Inspector of Schools in 1856. The number of schools receiving the grant from government increased to nineteen in 1859.<sup>39</sup> Five of them were in Victoria. As most of the funded schools were in the villages, the problem of supervision still existed. On the other hand, there was no system of teacher training. Substandard of Chinese teachers was reported by the Committee in the 1858 report. In 1860, while the number of government granted schools increased to twenty, Dr. James Legge complained the insufficient time allowed for the inspector to visit each school. He recommended establishing a government central school with a large, specially designed building to replace the various schools in Victoria.<sup>40</sup>

The Legislative Council endorsed the proposal in 1861 and sanctioned the purchase and enlargement of the American Baptist Society's premises at Inland Lot 78 in Gough Street 歌賦街.<sup>41</sup> (Fig. 39) Located on the lower slopes of the hill above the Queen's Road Central, the Central

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<sup>37</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 15.

<sup>38</sup> G.B.Endacott, *A History of Hong Kong*, London and Hong Kong, Oxford University Press, 1964, pp. 136-138.

<sup>39</sup> Fong Mei Yin, *The First Hundred Years of Hong Kong Education*, Hong Kong, Zhongguo xueshe 中國學社, 1975, p.15.

<sup>40</sup> G.B.Endacott, *A History of Hong Kong*, London and Hong Kong, Oxford University Press, 1964, p. 139.

<sup>41</sup> Ernest John Eitel, *Europe in China: the History of Hongkong from the beginning to the year 1882*, 1895, see edition in Taipei, Ch'eng-wen Pub.Co., 1968, p. 392 & Fong Mei Yin, *The First Hundred Years of Hong Kong Education*, Hong Kong, Zhongguo xueshe 中國學社, 1975, p. 23.

School was opened on 1<sup>st</sup> January 1862.<sup>42</sup> It simply consisted of two one-storied wings joined by a central hall.<sup>43</sup>

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<sup>42</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 19.

<sup>43</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 21.

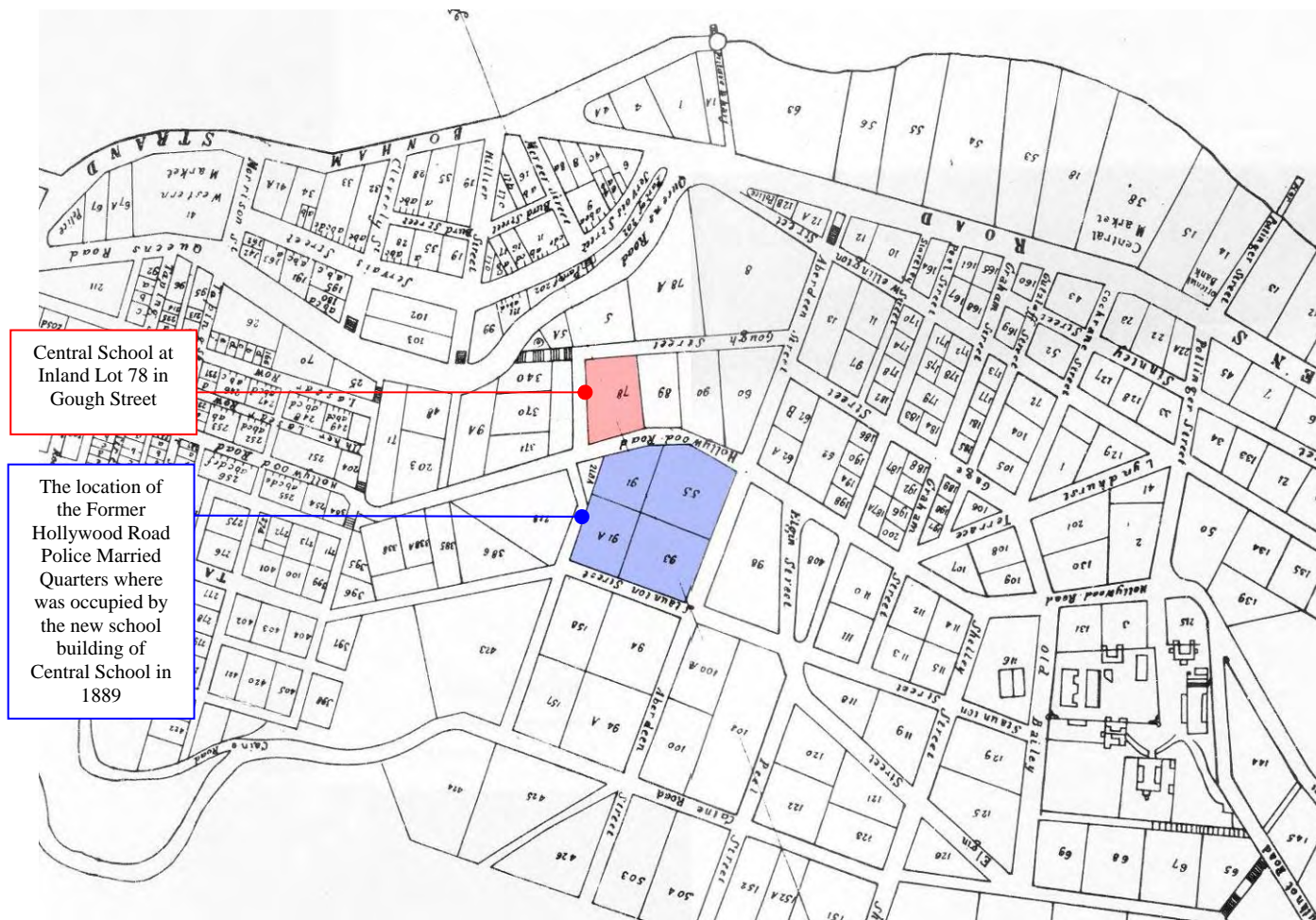


Fig. 39. An old map of 1850 showing the locations of Inland Lot No. 78 and Nos. 55, 91, 91A and 93, which are the old and new campus of Central School (colour in red and blue) respectively.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HG20-2(partial))

Mr. Frederick Stewart from Scotland was appointed the Headmaster and also the Inspectors of Government Schools.<sup>44</sup> (Fig. 40) He reported that there were 141 students grouped into three classes for the learning of English.<sup>45</sup> In the early days, no tuition fees were charged. Students also enjoyed free textbooks and dictionaries.

Fee of 50 cents monthly was introduced in the English section in 1863. Since 1865, tuition fee were charged monthly to all pupils 1 dollar in the English classes and 50 cents in the Chinese section. At the beginning, only study of English and Chinese study were included in the classes. From 1868, more subjects were added into the syllabus, such as Chemistry, Geometry and Algebra.<sup>46</sup>



**Fig. 40. Mr. Frederick Stewart.**  
(from Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962.)

When the school was founded, it was to admit to Chinese boys only. It was thrown open to boys of all nationalities in 1866.<sup>47</sup> In 1872, the school had 367 students.<sup>48</sup>

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<sup>44</sup> Ernest John Eitel, *Europe in China: the History of Hongkong from the beginning to the year 1882*, 1895, see edition in Taipei, Ch'eng-wen Pub.Co., 1968, p. 392.

<sup>45</sup> See *Education, Annual Report for 1871*. (1996). Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1872/699518.pdf>, p. 98.



<sup>46</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, pp. 23 - 27.

<sup>47</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 27.

Subject to the increasing numbers of students and limited space for further extensions, Mr. Steward made a strong plea for new premises in 1874.




Many notables who contributed extensively to Hong Kong and China once studied in the Central School at Gough Street, such as Dr. Sun Yat-sen 孫中山先生, Sir Robert Ho Tung 何東, Ho Fook 何福, Ho Kom Tong 何甘棠 and Sir Chow Shou-son 周壽臣.

**Table 1. Some notables who contributed extensively to Hong Kong as well as China studied in Central School (1862-1889).**

 <p>Dr. Sun Yat-sen 孫中山先生 (1886-1925)</p>	<p>Dr. Sun Yat-sen was a renowned revolutionary who overthrew the Qing Dynasty and set up the Republic of China. He first studied in the Anglican Diocesan Home and Orphanage and later transferred to Central School in 1884. After finishing his education in Hong Kong, he founded Hsing Chung Hui 興中會 [Revive China Society] in 1894 to forward the goal of establishing prosperity for China. In 1905, he established <i>Tongmenghui</i> 同盟會 [Chinese Revolutionary Alliance] in Japan. After the regime of the Qing Dynasty, he was the first provisional president when the Republic of China was founded in 1912.</p>
 <p>Sir Robert Hotung 何東爵士 (1862-1956)</p>	<p>Sir Robert Hotung was a successful businessman and prominent leader in Hong Kong. He was a Eurasian. After graduating from Central School in 1878, he joined Jardine Matheson as an assistant. His bilingual skills and business acumen propelled him to become Head Comprador. He was knighted twice by the British monarchy, first as Knight Bachelor by King George V in 1915, and then as Knight Commander of the Order of the British Empire, by Queen Elizabeth II in 1955.</p>

<sup>48</sup> See *Education, Annual Report for 1871. (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1872/699518.pdf>, p. 98.



 <p>Ho Fook 何福先生 (1863-1926)</p>	<p>Ho Fook was the brother of Sir Hotung. He was a famous businessman and philanthropist in Hong Kong. He joined Jardine Matheson as an assistant to Hotung in 1885 and became the chief comprador in 1900. Like his brother Sir Hotung, he became an influential member of the Chinese community.</p>
 <p>Ho Kom Tong 何甘棠先生 (1866-1950)</p>	<p>After graduating from Central School in 1886, Ho Kom Tong became the agent for the insurance department of Jardine Matheson. When his brother, Ho Fook became the chief comprador in 1900, Ho Kom Tong worked as his assistant. Ho Kom Tong also conducted his own business on the side. He established a cotton and yarn company in Hong Kong. He was also recognized as leading figure within the Chinese community.</p>
 <p>Sir Shouson Chow 周壽臣爵士 (1861-1959)</p>	<p>He was a notable figure in the Hong Kong Government. Before he studied overseas in the 1870s, he had been studying in Central School since he was eleven. Subsequently, he was sent to the American by the Qing government to pursue western studies. After the Qing government recalled the students back to China in 1881, he worked in the Qing Government and was also influential in the colony's social and public affairs. He became the first Chinese member of Executive Council and was knighted by the British monarchy in 1926</p>



### 2.2.3 New school building of Central School at Hollywood Road (1889-1948) and its surroundings

In 1877, the Board of Education recommended to move the Central School from Gough Street to the site where the Former Hollywood Road Police Married Quarters now stands.<sup>49</sup> The proposed site was encircled by Aberdeen Street, Hollywood Road, Shing Wong Street and Staunton Street, where Rangel's Estate was originally occupied.

After all the buildings on the site of Rangel's Estate were torn down in the late 1870s and early 1880s, the construction work of the new school premises started in 1884. The foundation stone was laid by Sir George Bowen, the ninth Hong Kong Governor on 26th April, 1884.<sup>50</sup> The new building was completed and occupied in August, 1889.<sup>51</sup> After the school was moved to the new site, it was renamed as Victoria College.<sup>52</sup> The old site of Central School was then occupied by Belilios Public School in 1893.<sup>53</sup> (Fig. 41 - Fig. 45)

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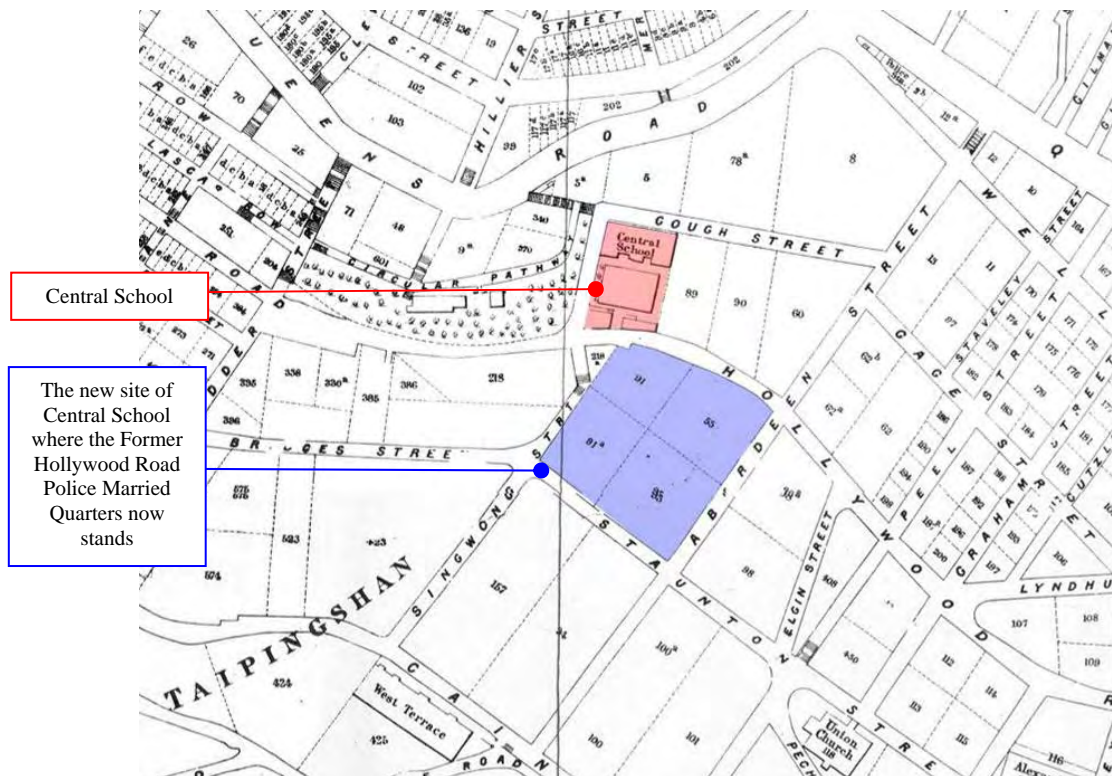
<sup>49</sup> See *GA 1877 no. 236, Central School, Report, &c., as to Site for,; Tree Planting, Report as to; Time-Ball. Regarding the Establishment of a; Breakwater, Report on the Erection of., (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1877/691303.pdf>, p. 504.

<sup>50</sup> See *Education, Reports for 1889. (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/s1890/1259.pdf>, p. 219.

<sup>51</sup> See *Reports on Works Completed, Public Works, 1889. (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/s1889/1246.pdf>, p. 318.

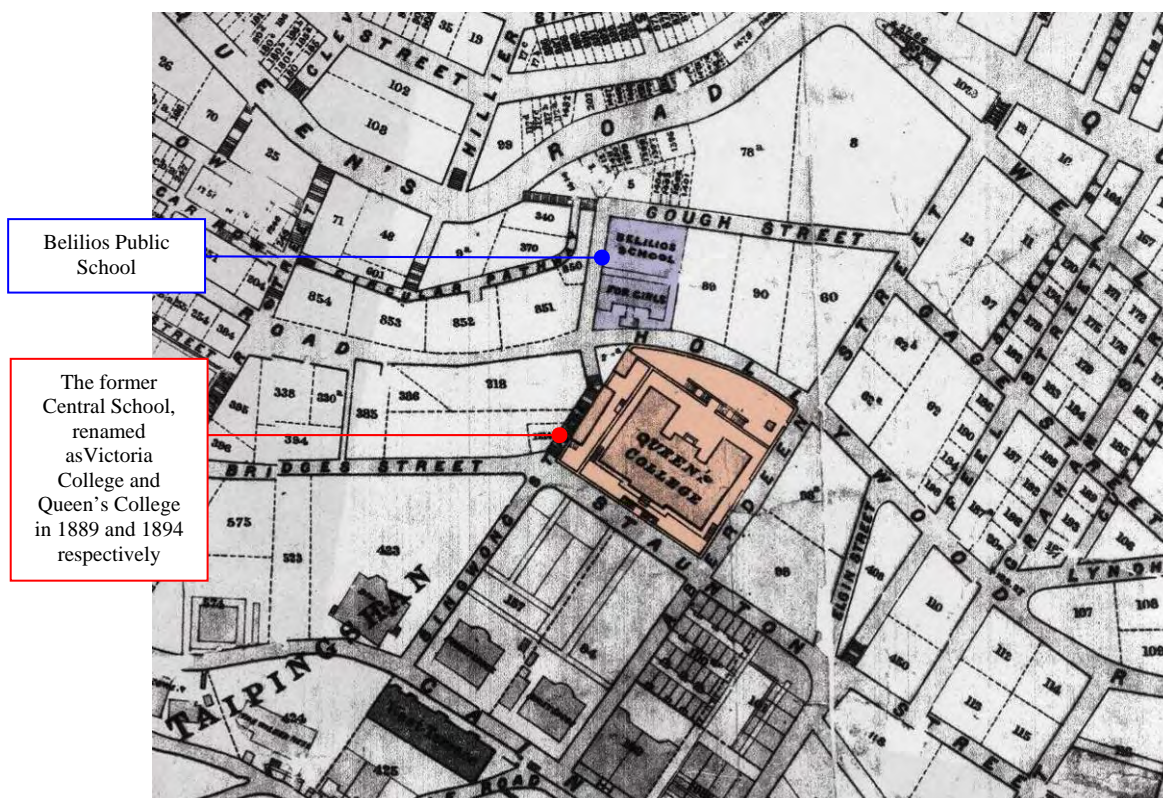
<sup>52</sup> See *GA 1890, no. 70 Removal of Government Central School, renamed Victoria College (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1890/654880.pdf>.

<sup>53</sup> See *School History. (2009-2010)*. Retrieved 10 December, 2010, from Belilios Public School under Belilios Public School, Web Site: <http://www.belilios.net/>.



**Fig. 41. An old map of 1887 showing the locations of the old and new site of Central School.**

(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HG27-2(partial).)



**Fig. 42. An old map of 1889 showing the location of the former Central School and Belilios Public School.**



(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HG29-3(partial).)

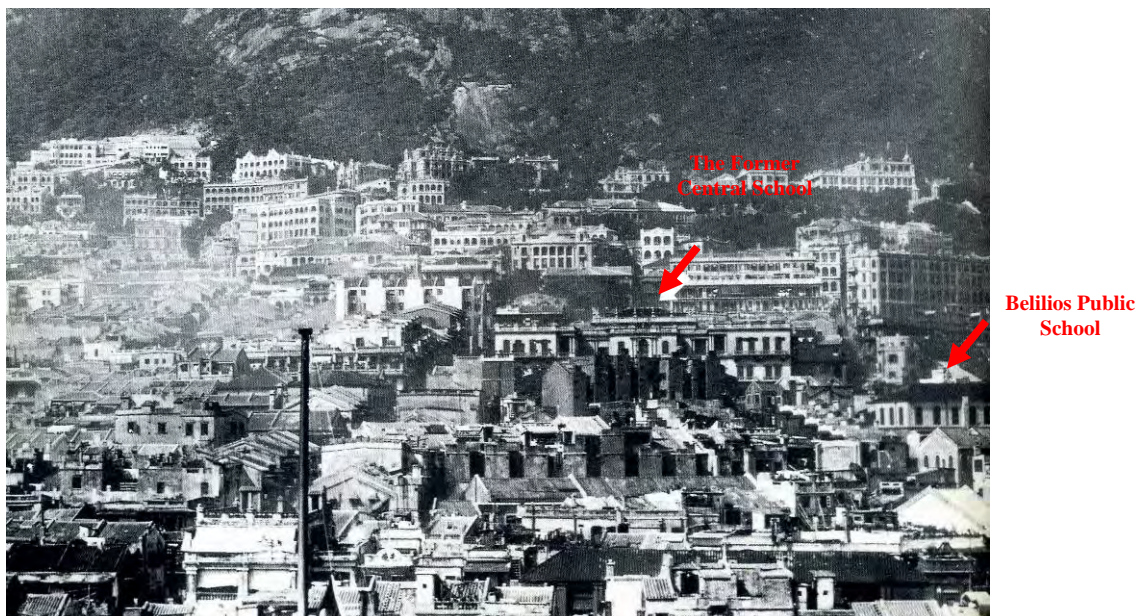
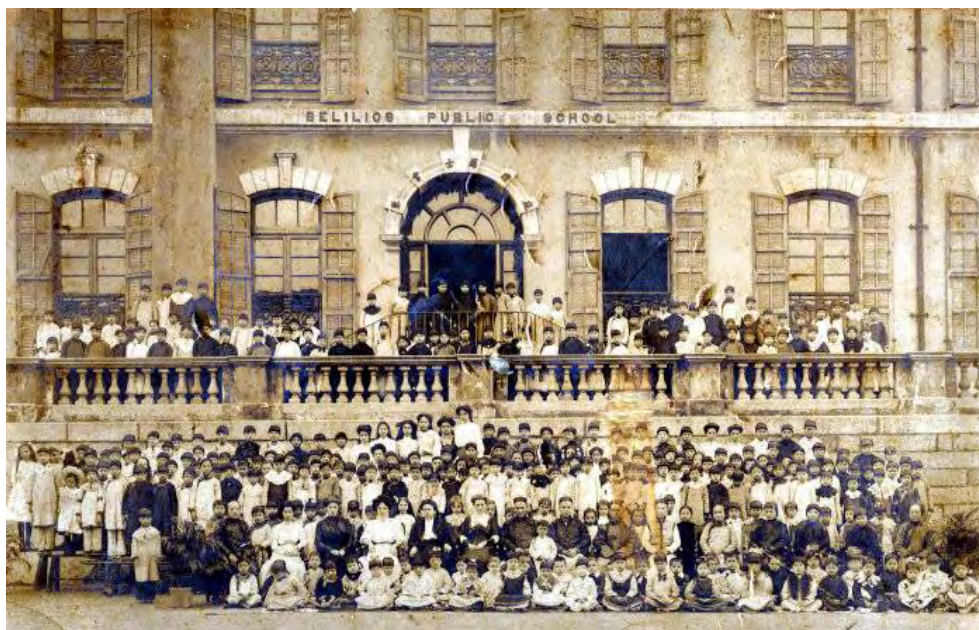


Fig. 43. The former Central School and Belilios Public School in 1893.  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 8.)



Fig. 44. Belilios Public School, 1900s.  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 9)



**Fig. 45. Belilios Public School, 1900s.**  
 (from *School History*. (2009-2010). Retrieved 10 December, 2010, from Belilios Public School under Belilios Public School, Web Site: <http://www.belilios.net/>.)

In 1889, there were 29 teaching staffs and 919 students studying in Victoria College.<sup>54</sup> Five years later, the Government Gazetted that the name of the school was changed from Victoria College to Queen's College.<sup>55</sup> New subjects such as Latin, Book-keeping, Arithmetic, Euclid and Drawing were taught in the school.<sup>56</sup> (Fig. 46 - Fig. 49)

During the Japanese Occupation, the school was temporary closed and occupied by the Japanese as the headquarters of a contingent of Japanese cavalry. The desks were used as feed-boxes for horses. Subsequently, the Japanese abandoned the building as it was unsafe. The school building then caught fire and was razed to the ground towards the end of the war.<sup>57</sup>

After the war, the school buildings were severely damaged. In 1946, the school was reopened at No. 26 Kennedy Road which was previously used as a primary school by the Japanese since around 1935.<sup>58</sup> The school building at Hollywood Road was torn down in 1948<sup>59</sup> and the

<sup>54</sup> See *Education, Reports for 1889*. (1996). Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/s1890/1259.pdf>, p. 221 and 223.

<sup>55</sup> See *GA 1894, no. 38 Victoria College to be known as Queen's College* (1996). Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1894/644002.pdf>.

<sup>56</sup> See *Report, Queen's College, 1895* (1996). Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/g1896/638407.pdf>.

<sup>57</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 161.

<sup>58</sup> Nos. 26-28, *Kennedy Road(Former Japanese Primary School)(I.L.1378-1379), 14.05.1946-13.08-1971, Reference File HKRS 156-5-1* from Hong Kong Public Records Office, Hong Kong SAR Government, p. 7.

<sup>59</sup> Information Note –Former Central School site at Hollywood Road. Retrieved 10 December, 2010, from Legislative Council, Web Site: <http://www.legco.gov.hk/yr07-08/english/sec/library/0708in06-e.pdf>, p. 2.



school was eventually relocated to a new school building on Causeway Road in Causeway Bay in 1951.<sup>60</sup> (Fig. 50 - Fig. 51)



Fig. 46. The Central School, renamed as Victoria College when it was moved to Hollywood Road in 1889.

(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 35.)

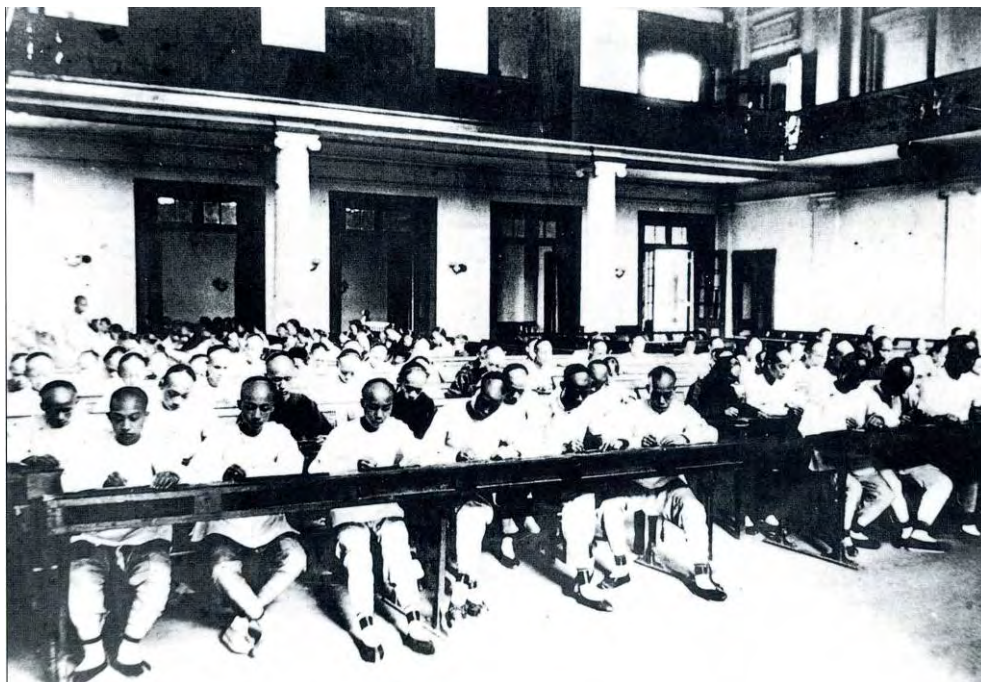


Fig. 47. Examination in progress in the school hall in the former Central School, 1903.

(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 32.)

<sup>60</sup> See *School History*. Retrieved 10 December, 2010, from Queen's College, Web Site: <http://www.qc.edu.hk/>.



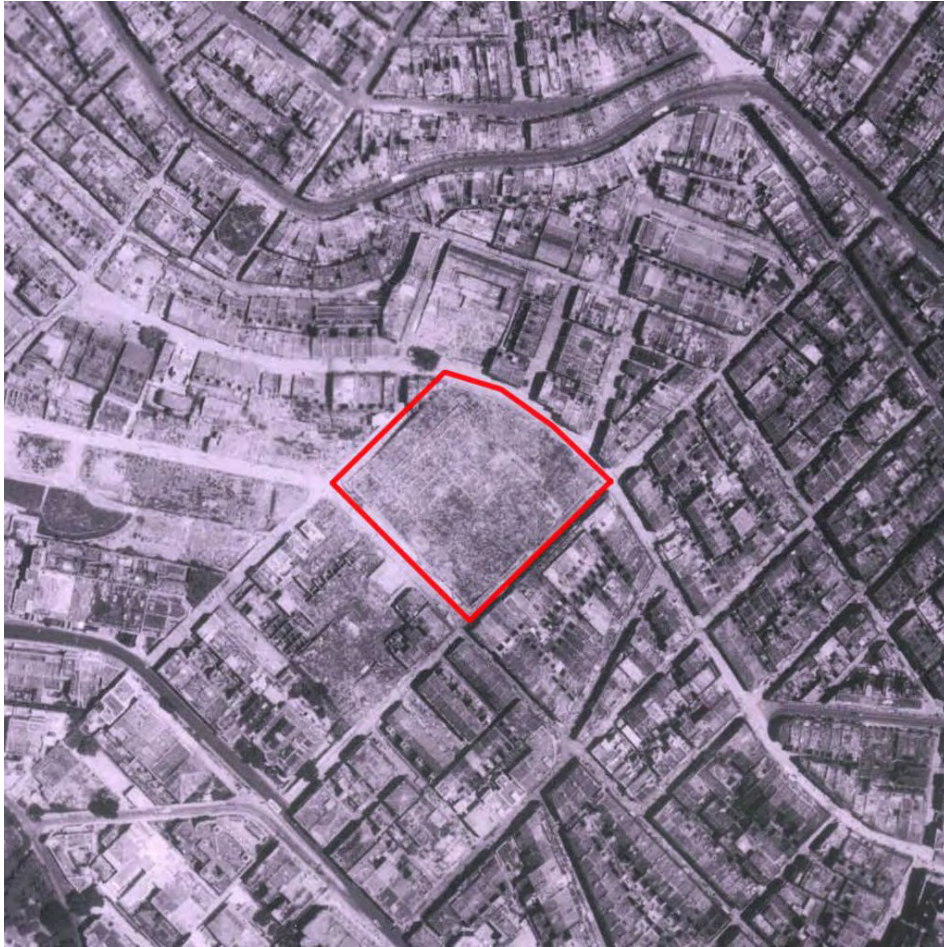


Fig. 48. A banquet was held for celebrating the coronation of King George V in the Great Hall of Queen's College, 1911.  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, pp. 34-35.)



Fig. 49. Physical training class on the upper playground of the former Central School, 1939.  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 96.)








**Fig. 50. An aerial photo of 1949 showing the site of the former Central School at Hollywood Road.**  
 (Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, photo ref. no. 6024.)

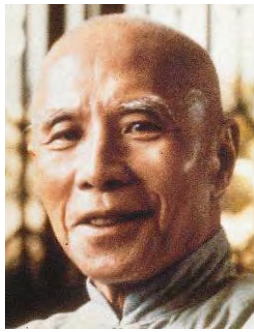


**Fig. 51. New building of Queen's College at Causeway Bay, 1950.**  
 (from Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 166.)

During the era of the school at Hollywood Road, many important figures in the history of Hong Kong and China studied at the school, such as Dr. Fok Ying Tung 霍英東博士, Mr. Lee Hysan 利希慎先生, Mr. Ho Shai Lai 何世禮先生 and Sir Tang Shiu Kin 鄧肇堅爵士. Among the graduates, they emerged as Hong Kong community leaders or held high positions in commercial firms and China's administration.

**Table 2. Some notables who contributed extensively to Hong Kong as well as China studied in Victoria College and Queen's College at that time.**

 <p>Dr. Fok Ying Tung 霍英東博士 (1923-2006)</p>	<p>Dr. Fok Ying Tung was an illustrious businessman in Hong Kong. He studied in Queen's College, but was not able to finish the junior due to the Japanese invasion. After the war, he began to build his business empire. His business interests included restaurant, real estate, casinos and petroleum. He also had a great influence on Hong Kong political affairs. He was a member of the Drafting Committee for the Basic Law of Hong Kong Special Administrative Region and the vice-chairman of the Preparatory Committee of Hong Kong Special Administrative Region.</p>
 <p>Mr. Lee Hysan 利希慎先生 (1879-1928)</p>	<p>Mr. Lee Hysan was a distinguished land developer and entrepreneur in Hong Kong. He studied at Queen's College at seventeen. Lee Hysan inherited the business of the opium trade from his father and also actively engaged in the real estate business.</p>
 <p>Mr. Ho Shai Lai 何世禮先生 (1906-1998)</p>	<p>Mr. Ho Shai Lai, the third son of Sir Hotung, was a general under the Chinese Nationalist Party. He once served as the ambassador to Japan for the Republic of China in the early 1950s and later served in Nationalist China military attach to the United Nations.</p>



Sir Tang Shiu Kin  
鄧肇堅爵士  
(1901-1986)

Sir Tang Shiu Kin was educated at both Queen's College and St. Stephen's College sequentially. After he finished his study in 1919, he inherited his father's business. In 1933, he founded the Kowloon Motor Bus Company and was influential in the social welfare in Hong Kong. He once served as the Director of Tung Wah Hospital and Po Leung Kuk.

In the late 19th and the early 20th century, the area in the vicinity of the former Central School was mainly inhabited by the Chinese. Government institutional and communal buildings, including church, school, hospital and public latrine were hence built for the Chinese in the district.

### Church

Several churches were built for the Chinese by different religious organizations at that time, such as the Congregational Mission Preaching House and the Daoji Mission House. The Congregational Mission Preaching House was founded by C.R.Hager, an American missionary at the present-day Bridges Street Market in 1883. In the same year, Dr. Sun Yat-sen was baptized in the Church. It is also said that Dr. Sun once resided on the third floor of the building during 1884 and 1886.<sup>61</sup>

Established in 1888, the Daoji Mission House was built by the Chinese Christians of London Missionary Society at No. 59, Hollywood Road. The Church was moved to Bonham Road and renamed as CCC Hop Yat Church in 1926.

### Hospital

In 1887, the Alice Memorial Hospital (Fig. 52) which was chiefly for the Chinese, was established by Sir Ho Kai and London Missionary Society at Nos. 75-81, Hollywood Road. The hospital also housed the Hong Kong College of Medicine for Chinese where Dr. Sun Yat-sen graduated in 1892.

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<sup>61</sup> *Original Site of the American Congregational Mission Preaching House.*(2009). Retrieved 29 December, 2010, from Heritage Trails, under Antiquities and Monuments Office, Leisure and Cultural Services Department, Web Site: [http://www.lcsd.gov.hk/CE/Museum/Monument/en/trails\\_sheungwan2.php?tid=17](http://www.lcsd.gov.hk/CE/Museum/Monument/en/trails_sheungwan2.php?tid=17).





**Fig. 52. Alice Memorial Hospital.**  
(from *Sun Yat-sen in Hong Kong*(2006). Retrieved 13 January, 2011, under the University of Hong Kong, Web Site: <http://www.lib.hku.hk/syshk/D.html>.)

### School

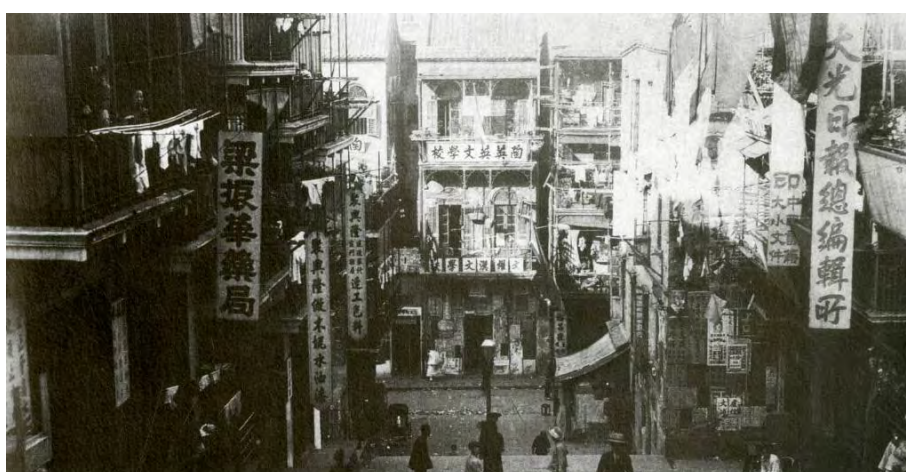
A glimpse of the street scene in the vicinity of the former Central School could be caught in two old photographs taken in the 1920s. It is observed that there were many bookstores and private schools opened in the area surrounding the the former Central School, such as Chung Wah Shu Chong 中華書莊 [Chung Wah Bookstore] (Fig. 53), Man Mei Shu Kuk 文美書局 [Man Mei Bookstore] (Fig. 53), To Ying English School 陶英英文學校 (Fig. 54) and Man Yiu Chinese School 文耀漢文學校 (Fig. 54). It is also said that Yang Qu-yun 楊衢雲, the first president of Hsing Chung Hui 興中會 [Revive China Society], once set up a school at No. 52 Gage Street in the late 19th century.<sup>62</sup>

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<sup>62</sup> *Site of the School where Yang Quyan was murdered.*(2009). Retrieved 29 December, 2010, from Heritage Trails, under Antiquities and Monuments Office, Leisure and Cultural Services Department, Web Site: [http://www.lcsd.gov.hk/CE/Museum/Monument/en/trails\\_sheungwan2.php?tid=12](http://www.lcsd.gov.hk/CE/Museum/Monument/en/trails_sheungwan2.php?tid=12).



**Fig. 53. Hollywood Road near Shing Wong Street, 1925.**  
(from Zheng Baohong 鄭寶鴻, *A Century of Hong Kong Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 10.)



**Fig. 54. Gough Street and Shing Wong Street, 1925.**  
(from Zheng Baohong 鄭寶鴻, *A Century of Hong Kong Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 67.)

### Private brothel

In the early 20th century, private brothels were prosperously developed along Hollywood Road and Aberdeen Street where the brothel area was collectively known as Ho Chi Ap Dao 荷池鴨道.<sup>63</sup> Brothels were also found in Shing Wong Street, Gough Street, Gage Street, Graham Street, Tung Street and West Street. After the Government prohibited prostitution in 1935, some prostitutes became singsong girls or masseuses, but the majority became escort girls. They continued to practice prostitution surreptitiously with many operating as private individuals at home.<sup>64</sup>

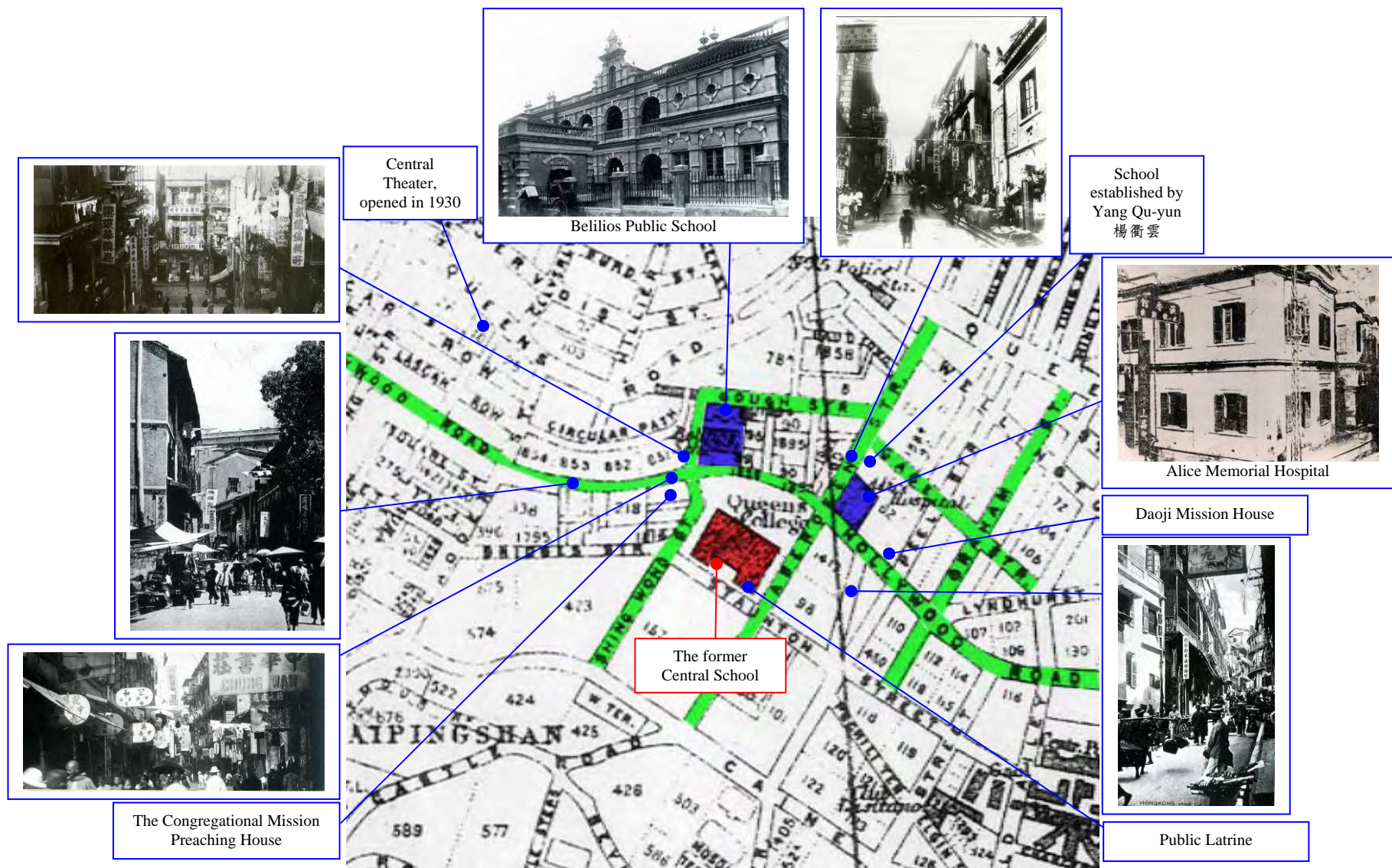
<sup>63</sup> Cheng Baohong 鄭寶鴻, *Early Hong Kong Brothels*, Hong Kong, The University Museum and Art Gallery, 2003, p. 24 and 125.

<sup>64</sup> *Ibid.*, p. 10.



**Fig. 55. Brothel district in Elgin Street, 1900.**  
(from Cheng Baohong 鄭寶鴻, *Early Hong Kong Brothels*, Hong Kong, The University Museum and Art Gallery, 2003, p. 21.)





**Fig. 56.** An old map of 1922 showing the area where the former Central School was located and its vicinity. The area highlighted in green showing the prosperous brothels' area in the early 20th century.

(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HD32 (partial).)



#### 2.2.4 The Public Latrine (underground) at the junction of Staunton and Aberdeen Street

Located at the junction of Staunton and Aberdeen Street (Fig. 56), the underground public latrine was completed in 1918 and was managed by Sanitary Department.<sup>65</sup> It is one of the underground public latrines built by the Government in the Victoria City during the early 20th century.

In the early Colonial period, the public latrines in the Victoria City were built above the ground by the private sector. Their construction and management were supervised by the Government. The sanitary condition of the latrines was poor, which was believed to be the most important factors in the spread of the disease. In 1882, Mr. Osbert Chadwick, a sanitary engineer, commented on the state of the latrines in the Victoria City as follows,

As a general rule throughout Hong Kong, in accordance with time-honoured Chinese practice, human excreta are removed by hand, on what may be called the “pail” system. Neither deodorization or disinfection of any kind is attempted...

As in the Chinese cities of the mainland, the men of the working classes resort to public latrines. Only in the houses of the more wealthy is there any latrine accommodation for men. Women and children of all classes use pots, generally kept under their beds. In coolie houses where there are no women, there is frequently a total absence of any provision for this purpose.

There are 25 public latrines in the city of Victoria, having in all 565 seats, the number in each varying from 2 to 51. These latrines are built and owned by private persons as a business speculation. Their construction and management is supervised by Government, who levy a tax of \$0.6 per seat per annum. The latrine owner derives his profit (said to be very large) from the sale of the manure collected, and from fees of 1 or 2 cash paid by those using them, according as paper and cigarette are furnished or not...

On the whole the existing latrines are offensive and a nuisance, both as to position and construction, and they are so crowded as to render improvements as to maintenance very difficult.<sup>66</sup>

In 1894, Tai Ping Shan District suffered a severe plague epidemic. When the epidemic subsided in 1895, at least 2500 people had died from it. In order to improve the sanitary condition in Hong Kong, the Government built more public latrines in the Victoria City. Some of them were constructed underground like the public latrine at the junction of Staunton and Aberdeen Street. It was also announced that all public latrines should be erected until the sanction of the Sanitary Board.<sup>67</sup>

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<sup>65</sup> See *Report of the Director of Public Works for the year 1918* (1996). Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/a1918/359.pdf>, p. 53.

<sup>66</sup> David Faure, “The Common People in Hong Kong History: Their Livelihood and Aspirations Until the 1930s”, as cited in Lee Pui-tak, *Colonial Hong Kong and Modern China: Interaction and reintegration*, Hong Kong, Hong Kong University Press, 2005, pp. 11-12.

<sup>67</sup> See *Public Health and Building Ordinance, 1903*. Retrieved 07 February, 2011, from Historical Laws of Hong Kong Online under the University of Hong Kong, Web Site: <http://xml.lib.hku.hk/gsd/collect/oelawhk/index/assoc/D5319.dir/doc.pdf>, p. 1533.

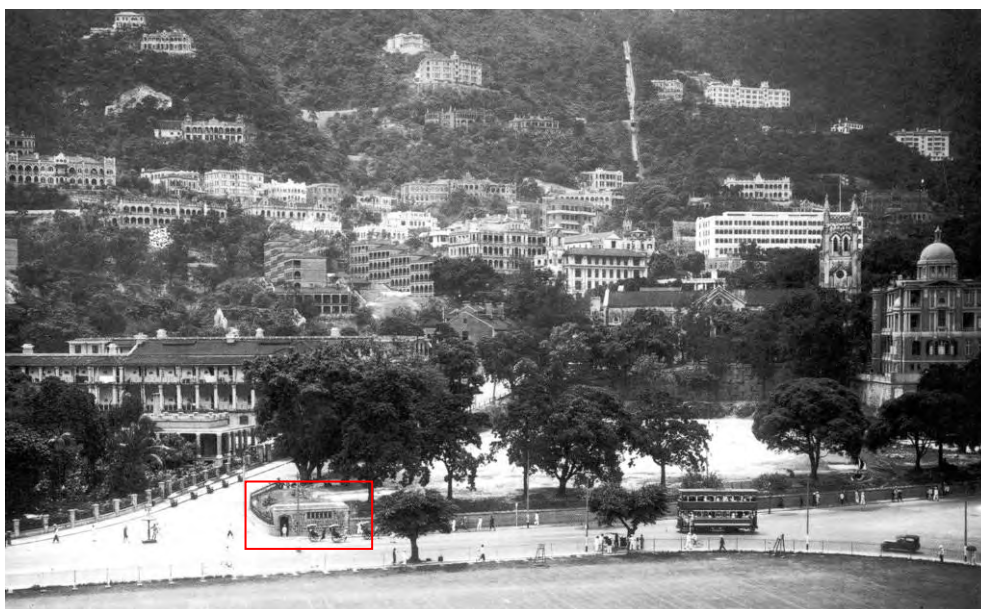
Between 1900 and 1939, there were around 17 underground public latrines built in the Victoria City. (Table 3) Built in 1901, the underground public latrine located under the play ground of the Belilios' School in Gough Street should be the first underground public latrine erected in Hong Kong. The underground public latrine at the junction of Western Street and Second Street was the only one specifically noted to have provided services for both men and women.

Today, most of the underground public latrines were already demolished and closed. The one located at the junction of Wellington Street and Queen's Road Central is the only underground public latrine that is still in use in Hong Kong.

**Table 3. A list of public latrine (underground) in Hong Kong.**

<b>Latrine type</b>	<b>Construction year</b>	<b>Location</b>	<b>Scale</b>
--	1900	Gough Street under the playground of the Belilios School)	--
--	1902	Under the Murray Parade Ground in Queen's Road (Fig. 57)	--
Trough Closet	1910	Near No. 128 Queen's Road West	38 seats and 2 urinals stalls
Trough Closet	1912	Near Fire Brigade Station (Junction of Wellington Street and Queen's Road Central) (Fig. 58)	36 seats and 4 urinals and a small store
Trough Closet	1913	At the foot of Pottinger Street	--
Trough Closet	1914	Junction of D'Aguilar Street and Wo On Lane	18 seats
Trough Closet	1916	Garden Road, in close proximity to the Peak Tramway Co.'s Lower Terminus	3 trough-closet stalls and a urinal
Trough Closet	1916	At the corner of the Cattle Depot, Kennedy Town.	--
Urinal → Trough Closet	1916	Junction of Peak and Robinson Road	--
Urinal	1918	At the top of Calder Path (to the west of Calder Path Nullah	--
<b>Trough Closet &amp; urinals &amp; 2 stores</b>	<b>1918</b>	<b>Junction of Staunton Street and Aberdeen Street</b>	<b>36 seats and 2 trough urinals</b>
Urinal	1919	Junction of Seymour and Robinson Road	--
Trough closet	1920	Underneath the steps leading from Duddell Street to Ice House Street	4 seats and 2 trough urinals
Trough closet	1921	Junction of Pokfulam Road and High Street	4 seats and 1trough urinal

Trough closet	1921	Junction of Bonham Road and Eastern Street	2 seats and 1 trough urinal
Trough Closet and bath house	1923	Second Street at its junction with Western Street (Fig. 59)	Provide accommodation for 54 men and 10 women
Latrine	1930	Junction of Ladder Street and Hollywood Road	60 seats

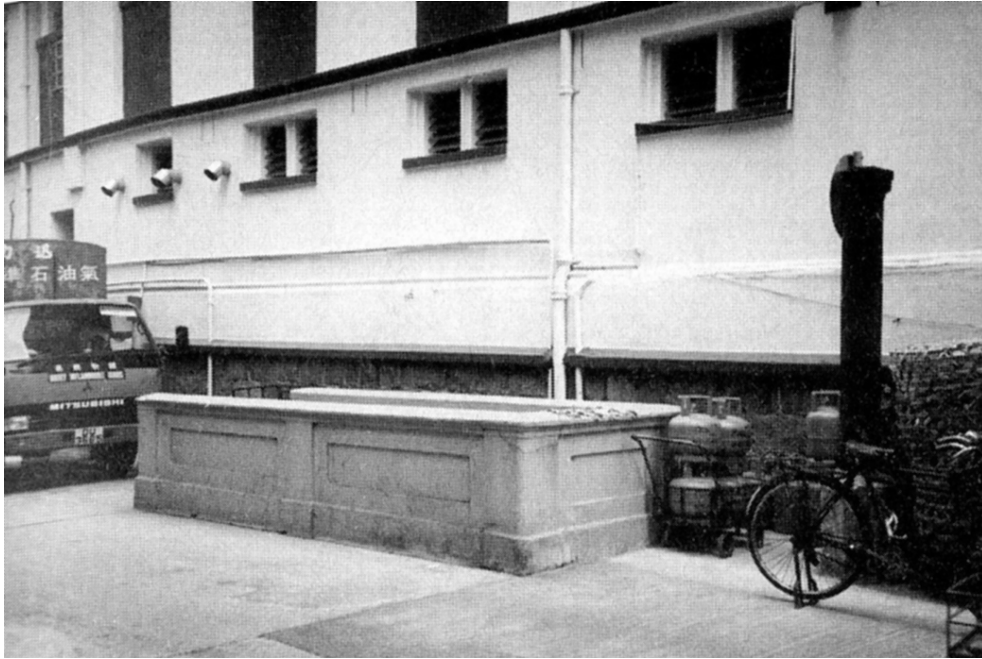


**Fig. 57. Underground public latrine was found at the junction of Queen's Road Central and Garden Road, c.1930.**  
(Cheng Baohong 鄭寶鴻, *A Century of Hong Kong Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 69.)



**Fig. 58. Underground public latrine at the junction of Wellington Street and Queen's Road Central.**  
(from Taotao 譚淘, *Xiangjiang sudi* 香江速遞, Hong Kong, Ci wenhua youxiangongsi 次文化有限公司, 1999, p. 66.)





**Fig. 59. Underground public latrine at the intersection of Second Street and Western Street.**  
(from Taotao 涛淘, *Xiangjiang sudi* 香江速遞, Hong Kong, Ci wenhua youxiangongsi 次文化有限公司, 1999, p. 66.)

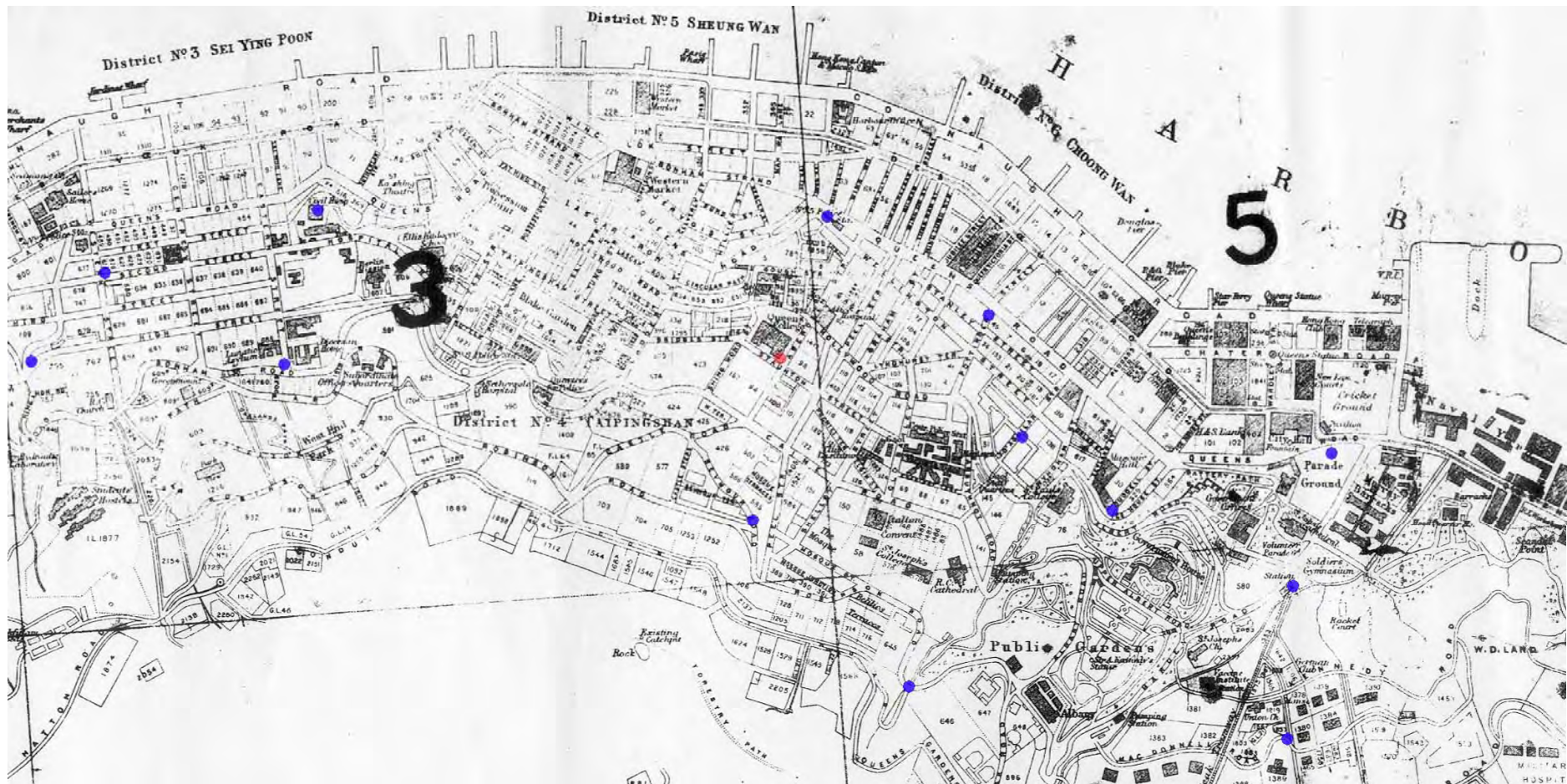


Fig. 60. An old map of 1922 showing the location of underground public latrine in Central and Western District.  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: HD34, 1922(partial)).

## 2.3 The Hollywood Road Police Married Quarters (1951-2000)

### 2.3.1 Historical background of Police Force and Police Quarters

After the Hong Kong Island was occupied by the British in 1841, the social security of Hong Kong was in a critical condition. Robbery and piracy were common. Captain Charles Elliot, the Colonial administrator, appointed Captain William Caine to be Chief Magistrate to keep the peace and the protection of life and property over all non-Chinese and Chinese inhabitants according to the customs and usages of British police law and *Daqing luli* 大清律例 [Qing Code] respectively.<sup>68</sup> His first task was to build a police force within the budget of £1,400 that was used to cover his salary and payment for 32 man force, prison services and clerical help.<sup>69</sup> These man force included European and Indian who could not speak Cantonese.<sup>70</sup> Caine's first office was only a matshed located at the present-day Central Police Station. A few months later, this temporary structure was torn down while three temporary police stations were constructed in Pottinger Street 砵甸乍街, Stanley and Aberdeen.<sup>71</sup>

Even though the police force was established, law and order had not been improved due to the chaos and disorganization of the police force. Robbery, smuggling and piracys were still frequent on Hong Kong Island.

In 1845, Charles May was appointed to be the Captain Superintendent of Police. His first priority was to recruit a better calibre of men. The size of the man force increased to 171, which included European, Indian and Chinese.<sup>72</sup> (Fig. 61) The European and Indian were still of majority. He also made improvements to the conditions of service, including pay, pensions and quarters.<sup>73</sup> Such improvements resulted in an immediate increase in the applications.

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<sup>68</sup> Ernest John Eitel, *Europe in China: the History of Hongkong from the beginning to the year 1882*, 1895, see edition in Taipei, Ch'eng-wen Pub.Co., 1968, pp. 170-171.

<sup>69</sup> Stephanie Holmes, *Asia's Finest: An Illustrated account of the Royal Hong Kong Police*, Hong Kong, Unicorn, 1983, p. 16.

<sup>70</sup> Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 26.

<sup>71</sup> Colin Crisswell, *The Royal Hong Kong Police, 1841-1945*, Hong Kong, Macmillan, 1982, p. 193.

<sup>72</sup> Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 27.

<sup>73</sup> Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 27.





**Fig. 61. Hong Kong Police Force.**  
 (from Hong Jinyu 洪金玉 and Guan Ruowen 關若文, *Lishi huigu: liren Xianggang zongdu yu Xianggang zhengui lishi tupian (1842 – 1997)* 歷史回顧: 歷任香港總督與香港珍貴歷史圖片 (1842 – 1997) [The 28 Governors with Photo Collections of Historical Hong Kong], Hong Kong, Xianggang rongyu chuban youxian gongsi 香港榮譽出版有限公司, 1996, p. 68)

After the Kowloon Peninsula and New Territories were ceded and leased to the British in 1860 and 1899 respectively, the scope of police was extended to maintain the law and order in the new territories. In 1867, the force sized almost six hundreds of which nearly two-thirds were Indians.<sup>74</sup> Between 1898 and 1900, three hundreds men were recruited.<sup>75</sup> Below the ranking of the Captain Superintendent of Police, there were five classes of ranking in the Police Force, including 1<sup>st</sup> class inspector, 2<sup>nd</sup> class inspector, Sergeant, Acting Sergeant and Constable.<sup>76</sup>

In 1934, Thomas Henry King was appointed to be the Captain Superintendent of Police. Under his leadership, the structure of police force was changed. The Chinese could be recruited directly into the office ranks as Sub-Inspectors. They would undertake some of the supervisory duties which were previously the sole prerogative of European officers. Ten Chinese Sub-Inspectors were recruited annually between 1936 and 1938.<sup>77</sup>

Before the Second World War, living quarters were provided to police officers, including single officers of all ranks and married police in high-ranking officers as part of staff benefits. As

<sup>74</sup> Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 27.

<sup>75</sup> Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 28.

<sup>76</sup> See *Memorandum on the Subject of New Police Pension Rules & increased Rates of Pay (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/s1884/1287.pdf>.

many police stations were located in isolated areas with no convenient means of transport, most of the quarters were included in police station buildings. From the Government annual reports, it is found that certain parts of the police stations were designated as officers' quarters in the original architectural blueprints of the early police stations. Many police officers lived in the police station buildings where they were stationed.

Private premises were also rented as quarters for the Police. For example, two tenement houses of four flats each, one in Wong Nei Chung Road and one at Praya East, were rented to serve as quarters for European and local police in 1925.<sup>78</sup>

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<sup>77</sup> Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 29.

<sup>78</sup> See *Public Works, Administrative Reports for the year 1925 (1996)*. Retrieved 10 December, 2010, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/a1925/576.pdf>, p. Q 144.

### 2.3.2 Innovation of Police Force and Police Quarters after the Japanese Occupation

#### Innovation of Police Force

During the Japanese Occupation, all European officers were rounded up in internment. Many local policemen managed to leave Hong Kong and escape to the Mainland, while a number of Indian officers worked for the Japanese Gendarmerie to police the Colony.

After the war, some foreign officers went back to their former posts, but most of the internees were too weak or sick to resume normal duties and were repatriated. On the other hand, the Police Force doubted the loyalty of Indian officers who once worked for the Japanese.<sup>79</sup> Thus, they were not re-engaged and were replaced by Chinese officers.

In 1946, Duncan MacIntosh was appointed to be the Commissioner of Police, and some reformations were carried out during his appointment between 1946 and 1953. (Fig. 62) The benefits for all ranks had greatly improved, including increasing the salary for all ranks and the provision of married quarters for local officers. The manpower of police force had a double increase during his appointment.

Since 1949, the establishment of the People's Republic in China prompted an increased refugee flow into Hong Kong. From 1947 to 1961, the Hong Kong's population increased from 1.8 million to 3.2 million.<sup>80</sup> Large scale riots broke out in the 1950s and 1960s due to the political and social unrest in Hong Kong.

In the 1950s, most of the Chinese immigrants who were against the Communist Party of China resided in resettlement estates in Shek Kip Mei 石硤尾, Tai Hang Tung 大坑東 and Li Cheng Uk 李鄭屋. In 1956, the celebration of the 1911 October Revolution took place in Li Cheng Uk 李鄭屋. Riot broke out immediately because the resettlement officer ordered to remove the Nationalist flags. The riot was spread out from Kowloon to Tsuen Wan. At least 59 people lost their lives in the riots.

In 1960s, riots sparked unrest in Hong Kong. The Star Ferry riot was a serious disturbance that took place on the Kowloon Peninsula in 1966. The riot was caused by an increment of Star Ferry fare. It resulted in three nights of rioting in Kowloon. The areas in Mong Kok and Yau Ma Tei were the scene of the main disturbances.

One year later, there was a wave of riots broken out by the pro-communist leftists inspired by the Cultural Revolution. They resorted to force, planting bombs on streets and murdering

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<sup>79</sup> See *History (2008)*. Retrieved August 29, 2008, from Hong Kong Police Force under the Hong Kong Police Force, Web Site: [http://www.police.gov.hk/hkp-home/english/history/history\\_02.htm](http://www.police.gov.hk/hkp-home/english/history/history_02.htm).

<sup>80</sup> Fong Kwok Wing 方國榮, Chen Chik 陳迹, *Home of Yesterday*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 1993, p. 16.



members who worked in media and voiced their opposition to the violence. The riot lasted for seven months and resulted in the loss of 51 lives.<sup>81</sup>

Following the riots, there was a substantial increase in the demand for police force. As a result, the size of police force was gradually raised.



**Fig. 62. Duncan MacIntosh, the Police Commissioner between 1946 and 1953**  
(from Hong Kong Police Museum, Royal Hong Kong Police, *Police Museum*, Hong Kong, Hong Kong Police Museum, Royal Hong Kong Police, p. 57)

### Provision of the police quarters

After the Japanese Occupation, the small pre-war accommodation for single men was seriously deficient. Some huts were built to ease the congested situation in 1950 and 1951. These huts, including two at Upper Levels Police Station, three at Kowloon Headquarters and one at Sham

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<sup>81</sup> See *Police History: The Modern Era 1945-67* (2010). Retrieved December 20, 2010, from Hong Kong Police Force under the Hong Kong Police Force, Web Site: [http://www.police.gov.hk/ppp\\_en/01\\_about\\_us/ph\\_03.html](http://www.police.gov.hk/ppp_en/01_about_us/ph_03.html).

Shui Po, could house four hundred men in total.<sup>82</sup> However, more accommodation was still needed.

Between 1950s and 1970s, new police quarters were built to improve the living conditions for all ranks. Some of them were attached to police stations, while some were built as individual buildings where no police station was located nearby.

New police quarters were built in the 1980s and 1990s to replace the old police quarters. Most of them are still occupied by the police force at present. Apart from these new police quarters, the Hong Kong Government also purchased surplus Home Ownership Scheme flats to substitute the old police quarters in 2004. Under this reprovisioning project, a total of 4,304 flats in Yau Mei Court and Ko Cheung Court in Yau Tong, Kwai Chung Phase 7 and Kwai Yung Court in Kwai Chung were purchased by the Government. Police officers who originally lived in the Police Married Quarters in the Western district, Tanner Road, Wanchai, Homanti, Au Tau, Tai Lam Chung, Shatin and Kwai Chung were relocated.<sup>83</sup>

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<sup>82</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1950-51*, Hong Kong, Hong Kong Government Printer, 1951, p. 14.

<sup>83</sup> Force gets 2,723 HOS flats as quarters. Retrieved in 20 December, 2010 from The Newspaper of the Hong Kong Police Force – Offbeat 781 the Hong Kong Police Force Web Site: <http://www.police.gov.hk/offbeat/781/eng/index.htm>.

### 2.3.3 Construction of the Police Married Quarters at Hollywood Road (1950-51)

Bounded by Hollywood Road, Aberdeen Street, Staunton Street and Shing Wong Street, Police Married Quarters at Hollywood Road was built on the old site of the former Central School in Sheung Wan, where was still a Chinese commercial area after the Japanese Occupation. (Fig. 63) It was the first police quarters built to provide accommodation for Asiatic married rank and file officers in Hong Kong. The construction work was commenced in May 1950 and completed in April 1951.<sup>84</sup> It could provide accommodation for 168 married rank and file families, including 140 constables and 28 Non Commissioner Officers. The buildings were opened by Lady Grantham on 11th April 1951.<sup>85</sup> (Fig. 64)

The construction of the recreation centre was started in March 1951.<sup>86</sup> In the 1960s, it was converted into a primary school, namely Hollywood Road Police Primary School.<sup>87</sup> The school contained six classrooms which were used by the classes of Primary one to Primary six.<sup>88</sup> The building was changed to the Central Junior Police Call Centre in 1974.<sup>89</sup>

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<sup>84</sup> Director of Public Works, *Annual Departmental Report 1950-51*, Hong Kong, Hong Kong Government Press, 1951, p. 4.

<sup>85</sup> Director of Public Works, *Annual Departmental Report 1951-52*, Hong Kong, Hong Kong Government Press, 1952, p. 4.

<sup>86</sup> Director of Public Works, *Annual Departmental Report 1950-51*, Hong Kong, Hong Kong Government Press, 1951, p. 4.

<sup>87</sup> Personal Profile. Retrieved in 20 December, 2010 from CY Leung Blog, 16 November, 2010. Web Site: <http://www.cyleung.hk/en/>.

<sup>88</sup> *Helihuodao jingchasushe* 荷李活道警察宿舍 [Hollywood Road Police Quarters]. Retrieved in 20 December, 2010 from CY Leung Blog, 16 November, 2010. Web Site: <http://www.cyleung.hk/blog/article.php?id=408>.

<sup>89</sup> *Historic Building Appraisal - Hollywood Road Married Police Quarters*. (2010). Retrieved 29 December, 2010, from Antiquities and Monuments Office, Leisure and Cultural Services Department, Web Site: [http://www.lcsd.gov.hk/ce/Museum/Monument/form/all\\_new\\_seven\\_items\\_history.pdf](http://www.lcsd.gov.hk/ce/Museum/Monument/form/all_new_seven_items_history.pdf).



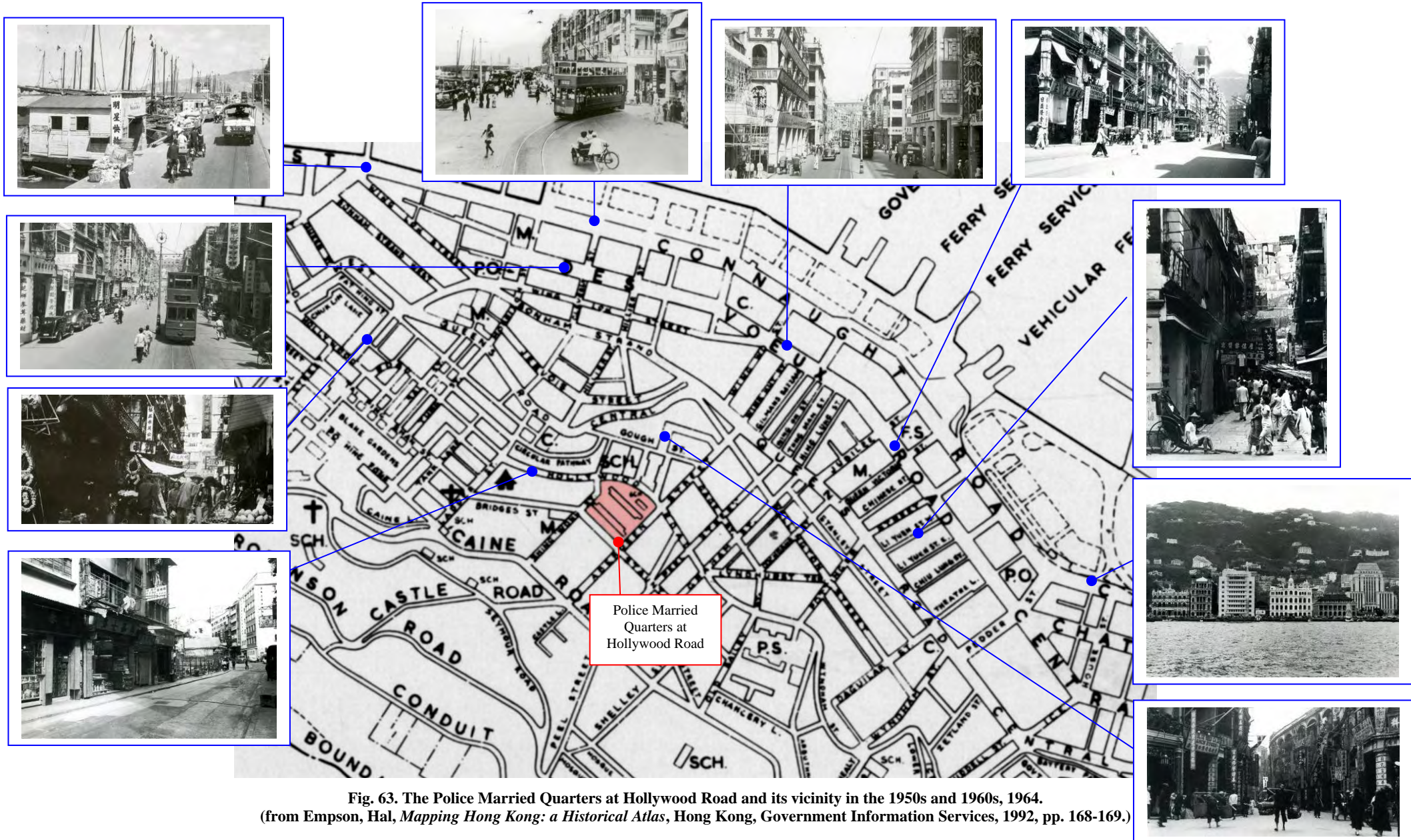


Fig. 63. The Police Married Quarters at Hollywood Road and its vicinity in the 1950s and 1960s, 1964.  
(from Empson, Hal, *Mapping Hong Kong: a Historical Atlas*, Hong Kong, Government Information Services, 1992, pp. 168-169.)





**Fig. 64. Police married quarters at Hollywood Road, 1951.**  
 (from Hong Kong Police, *Annual Report by the Commissioner of Police 1950-51*,  
 Hong Kong, Hong Kong Government Printer, 1951.)

After the Japanese Occupation, the site surrounding the police married quarters at Hollywood Road was still a Chinese residential area. The Chinese Civil War (1947-1949) and the communist victory in the mainland promoted an increased refugee flow into Hong Kong. The rapid population growth resulted in a huge demand for housing. As a result, multi-storey residential buildings were constructed in the vicinity of the police married quarters during 1950s and 60s. From an old photograph dated in 1960, we can have a glimpse of the police married quarters and its contexts. It is found that the police married quarters was encircled by multi-storey residential buildings. (Fig. 65)

In order to cope with the needs of community, new government institutional and communal buildings, such as market and schools were also built near the police married quarters. A new market was erected at Bridges Street in 1953, while Sheng Kung Hui Kei Yan Primary School was established in the old site of Belilios Public School in 1955.



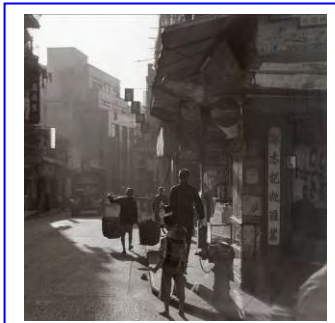
The Police  
Married Quarters  
at Hollywood  
Road

**Fig. 65. The Police Married Quarters at Hollywood Road in 1960.**  
(*Hong Kong Views – [Western end of Central District, Aberdeen Street in the Centre Right, 1960], Reference File HKRS 365-1-35-1 from Hong Kong Public Records Office, Hong Kong SAR Government.*)

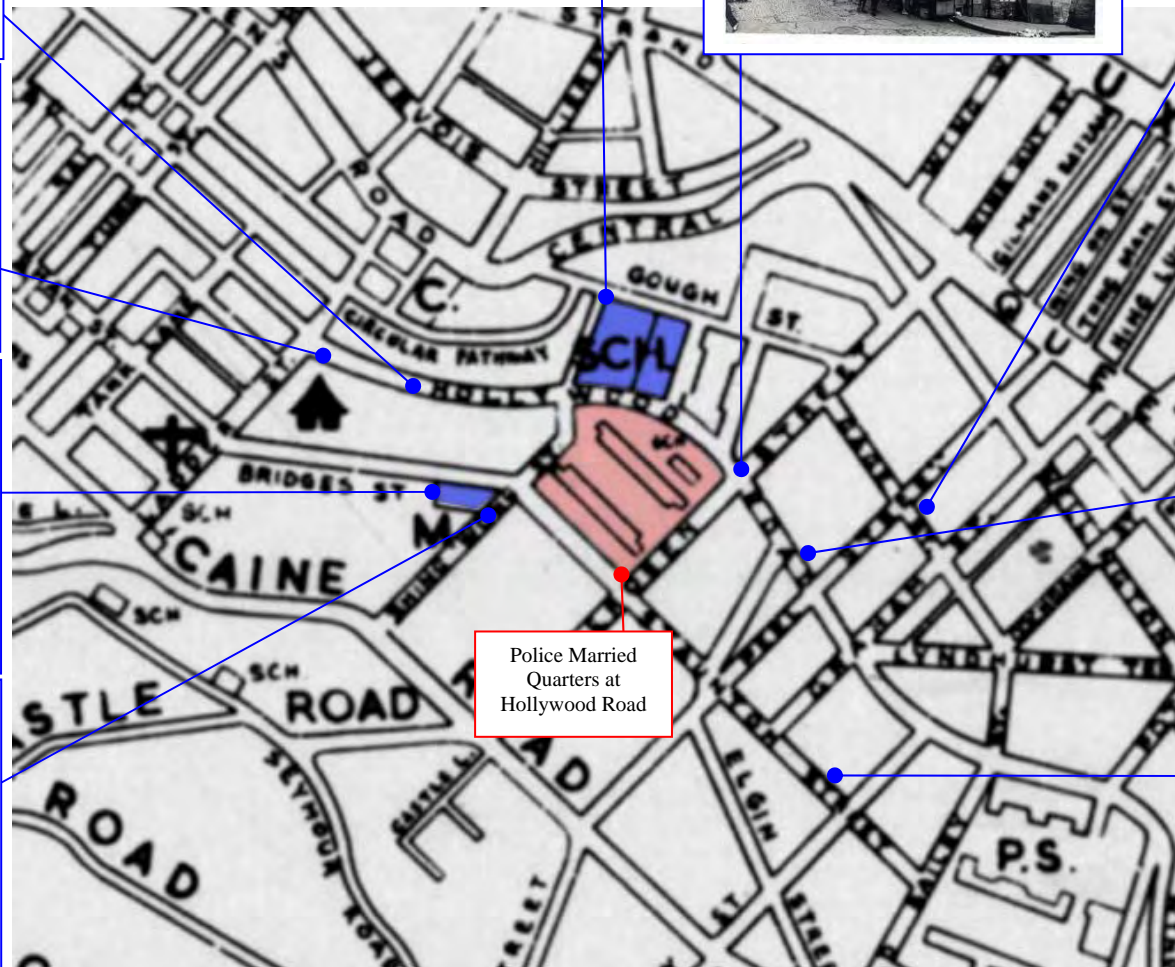




Bridges Street Market



Sheng Kung  
Hui Kei Yan  
Primary School



Police Married  
Quarters at  
Hollywood Road

Fig. 66. An old map of 1964 showing the location of Police Married Quarter at Hollywood Road and its vicinity.  
(from Empson, Hal, *Mapping Hong Kong: a Historical Atlas*, Hong Kong, Government Information Services, 1992, pp. 168-169.)

### 2.3.4 Eminent persons lived in the Quarters

Since its completion, several renowned people who served in important positions in the Hong Kong Government once lived in the quarters, such as Mr. Donald Tsang Yam Kuen 曾蔭權, Mr Tsang Yam Pui 曾蔭培 and Dr the Honourable Leung Chun Ying 梁振英. Mr. Tsang Yam Kuen 曾蔭權 is the current Chief Executive of the Hong Kong Special Administrative Region of the People's Republic of China, while his brother Mr Tsang Yam Pui 曾蔭培 was the Commissioner of Police of Hong Kong between 2001 and 2003. Their father Mr. Tsang Wan 曾雲 was a member of the police force. (Fig. 67) They initially lived in Room 408 at Block A and subsequently moved to a bigger flat, Room 314 at the same block because their father was promoted to a higher rank of staff sergeant.<sup>90</sup> (Fig. 68)

Dr the Honourable Leung Chun Ying 梁振英 is the current Convenor of the Non-official Members of the Executive Council. His father was one of police officers who was hired from Wei Hai Wei 威海衛 in Shantung 山東 Province in the late 1920s.<sup>91</sup> When Dr the Honourable Leung Chun Ying 梁振英 was young, he once lived in Room 603 at Block B in the Police Married Quarters at Hollywood Road.<sup>92</sup> Mr Donald Tsang Yam Kuen 曾蔭權 and Dr the Honourable Leung Chun Ying 梁振英 also once studied at Hollywood Road Police Primary School.<sup>93</sup>

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<sup>90</sup> *Yuebian zhonghuan* 悅變中環 [The change of Central](2008). Retrieved in 20 December, 2010 from My Blog under the Information Services Department, the Hong Kong Special Administrative Region Government, 27 November, 2009. Web Site: <http://www.ceo.gov.hk/blog/chi/blog271109.html>.

<sup>91</sup> The Cover Story retrieved in 20 December, 2010 from Happy Monthly Magazine, Vol. 10, under Joy Gate Enterprises Ltd. Web Site: <http://www.sinopromise.hk/coverstory.php?stype=CoverStory&oid=1&vol=10>.

<sup>92</sup> *Helihuodao jingchasushe* 荷李活道警察宿舍 [Hollywood Road Police Quarters]. Retrieved in 20 December, 2010 from CY Leung Blog, 16 November, 2010. Web Site: <http://www.cyleung.hk/blog/article.php?id=408>.

<sup>93</sup> The Cover Story retrieved in 20 December, 2010 from U-Beat Magazine, Vol. 42, February, 2001, from U-Beat Magazine under School of Journalism and Communication, The Chinese University of Hong Kong. Web Site: <http://www.com.cuhk.edu.hk/ubeat/> and *Helihuodao jingchasushe* 荷李活道警察宿舍 [Hollywood Road Police Quarters]. Retrieved in 20 December, 2010 from CY Leung Blog, 16 November, 2010. Web Site: <http://www.cyleung.hk/blog/article.php?id=408>.





**Fig. 67. Mr. Donald Tsang Yam Kuen 曾蔭權 and his father.**  
(from rthk news on 21st August, 2010. Retrieved 10 December, 2010, from rthk, Web Site:  
[http://www.rthk.org.hk/rthk/news/expressnews/20100821/news\\_20100821\\_55\\_692749.htm#](http://www.rthk.org.hk/rthk/news/expressnews/20100821/news_20100821_55_692749.htm#).)



**Fig. 68. Mr Donald Tsing Yam Kuen 曾蔭權 visited his old residence in Flat 314 at Hollywood Road Police Married Quarters, 2009.**  
(from *Yuebian zhonghuan* 悅變中環 [The change of Central](2008). Retrieved in 20 December, 2010 from My Blog under the Information Services Department, the Hong Kong Special Administrative Region Government, 27 November, 2009. Web Site: <http://www.ceo.gov.hk/blog/chi/blog271109.html>.)

## 2.4 Adaptive re-use of the site (2000-2010)

The police married quarters was left vacant since February in 2000.<sup>94</sup> Before all residents moved out, the site was rezoned from “Government, Institution and Community” to “Residential (Group A)” on the Sai Ying Pun and Sheung Wan Outline Zoning Plan (OZP, No. S/H3/11) in 1998.<sup>95</sup> In 2005, it was included in the List of Sites for Sale by Application in March 2005.<sup>96</sup> During 2005 and 2007, the Antiquities and Monuments Office had conducted several investigations at the site to review its heritage value. The Antiquities and Monuments Office found that the site was bounded by different types of retaining walls and boundary walls constructed in different periods. Remnants of the former Central School were identified within and around the site, including granite shafts and plinths of the boundary walls, the retaining walls and the quoin stones, as well as the flights of steps linking different plateaus. (Fig. 69)



**Fig. 69. The subsurface excavation in the courtyard between two quarters blocks. (from *Former Police Married Quarters on Hollywood Road (The Original Site of the Central School)*. Retrieved December 21, 2010, from Conserve and Revitalize Hong Kong Heritage, under Commissioner for Heritage's Office, Development Bureau, Hong Kong SAR Government Web Site: <http://www.heritage.gov.hk/en/pmq/background.htm>.)**

To preserve and revitalize historic buildings, the Chief Executive announced in 2007-08 Policy Address that the site of the Former Hollywood Road Police Married Quarters will be removed from the List of Sites for Sale by Application for a year and proposals will be invited on its revitalization. The Government had extensively conducted a three-month public engagement


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<sup>94</sup> Official Record of Proceedings on Wednesday, 16 February, 2000 in Legislative Council., p. 55.


<sup>95</sup> Former Hollywood Road Police Married Quarters 2007 Site Investigation Report. (2009). Retrieved 10 December, 2010, from Recent Archaeological Discoveries under Antiquities and Monuments Office, Leisure and Cultural Services Department, Web Site: [http://www.lcsd.gov.hk/CE/Museum/Monument/form/AAB\\_Paper131\\_hollywood\\_content\\_e.pdf](http://www.lcsd.gov.hk/CE/Museum/Monument/form/AAB_Paper131_hollywood_content_e.pdf), p. 5.


exercise during February and May 2008 for collecting the views of the public on the revitalisation and adaptive-reuse of the site. In the same year, the Chief Executive announced that the site was permanently removed from the List of Sites for Sale by Application and was dedicated for revitalization with creative industries and related education uses. In the 2009-10 Policy Address, the Chief Executive further proclaimed to include the site into one of the seven projects under the “Conserving Central” initiative. The seven projects included New Central Harbourfront, Central Market, Former Police Married Quarters on Hollywood Road, the Central Police Station Compound, Central Government Offices Complex, Murray Building, and Former French Mission Building. The Policy Address also proclaimed that the Hong Kong Sheng Kung Hui was actively pursuing the idea of revitalising its building cluster at Lower Albert Road with a view to balancing conservation and development. Between 31<sup>st</sup> December, 2009 and 12<sup>th</sup> February, 2010, the Development Bureau staged an exhibition to publicise the eight innovative projects of “Conserving Central”, which also included the Redevelopment of Hong Kong Sheng Kung Hui Compound.

## 2.5 Historic buildings in the context


Former Central Magistracy		
	Address	1 Arbuthnot Road
	Construction Year	1914
	Grading	Declared Monument
	Historical Interest	The Central Magistracy was built in 1914. It was closed in 1979 and was once used as offices for associations of the Hong Kong Police Force.


<sup>96</sup> *Legislative Council, Panel on Planning, Lands and Works, 2005-06 Application List*. Retrieved December 20, 2010, from Legislative Council, Hong Kong SAR Government Web Site: <http://www.legco.gov.hk/yr04-05/english/panels/plw/papers/plw0426cb1-1319-3e.pdf>.


Former Central Police Station		
	Address	10 Hollywood Road
	Construction Year	1864-1919
	Grading	Declared Monument
	Historical Interest	The first Police Headquarters in Hong Kong, Central Police Station was constructed adjacent to Victoria Prison in 1864.


Kom Tong Hall		
	Address	No. 7 Castle Road
	Construction Year	1914
	Grading	Declared Monument
	Historical Interest	Kom Tong Hall was the residence of Ho Kom Tong who was the younger brother of Sir Robert Ho Tung. The building was completed in 1914 and was the residence of the Ho family until 1959. In this year, the building was sold to a merchant surnamed Cheng. The building was subsequently acquired by the Church of Jesus Christ of Latter-Day Saints in 1960. The owner passed the building to the Government for converting into Dr Sun Yat-sen Museum in 2004.





Man Mo Temple		
	Address	Nos. 124-130 Hollywood Road, Sheung Wan
	Construction Year	1847
	Grading	Declared Monument
	Historical Interest	Man Mo Temple was built by local Chinese leaders to worship Man Cheong 文昌 [God of Literature] and Kwan Tai 關帝 [God of War] in 1847. It also served as an assembly hall where community affairs and disputes were settled.


Old Bacteriological Institute		
	Address	No.2 Caine Lane
	Construction Year	1906
	Grading	Declared Monument
	Historical Interest	Bacteriological Institute was constructed in 1906 to serve as a medical laboratory in Hong Kong. The building was renamed as the Pathological Institute after the Japanese Occupation. Subsequently, the building was occupied by the Department of Health as a medical store. It was converted to the Hong Kong Museum of Medical Sciences in 1996.


Victoria Gaol		
	Address	Old Bailey Street
	Construction Year	1841
	Grading	Declared Monument
	Historical Interest	Victoria Gaol was built in 1841. It might be the first building constructed of durable material in Hong Kong.

Western Market		
	Address	No. 323 Des Voeux Road Central
	Construction Year	1906
	Grading	Declared Monument
	Historical Interest	The Western Market originally consisted of two blocks. The South Block at Queen's Road Central was built in 1858 and was already demolished in 1980. The existing building, known as the North Block of Western Market became vacant in 1989 and was converted into a traditional trades, arts and crafts centre.


Chinese YMCA of Hong Kong (Central Building)		
	Address	No. 51 Bridges Street
	Construction Year	1918
	Grading	Grade 1
	Historical Interest	The Central Building was built with funds donated by Chicago YMCA members and local donations. It was officially opened by Hon. Claud Severn in 1918. The building served as the headquarters of the Chinese YMCA of Hong Kong. The remarkable Chinese writer Lu Hsun 魯迅 once lectured in the building in 1927


Ohel Leah Synagogue		
	Address	No. 70 Robinson Road
	Construction Year	1901
	Grading	Grade 1
	Historical Interest	Ohel Leah Synagogue was built in 1901 by the Sassoon brothers to dedicate to their mother, Mrs. Leah Elias Sassoon. It was the only one of this type of religious buildings that still existed in Hong Kong.


CCC Hop Yat Church (Hong Kong Church)		
	Address	No. 2 Bonham Road
	Construction Year	1926
	Grading	Proposed Grade 1
	Historical Interest	Built in 1926, Hop Yat Church was the first indigenous church ever built and funded by the local Christian church in Hong Kong. Its predecessor was Daoji Mission House 道濟會堂 which was established in 1888 by the London Missionary Society. In 1921, Daoji Mission House 道濟會堂 united Church of Christ in China and renamed as Daoji Mission House, Church of Christ in China. A church, namely Hop Yat Church, was constructed on Caine Road under its management in 1926.


Nos. 172-176 Queen's Road Central		
	Address	Nos. 172-176 Queen's Road Central
	Construction Year	Before 1900
	Grading	Proposed Grade 1
	Historical Interest	The building at No. 172 Queen's Road Central was the first store of The Sincere & Co., Ltd. which started its business in Hong Kong on 8 January 1900. The Sincere & Co., Ltd. was established by an Australian Chinese, Mr. Ma Ying Piu 馬應彪. It was the first Chinese-owned department store in Hong Kong.



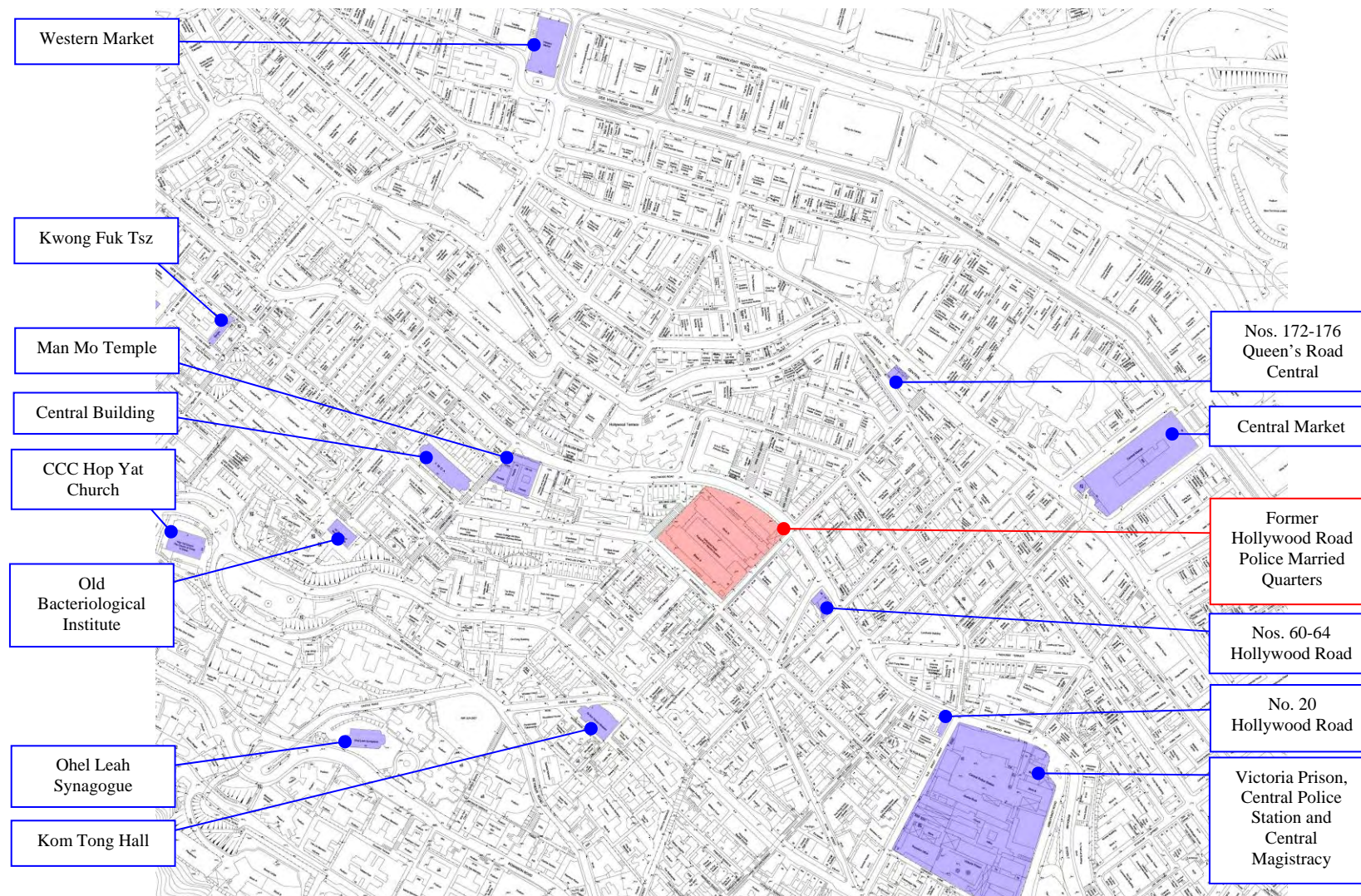
Kwong Fuk Tze		
	Address	No. 40 Tai Ping Shan Street
	Construction Year	1851
	Grading	Grade 2
	Historical Interest	Kwong Fuk Tsz 廣福祠, literally means temple of common benevolence, was founded by Mr. Tam Choy 譚才 in 1851 to house the soul tablets of Chinese who worked and died in Hong Kong. It also served as a place to provide refuge and medical service for the sick, homeless and elderly. The temple was also used for the worship of Kshitigarbha Buddha 地藏王 and Tsai Kung 濟公 [The living Buddha].

Central Market		
	Address	No. 80 Des Voeux Road Central
	Construction Year	1939
	Grading	Proposed Grade 3
	Historical Interest	The present market building was erected in 1939 to replace the old market. It is a four-storey building with the main entrance for the public from Queen's Road Central and Des Voeux Road Central. During the Japanese Occupation, the Chinese name of the market was converted from Chung Wan Kai Shi 中環街市 to Chung Yeung Shi Cheung 中央市場. The market ceased to operate in 2003.

No. 20 Hollywood Road		
	Address	No. 20 Hollywood Road
	Construction Year	1920s-30s
	Grading	Proposed Grade 3
	Historical Interest	Located at the corner of Hollywood Road and Old Bailey Street, the building is opposite to the Central Police Station. The ground floor of the building is an antique furniture shop while the upper floors are occupied by an art shop selling historical photographs and old maps of Hong Kong and China regions.

Nos. 60-64 Hollywood Road		
	Address	Nos. 60-64 Hollywood Road
	Construction Year	1920s
	Grading	No. 60 Hollywood Road – Proposed Grade 2 No. 62 Hollywood Road – Grade 3 No. 64 Hollywood Road – No Grade
	Historical Interest	A herbal tea shop was opened on the ground floor of No. 60, while the shop of No. 62 was once a grocery store named Chung Lung 振隆. The shop on the ground floor of No. 64 was a famous traditional herbal shop named Ting Hee Tong 天喜堂 selling medicinal oils and pills.





**Fig. 70. The location of historic buildings that still remains in the surroundings of the Former Hollywood Road Police Married Quarters**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: 11-SW-8A, 2003, Scale 1:1000 (partial))

# 3

## BUILDING

### 3.1 Architectural Evolution

#### 3.1.1 Victoria College (renamed as Queen's College in 1894) (1884-1949)

The design of the new school building at the site at Hollywood Road was proposed and architectural drawings were prepared in 1883 (Fig. 71). Foundation stone was laid in 1884. It was considered as the largest building of the time apart from City Hall, which cost \$250,000 to build. The school building was built by the prisoners of Victoria Gaol.<sup>97</sup> The construction of the latrines and coolie quarters' was delayed, and the construction of the premises was completed in 1889. From a historic map in 1889, it showed that the entrance at Aberdeen Street on the 2<sup>nd</sup> plateau was at a different location to the proposed site map (Fig. 72).

In 1904, a verandah was enclosed for extra rooms for students to study. In 1906, ventilation was improved with the installation of electric fans in the classrooms, while hygiene was improved with the improvement on ventilation and latrines and the abandon use of slates.

In 1927, the iron verandahs were boarded up as they were proved to be unsafe. In 1928, the old Technical Institute Laboratory at the basement of the school building was transformed into an up-to-date Geography Room equipped with large relief maps, globes, orreries and tables and benches for practical work. The basement was cleaned out later in 1930 and equipped with electric light to provide an indoor recreation room for the Q.C.Y.M.C.A. In 1932 and 1938, major repairs and redecorations were carried out.<sup>98</sup>

The school building of the former Central School caught fire and was razed to the ground towards the end of the Second World War.<sup>99</sup> From an old aerial photo in 1949, only the ruins of

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<sup>97</sup> Gwenneth Stokes, *Queen's College: its history 1862-1987*, Hong Kong, p. 51.

<sup>98</sup> Gwenneth Stokes, *Queen's College: its history 1862-1987*, Hong Kong, pp. 133-141.

<sup>99</sup> Gwenneth Stokes, *Queen's College: its history 1862-1987*, Hong Kong, p. 161.



the former Central School could be seen (Fig. 73). A site survey clearly showed the debris of the site, while the original entrance gates to the site could be clearly observed (Fig. 74).

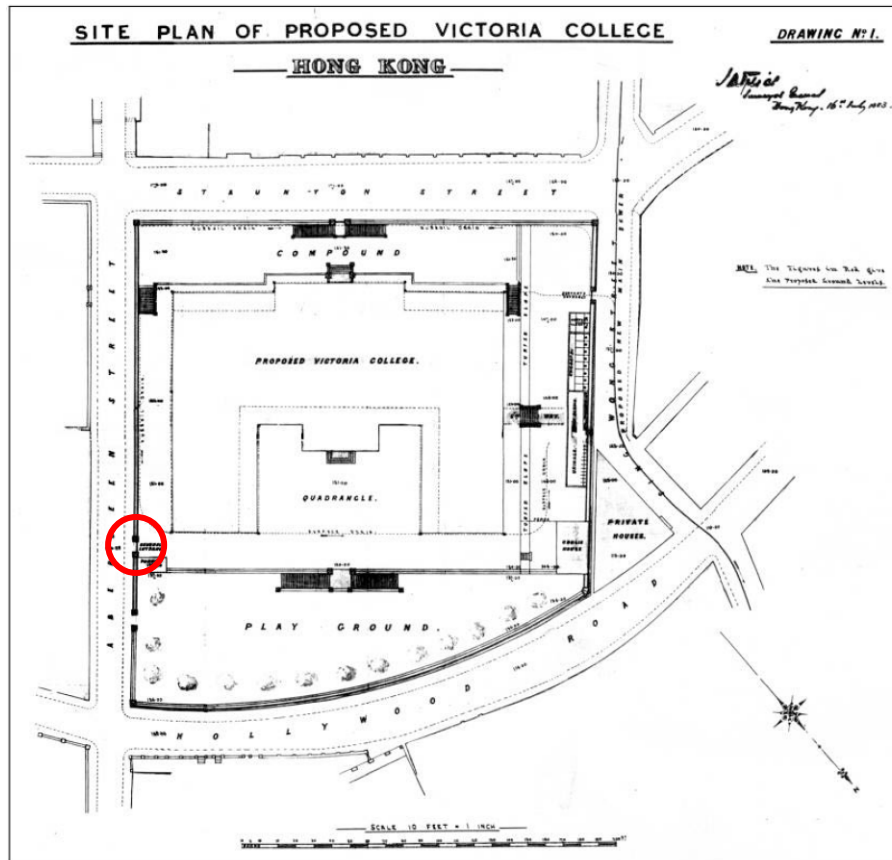
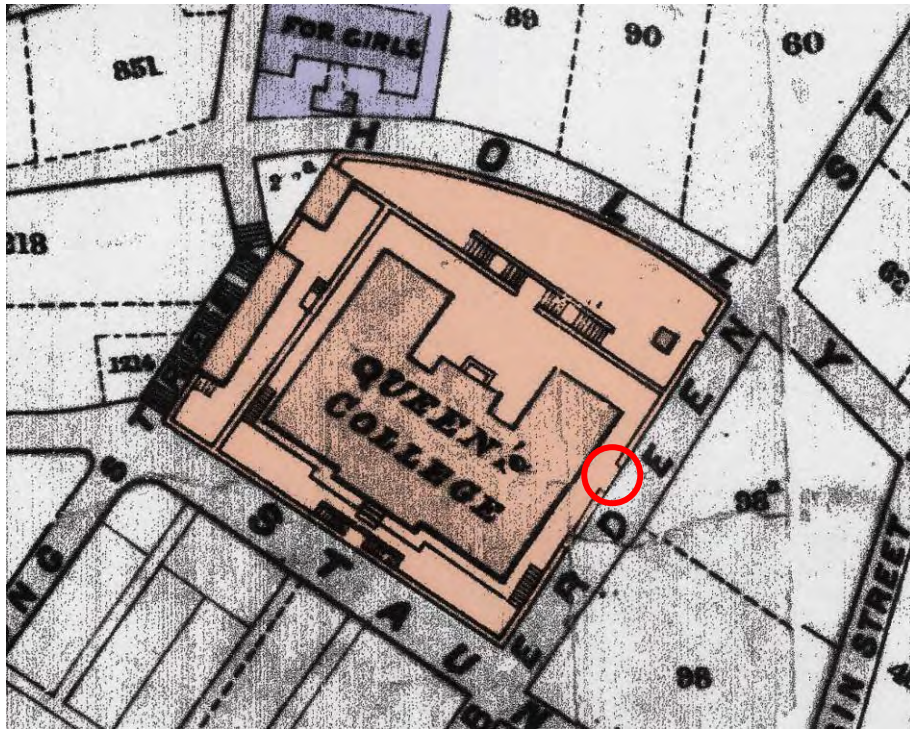


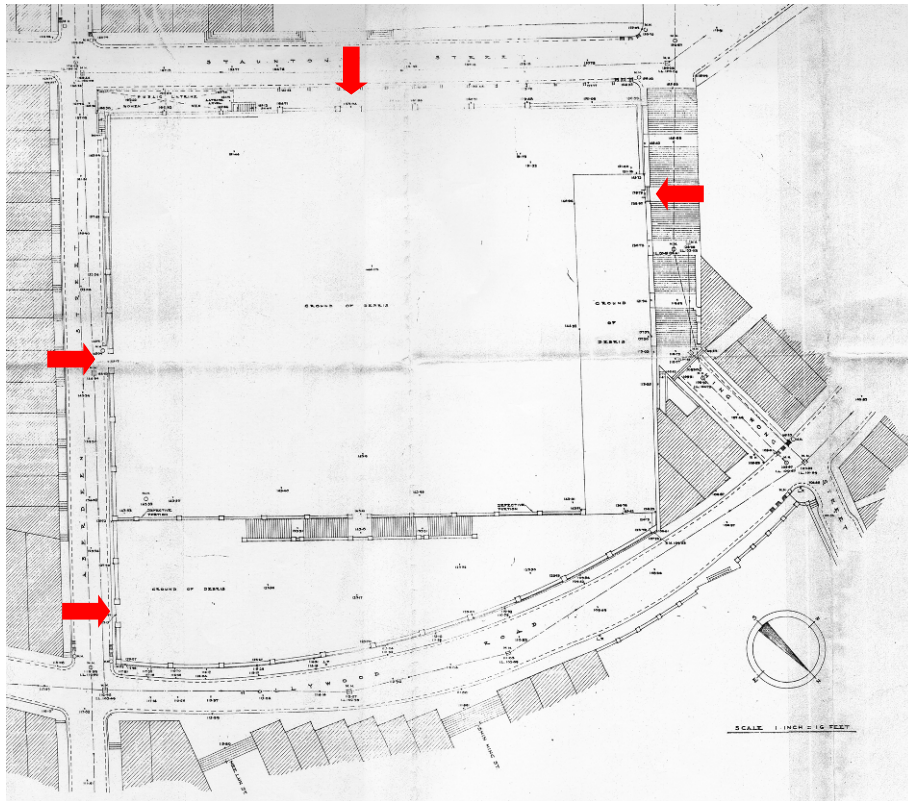
Fig. 71. Site plan of the proposed Victoria College (renamed as Queen's College in 1894) prepared in 1883.



**Fig. 72. Historic map of Queen's College in 1889.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:HG29-3 (partial).)



**Fig. 73. Aerial photo in 1949.**  
 (Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.:6024, 1949 (partial).)



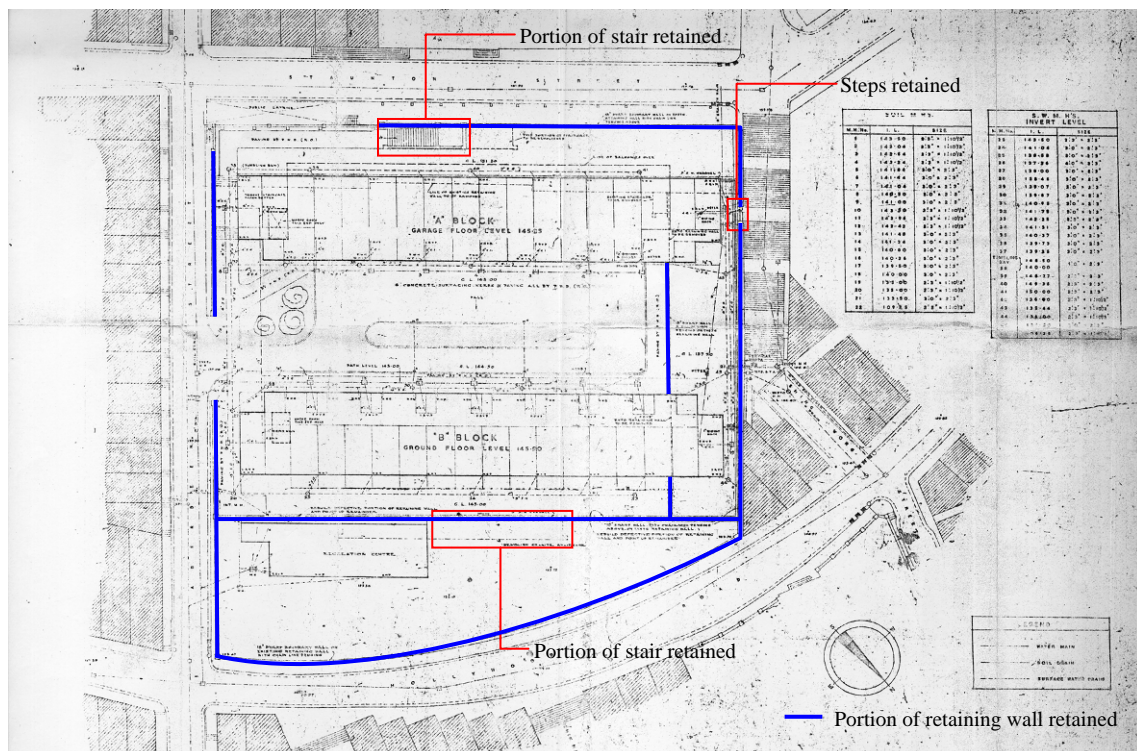
**Fig. 74. Site map showing the ground of debris at the site.**  
 (Courtesy of Architectural Services Department, Hong Kong SAR Government, *Site Survey*, drawing no.: A/3660, Microfilm ID: 56719.)



### 3.1.2 Former Police Married Quarters (1950 – now)

#### The construction in 1950-1951

The construction of the former Police Married Quarters commenced in 1950 and completed in 1951. Three new structures were built, namely two living quarters known as Block A and Block B, and a recreation centre. They were built on the existing site of the former Central School with some of the above ground structures retained. Dwarf boundary walls were built on the existing retaining wall above around the site. Some of the granite stairs were retained (Fig. 75).



**Fig. 75. Site map of the Former Police Married Quarters in 1950.**  
(Courtesy of Architectural Services Department, Hong Kong SAR Government,  
*Asiatic Police Quarters – Site & Drainage Plan, 1950*, drawing no.: A36/1, Microfilm  
ID: 51646.)

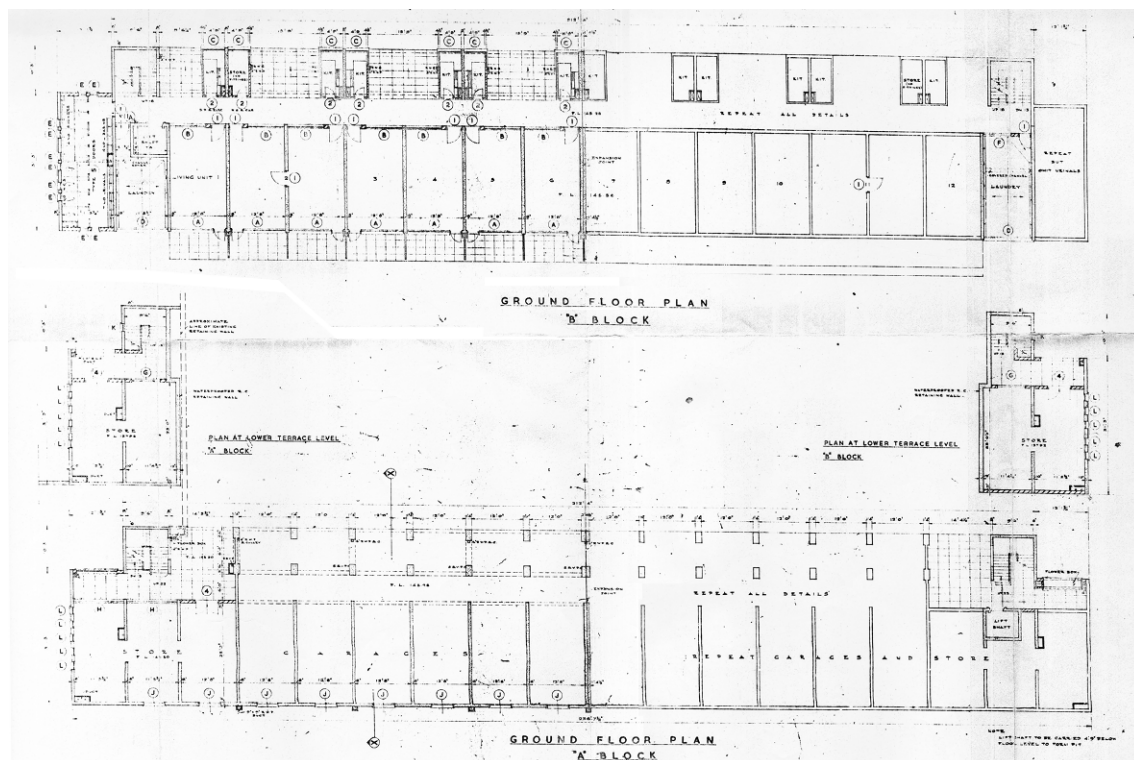


The quarters, Block A and B

The two quarters were designed for 196 living units, while a number of the living units were designed so that they could be combined to form a two-roomed unit for senior N.C.O.'s.<sup>100</sup> On the ground floor of Block A, stores and garages were found. At the lower terrace level of Block A and B were stores (Fig. 76).

On the typical floor of both blocks, living units were arranged along a central corridor. Each living unit was provided with a living-bedroom of 23' x 12'8" (7m x 6.6m) size, a private balcony, a yard with drying lines for laundry, and a corresponding kitchen on the other side of the corridor except for two blocks which was used as a store. At both ends of each typical floor, a communal laundry and lavatory were found. There were two staircases for vertical access, while a lift was found at one end only for each block.

On the roof floor, there were water tanks and a motor room above the lift shaft. The roof terrace was accessible by the staircases on each end of the block (Fig. 77 - Fig. 78).



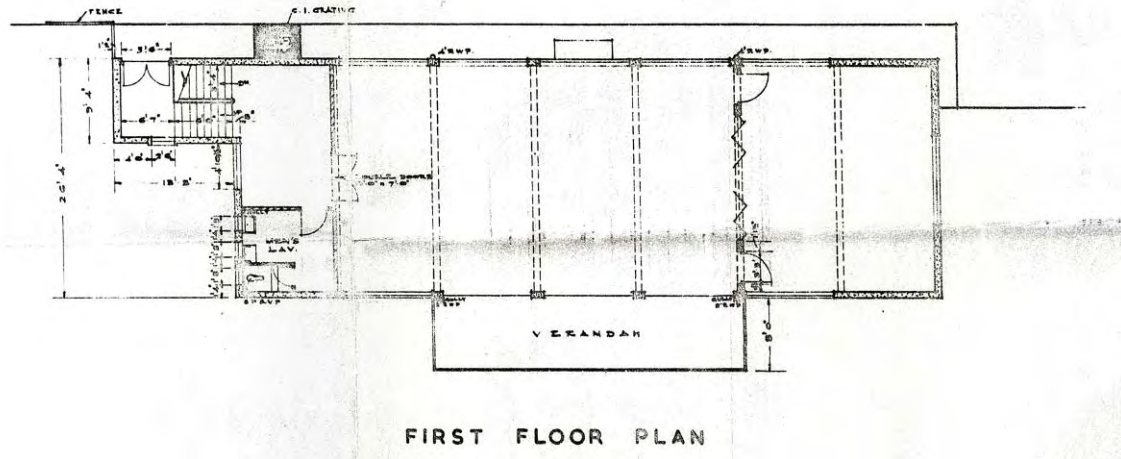
**Fig. 76. Ground floor plans of Block A and B.**  
(Courtesy of Architectural Services Department, Hong Kong SAR Government,  
*Asiatic Police Quarters – Ground Floor Plan, 1950*, drawing no.: A36/2, Microfilm  
ID: 36803.)

<sup>100</sup> Director of Public Works, *Annual Departmental Report 1950-51*, Hong Kong, Hong Kong Government Press, 1951, p. 4.

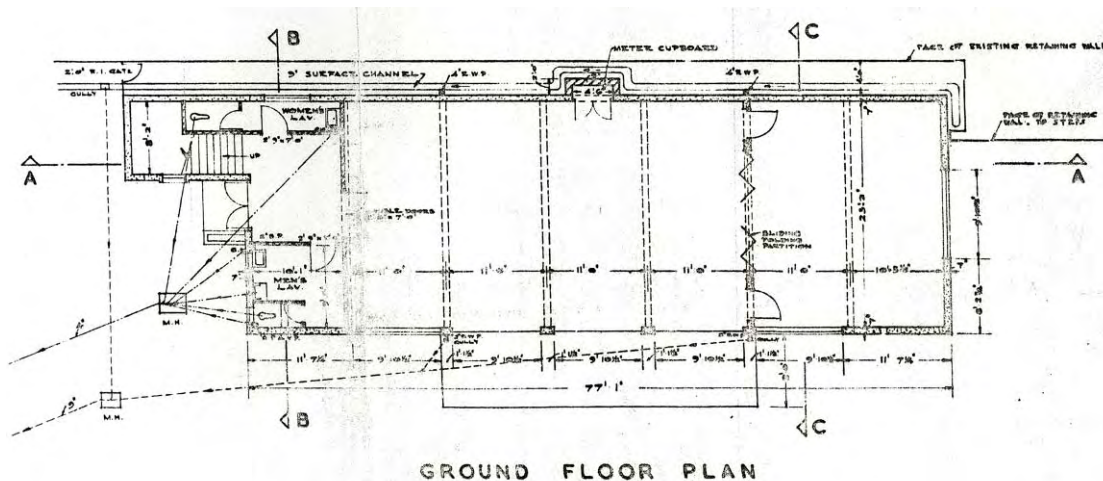


Recreation Centre (later became the JPC Building)

The original layout of the ground and first floor of the recreation centre in 1951 were similar: each floor had a staircase lobby, lavatory and a big room, with the big room divided by sliding folding partitions. The big room was opened to a verandah at the front elevation of the building (Fig. 79 - Fig. 81).



**Fig. 79. First floor plan of the recreation centre.**  
(Courtesy of Architectural Services Department, Hong Kong SAR Government,  
*Asiatic Police Quarters – Recreation Centre*, 1951, drawing no.: A36/42, Microfilm  
ID: 36813.)



**Fig. 80. Ground floor plan of the recreation centre.**  
(Courtesy of Architectural Services Department, Hong Kong SAR Government,  
*Asiatic Police Quarters – Recreation Centre*, 1951, drawing no.: A36/42, Microfilm  
ID: 36813.)



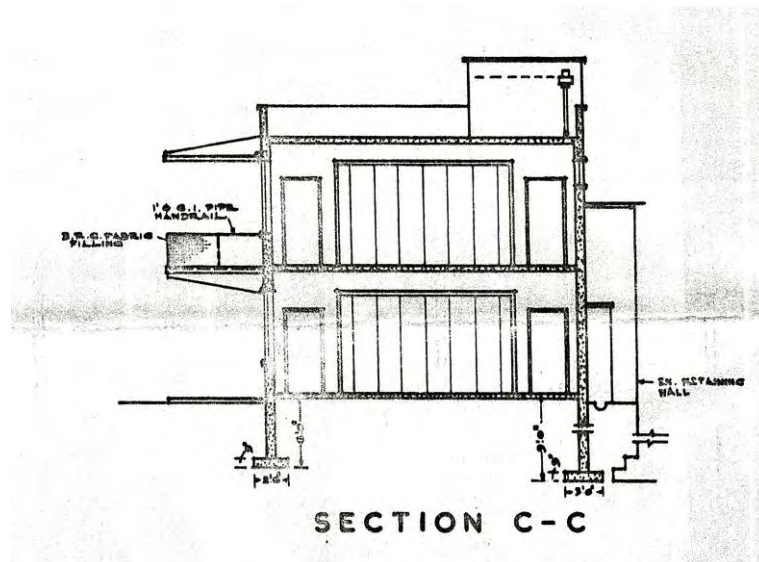
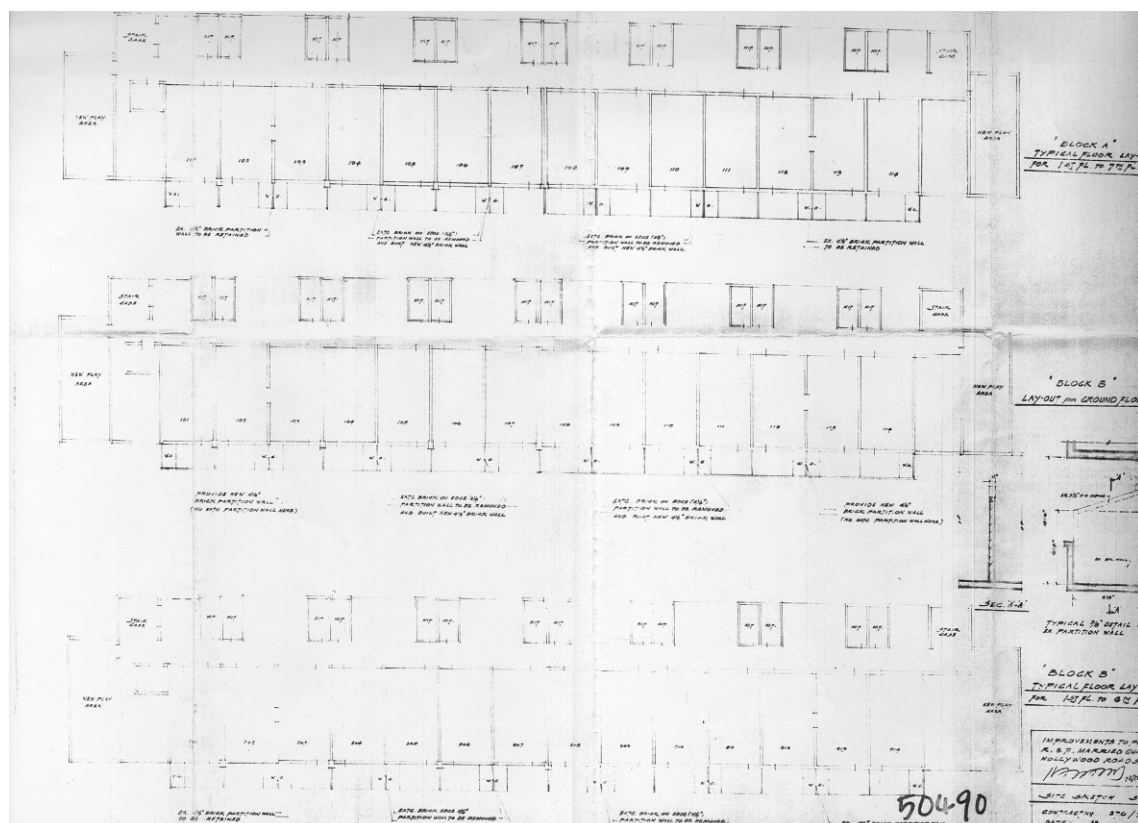


Fig. 81. Section of the recreation centre.  
 (Courtesy of Architectural Services Department, Hong Kong SAR Government,  
*Asiatic Police Quarters – Recreation Centre*, 1951, drawing no.: A36/42, Microfilm  
 ID: 36813.)



### Improvement works to Blocks A and B in 1976

In 1976, improvements were carried out to the quarters. A private toilet and shower spaces of some 1.0m x 1.9m size was installed at the balcony for each living unit, while the communal areas were converted into new play areas (Fig. 82 - Fig. 83).

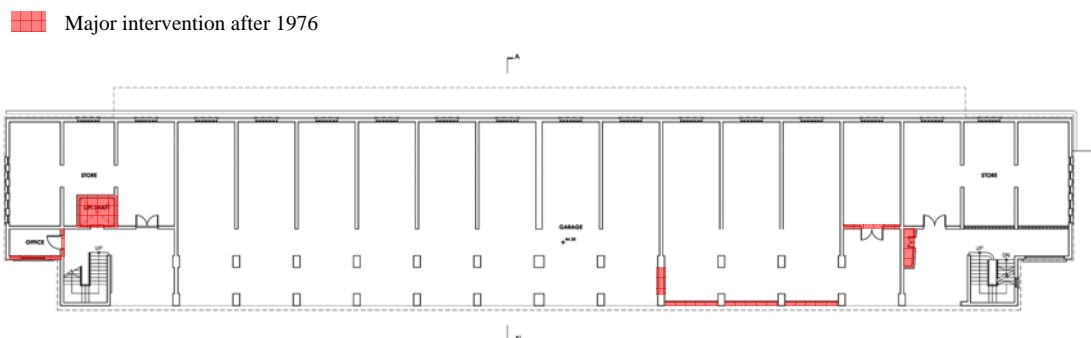


**Fig. 82. Architectural drawings for the improvements to Block A and B.  
(Courtesy of Architectural Services Department, Hong Kong SAR Government,  
*Typical Floor Layout for Ground to 6<sup>th</sup> Floor – Improvements to Police R. & F.  
married Quarters, Hollywood Road Station, 1976, drawing no.: SK1, Microfilm ID:  
50490.*)**

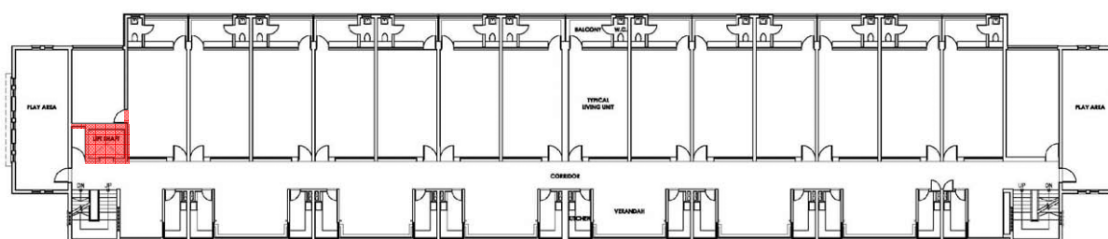


### Other major interventions after 1976

There were improvement works to upgrade the lifts for Block A and Block B where the lift door openings were enlarged and shifted to the centre. On the ground floor, four of the garages were enclosed with the doorways blocked, enclosed with roller shutters or wall (Fig. 84 -Fig. 85).



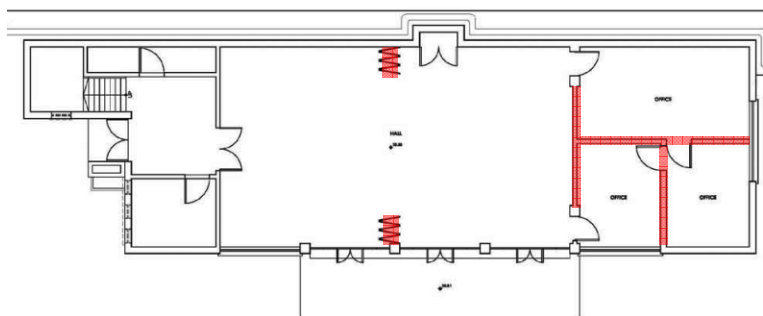
**Fig. 84. Ground floor plan of Block A of the former Police Married Quarters.**



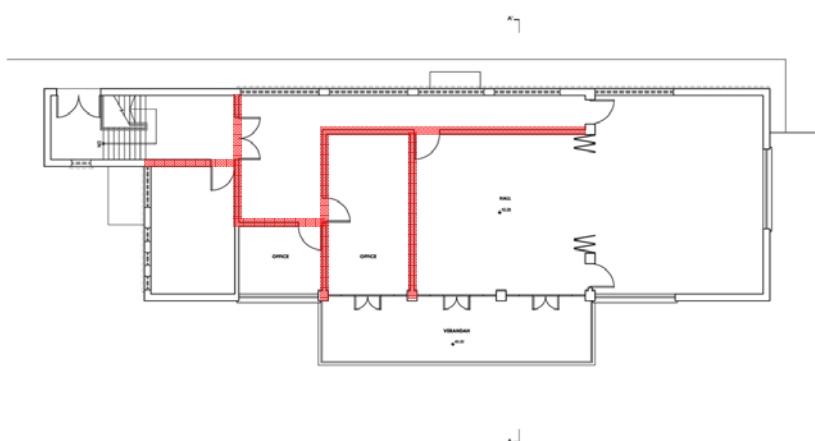
**Fig. 85. Typical floor plan of Block A of the former Police Married Quarters.**

For the JPC Building, the interior were further sub-divided into different rooms on both ground and first floors (Fig. 86 - Fig. 87).

■ Major intervention after 1976



**Fig. 86. Ground floor plan of JPC building.**



**Fig. 87. First floor plan of JPC Building.**



Erection of the memorial pavilion for Mr Woo Hon Fai in c. 1986

According to the plaque hanging inside the pavilion in the memory of Mr Woo Hon Fai 胡漢輝 on plateau 4 in front of the JPC Building, such pavilion was probably erected in 1986 (Fig. 88).



**Fig. 88. Pavilion in the memory of Mr Woo Hon Fai on the 4<sup>th</sup> plateau.**

## 3.2 Architectural Description – Victoria College (renamed as Queen’s College in 1894)

### 3.2.1 Site setting

The site of the former Central School was a stepped site along the slope, which comprised 4 plateaus stepping down from Staunton Street to Hollywood Road (Fig. 89).

The highest plateau (1<sup>st</sup> plateau) was along Staunton Street, where an entrance was found with two flights of symmetrical stairs leading from the Staunton Street to the 1<sup>st</sup> plateau. Such stairs led to a main door of the school building where group photographs were usually taken (Fig. 90).<sup>101</sup>

The 2<sup>nd</sup> plateau was where the school building was built. Another entrance was located at Aberdeen Street to this level, where the chair coolies used to set down their burdens.<sup>102</sup> In front of the school building was the upper playground (Fig. 91).

A staircase also led down to the 3<sup>rd</sup> plateau along Shing Wong Street, where latrines and coolies’ quarters were located. There was a gate for servant’s entrance opened to the stair leading down Shing Wong Street.

The lowest plateau was the lower playground, where two flights of symmetrical staircases led down from the upper playground (Fig. 92). Another entrance from Aberdeen Street was opened to this level, entered by students who walked up from the streets or from the tram in Des Voeux Road. This entrance was also entered by vehicles which parked on the lower playground.<sup>103</sup> Twelve trees were once planted on the lower playground which was of the species *Aleuritis*, which were later known as The Apostles, survived until the Second World War (Fig. 93).

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<sup>101</sup> Gwenneth Stokes, *Queen’s College: its history 1862-1987*, Hong Kong, s.n., 1962, p. 36.

<sup>102</sup> Gwenneth Stokes, *Queen’s College: its history 1862-1987*, Hong Kong, s.n., 1962, p. 36.

<sup>103</sup> Gwenneth Stokes, *Queen’s College: its history 1862-1987*, Hong Kong, s.n., 1962, p. 36.

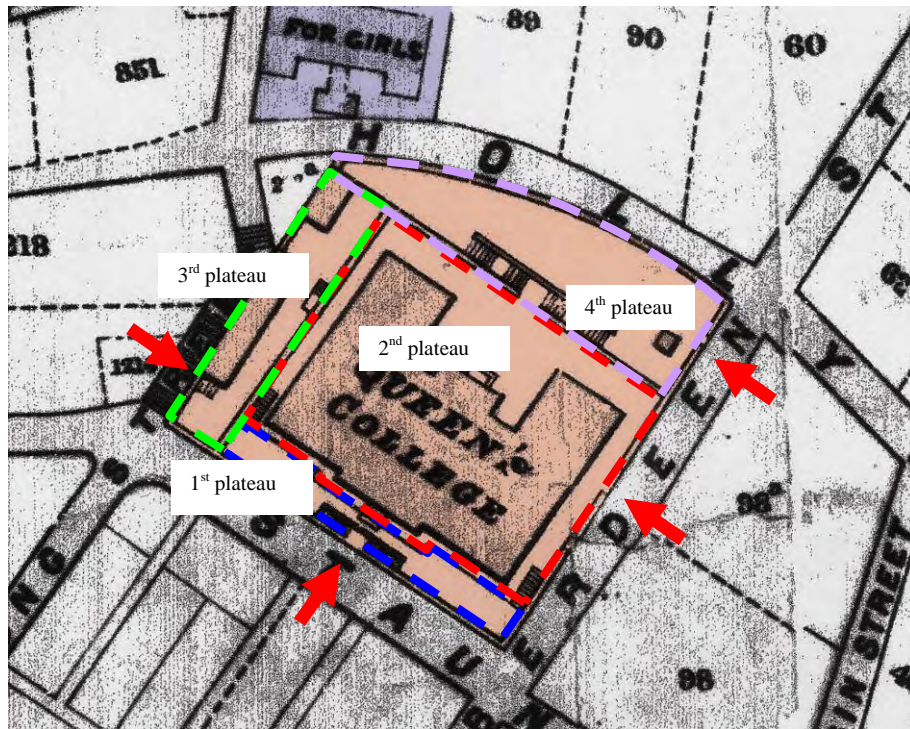


Fig. 89. Historic map of the Queen's College in 1889.

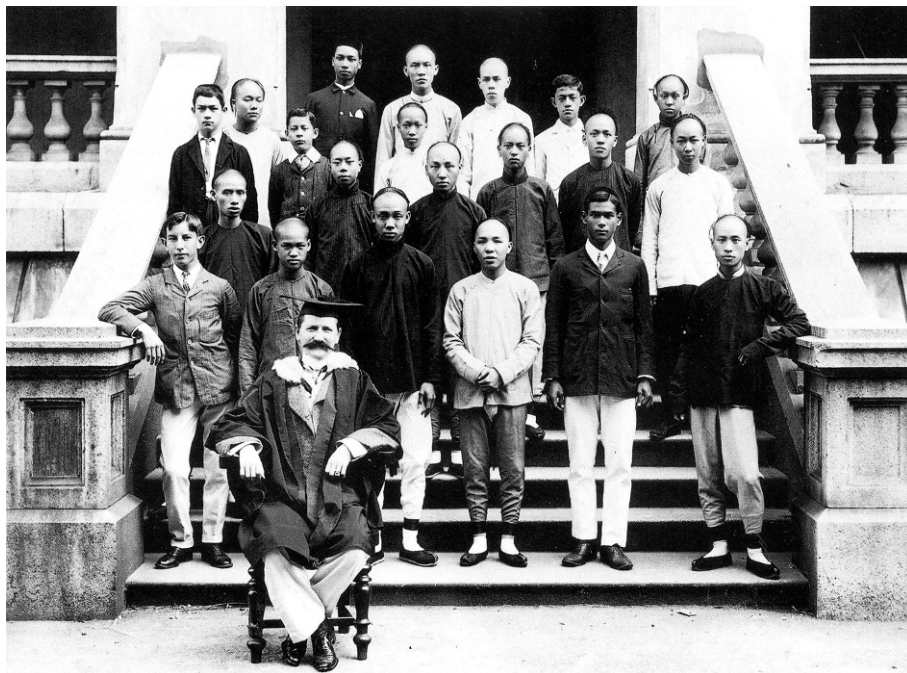
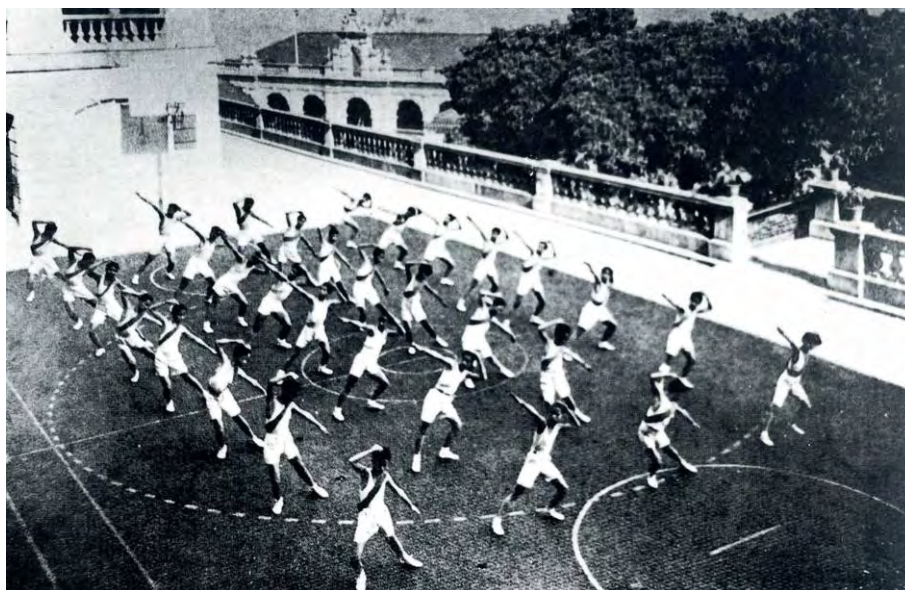


Fig. 90. Group photo taken at the entrance to the school building on the 1<sup>st</sup> plateau.  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 24)



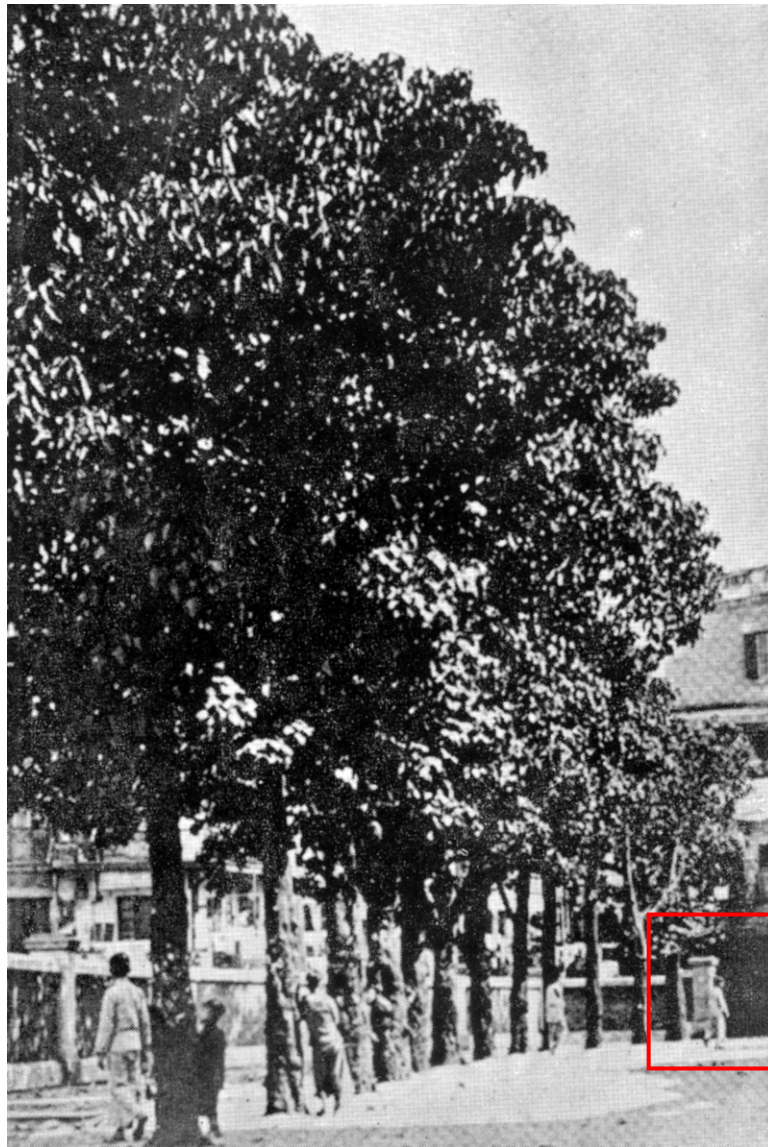


**Fig. 91. The upper playground (2<sup>nd</sup> plateau).**  
 (from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 96.)



**Fig. 92. The lower playground (4<sup>th</sup> plateau).**  
 (from Public Library)





Entrance gate

**Fig. 93. Twelve Aleuritis, later known as The Apostles, were once planted on the 4<sup>th</sup> plateau in 1939.**  
(from Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 94.)

### 3.2.2 Architectural layout

The former Central School was a two-storey building with a basement. The school building was symmetrically designed, adopting an 'E' shaped plan which was quite commonly adopted in the British schools. A double-storey lecture hall, known as the Great Hall was planned at the middle, while classrooms were located on the two wings. It was said that the classrooms were hot and stuffy during summer time.

The basement of the school comprised a cellar at the middle, with a covered playground on one wing, while the other wing housed a laboratory, cloak room, lunch room, store and box rooms (Fig. 94). The upper two floors were mainly classrooms, with the first floor also housed teachers' room and a stationery room (Fig. 95 - Fig. 97). The Great Hall was planned at the centre of the school on the ground floor, where examinations and banquet were taken place as well as monthly collection of fees. Honour boards recording scholars names of generations were found on the walls of the Great Hall (Fig. 98). An internal gallery was found surrounding the high level of the Great Hall.

The school building had a lead roof with slates above the Great Hall, with flat roofs found over other areas.<sup>104</sup> It was a brick and stone construction with the interior finished with teak floorboards.<sup>105</sup>

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<sup>104</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 59.

<sup>105</sup> Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 161.

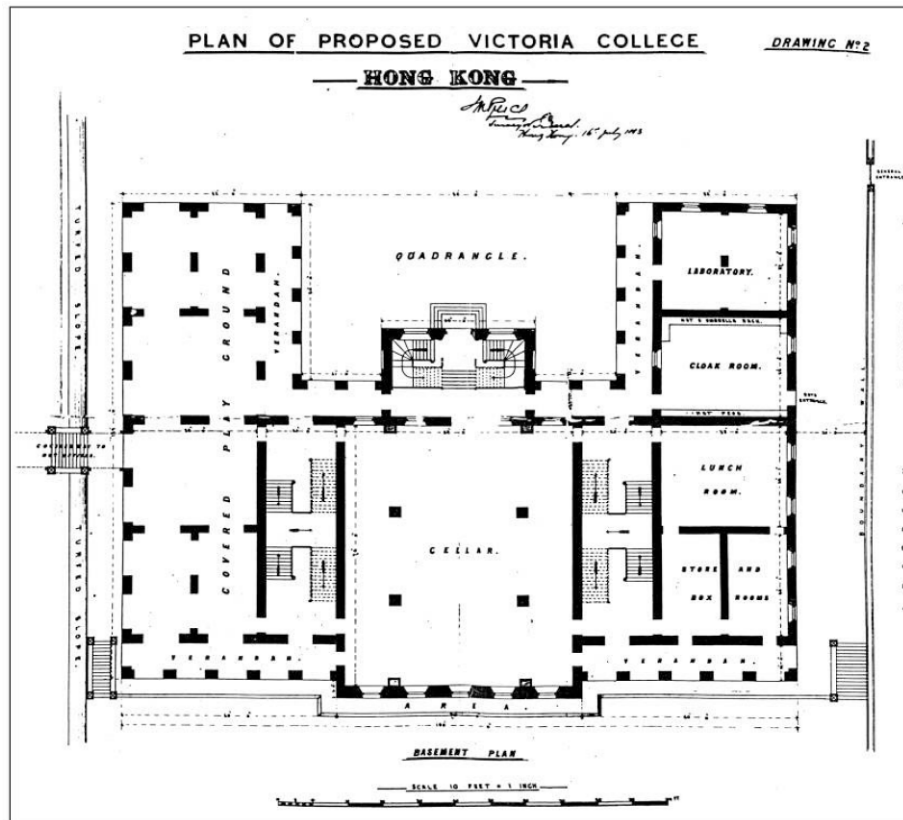
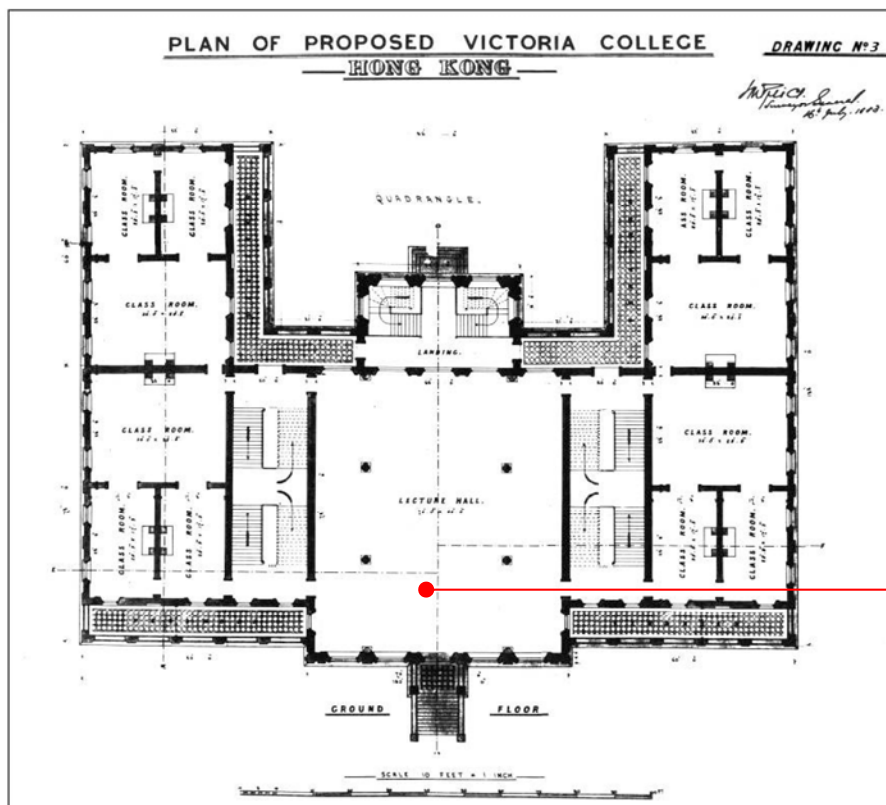


Fig. 94. Basement plan of Victoria College (renamed as Queen's College in 1894) in 1889.

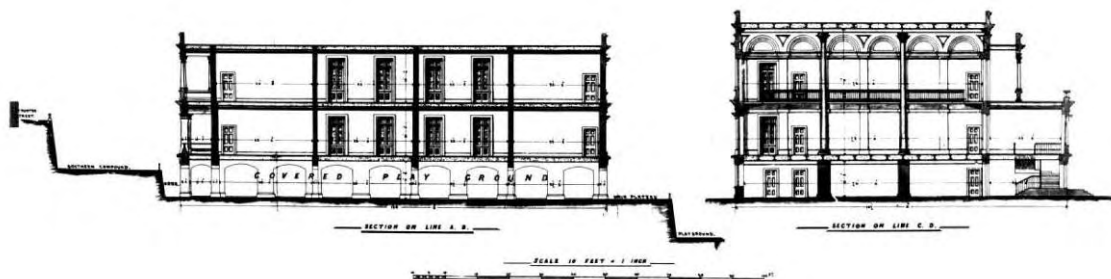
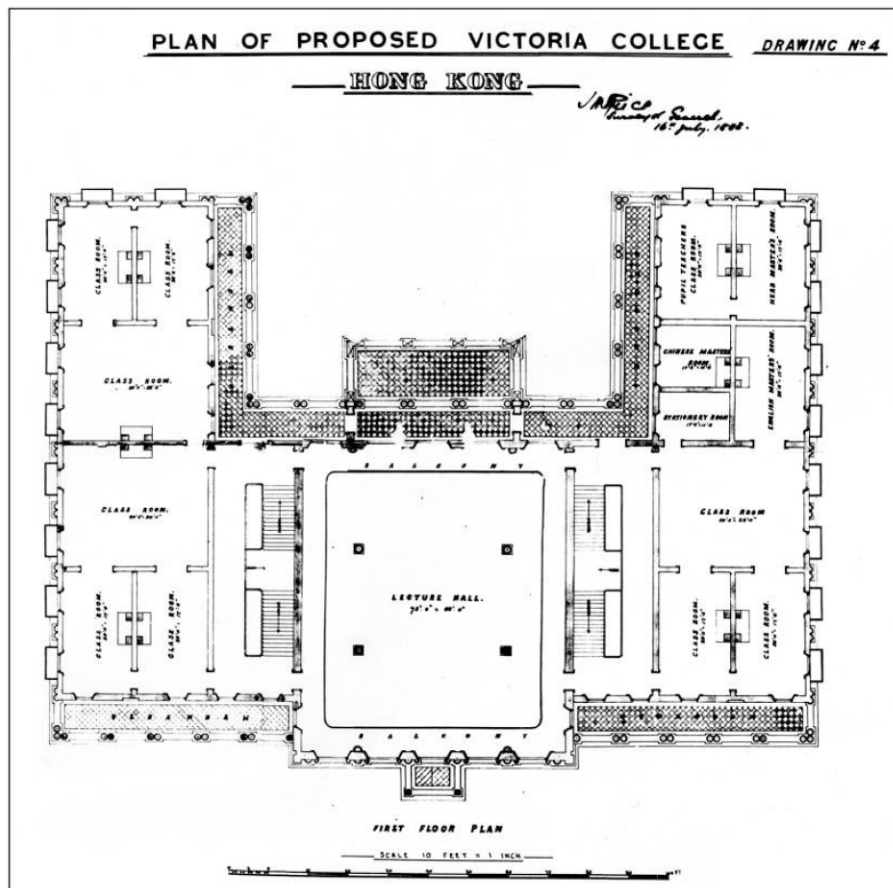


Banquet for celebration of the coronation of the King George V



Examination

Fig. 95. Ground floor plan of Victoria College (renamed as Queen's College in 1894) in 1889.







**Fig. 98. The interior of the Great Hall.**  
 (from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, pp. 34-35.)

### 3.2.3 Architectural style

The former Central School was a splendid building of Neo-classical style built in the Victorian period. The widely adopted classical columns of Ionic and Corinthian orders can be perceived all around the building. They were applied as double columns added elegance to the building facades (Fig. 99 - Fig. 100). The interior of the school building was also furnished with Neo-classical style. Ionic and Tuscan pilasters were found at the Great Hall, echoing with the building elevations. The internal gallery of the Great Hall was found supported with elaborately sculpted brackets below (Fig. 101).

Factory-made urn-shaped balustrades and balconies structures of iron reflected the characters commonly found in the Victorian period (Fig. 102). Elaborate wrought iron balustrades were found along the internal gallery of the Great Hall.

The deep verandahs running around the front and rear elevations and the use of louvered windows were typical features found in western-styled architecture during the Colonial period, where the building was designed to cope with the hot and humid climate in Hong Kong (Fig. 103).



**Fig. 99. Front view of the former Central School.**  
(from Gwenneth Stokes, *Queen's College: its history 1862-1987*, Hong Kong, p. 58.)

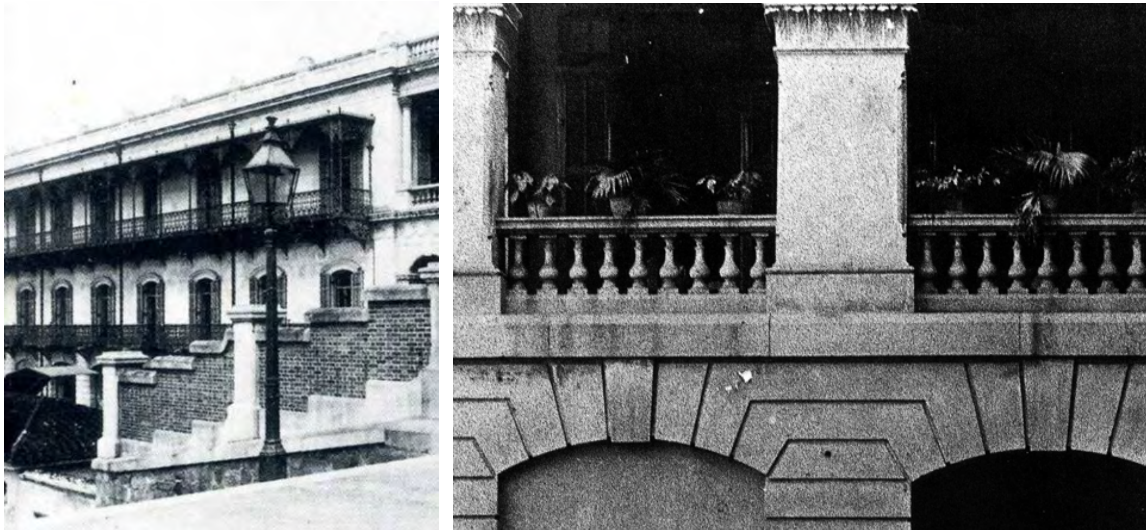


**Fig. 100. Rear view of the former Central School.**  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, p. 9.)

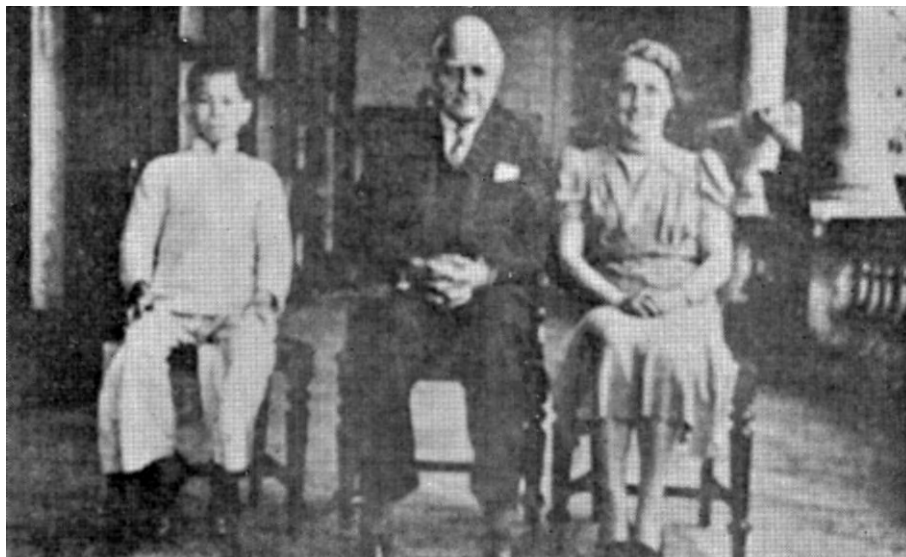


**Fig. 101. Interior of the double-storey Great Hall.**  
(from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, pp. 34-35.)





**Fig. 102.** Iron balcony structures with pre-fabricated architectural elements on the side elevation of the former Central School facing Shing Wong Street. (left) and Factory-made urn-balustrades at the verandah of the former Central School (right). (from Ho Kwun Wan 何冠環, *Huangren shuyuan lishi tupianji* 皇仁書院歷史圖片集 [The photo collections of Queen's College], 1993, pp. 9, 19-21.)



**Fig. 103.** Photo taken at the verandah of the former Central School. (from Gwenneth Stokes, *Queen's College, 1862-1962*, Hong Kong, s.n., 1962, p. 354.)



3.2.4 Architectural remains of the former Central School (above ground)

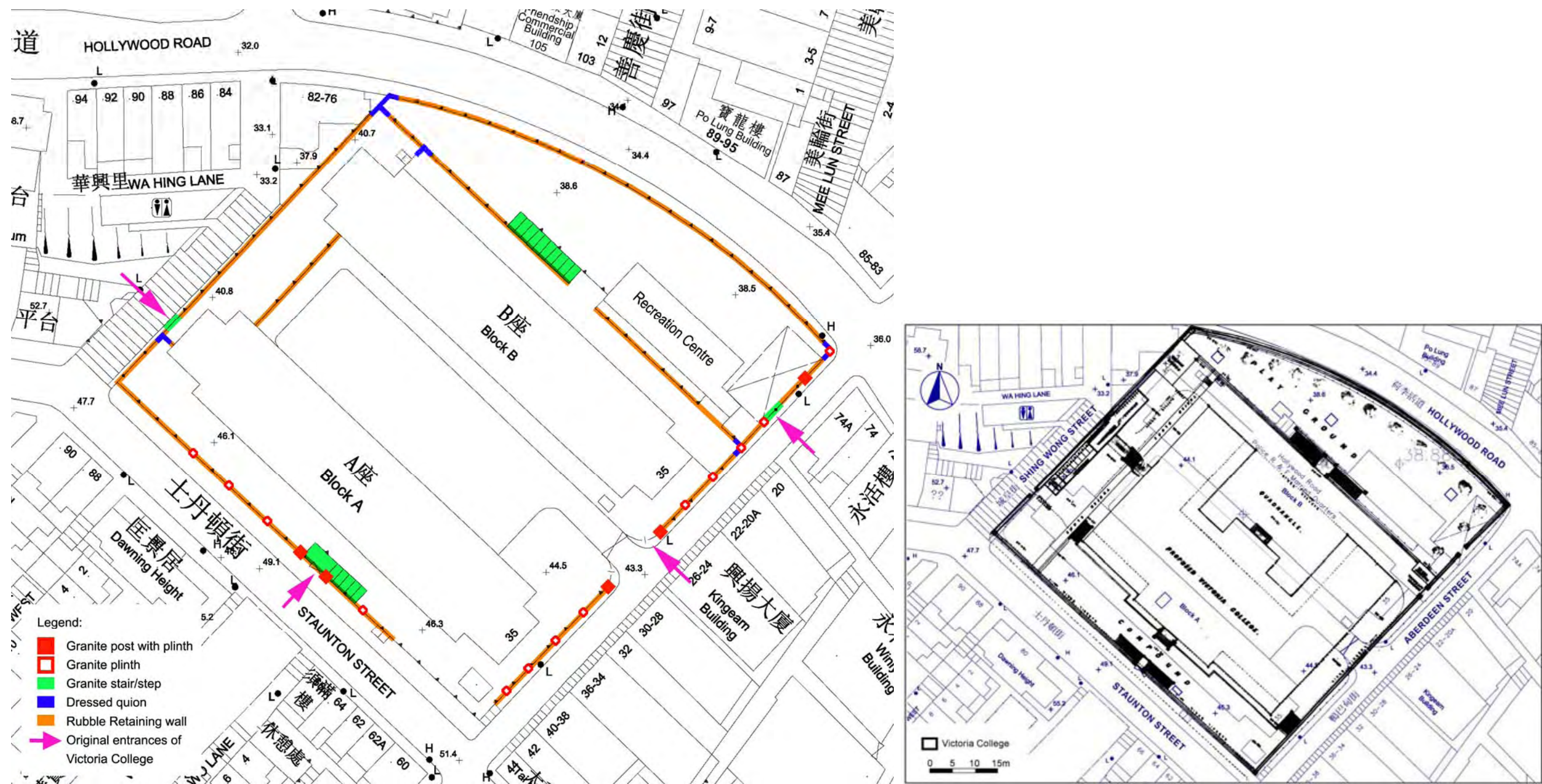


Fig. 104. Location plan showing the retained above ground architectural remains of the former Central School (left) and the 1883 layout plan of the former Central School overlapping on the current site (right)



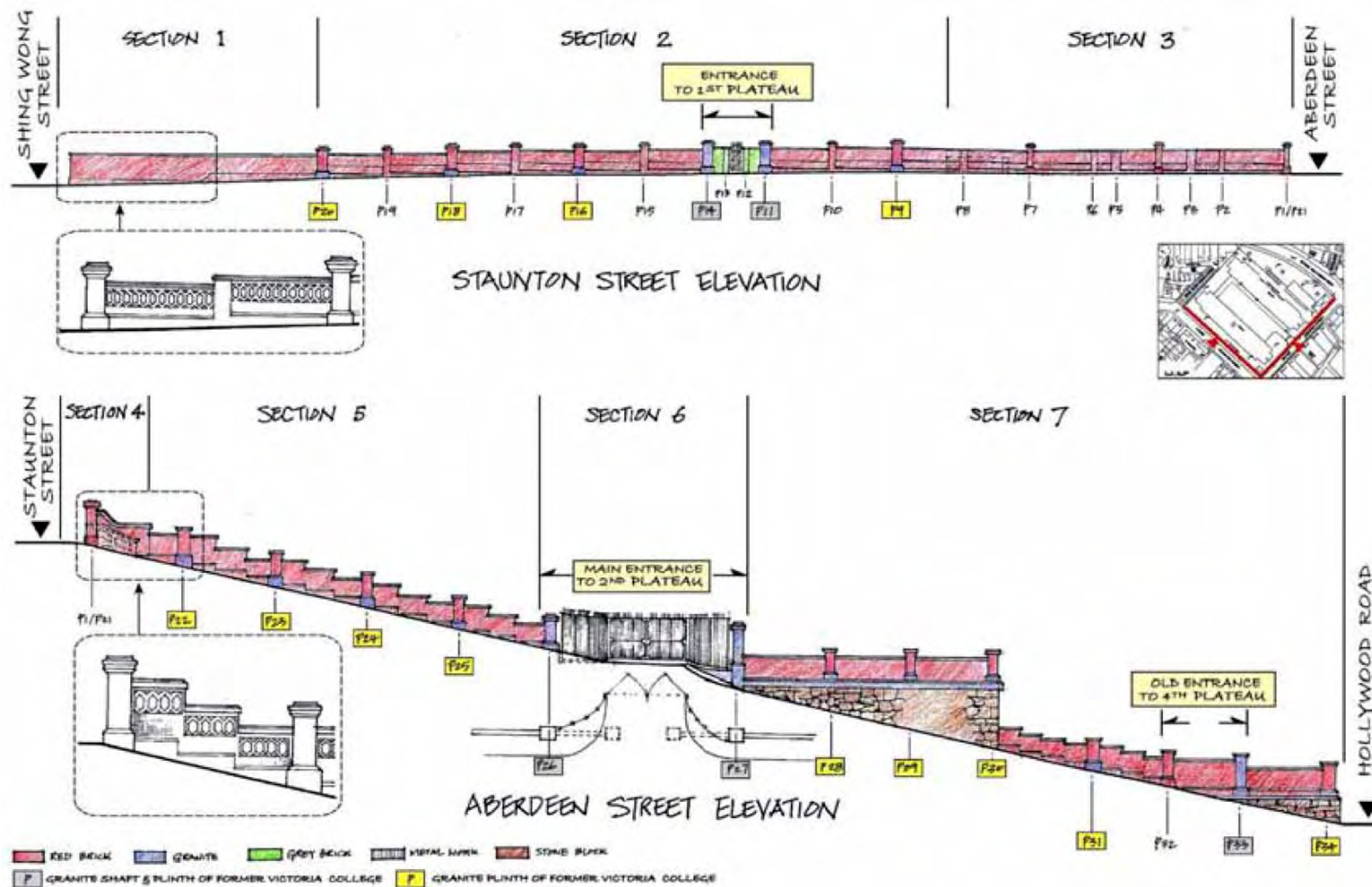









Fig. 105. Remains of the former Central School along the boundary wall at Staunton Street and Aberdeen Street identified by the investigation in 2007.



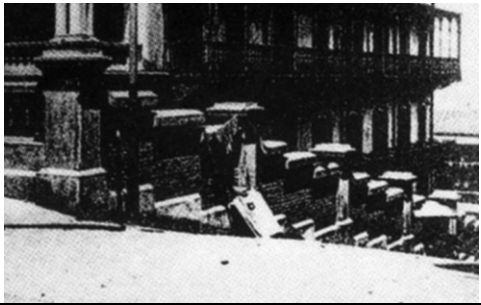


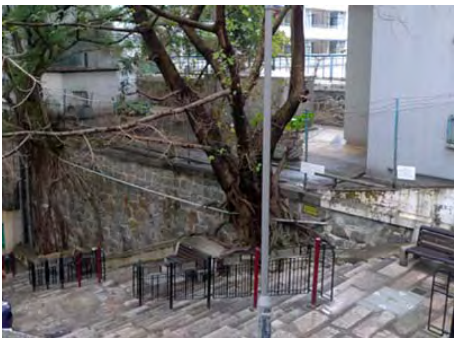

Archaeological excavation was carried out at the Site in 2007 by the Antiquities and Monuments office, which revealed invaluable findings on the former Central School. Both above ground and underground remains and relics are identified and excavated. The above ground architectural elements retained nowadays are mainly the boundary walls and the retaining walls of the former Central School (Fig. 104 - Fig. 105).

A list of the retained above ground architectural remains of the former Central School is compiled as follows:









1 <sup>st</sup> plateau	
Rubble retaining wall of the 1 <sup>st</sup> plateau with dressed quoin at west corner	
Granite shafts and plinths at Staunton Street boundary wall	
Granite gate posts of Staunton Street entrance	



<p>Flight of granite steps at Staunton Street entrance</p>	 <p>The first photograph shows a flight of wide, light-colored granite steps leading up a hill, flanked by a stone wall on the left and a blue metal railing on the right. The second photograph shows a paved area with large, square, light-colored stone tiles, some of which are slightly uneven or cracked, with a blue metal railing in the background.</p>
<p><b>2<sup>nd</sup> plateau</b></p>	
<p>Granite gate posts of Aberdeen Street entrance</p>	 <p>The first photograph shows a street view with a blue metal gate and two large, square, light-colored granite gate posts. The second photograph is a close-up of one of the granite gate posts, showing its texture and the blue metal gate behind it.</p>
<p>Rubble retaining wall along Aberdeen Street</p>	 <p>The photograph shows a rubble retaining wall made of large, irregular stones, with a concrete base and a concrete wall on top. The wall is situated along a street, and there are some plants and a yellow and black striped barrier in the foreground.</p>
<p>Rubble retaining wall of the 2<sup>nd</sup> plateau with granite dressed quoins at east and north corners</p>	 <p>The first photograph shows a rubble retaining wall made of large, irregular stones, with a concrete base and a concrete wall on top. The second photograph shows a close-up of a rubble retaining wall made of large, irregular stones, with a concrete base and a concrete wall on top. The third photograph shows a close-up of a rubble retaining wall made of large, irregular stones, with a concrete base and a concrete wall on top. The fourth photograph shows a close-up of a rubble retaining wall made of large, irregular stones, with a concrete base and a concrete wall on top.</p>

<p>Rubble retaining wall of the 2<sup>nd</sup> plateau facing 3<sup>rd</sup> plateau</p>	
<p>Granite shafts and plinths of Aberdeen Street boundary walls</p>	 
<p><b>3<sup>rd</sup> plateau</b></p>	
<p>Rubble retaining wall of the 3<sup>rd</sup> plateau with dressed quoins at north corner</p>	 
<p>Rubble retaining wall along Shing Wong Street</p>	
<p>Granite steps at Shing Wong Street</p>	



4 <sup>th</sup> plateau	
Rubble retaining wall of Hollywood Road with dressed quoins at east and north corners	 
Rubble retaining wall of the 4 <sup>th</sup> plateau at Aberdeen Street	
Granite plinth and coping of the post at junction of Hollywood Road and Shing Wong Street	 
Flight of granite steps linking the second and fourth plateaus	 
Granite gate posts of the blocked Aberdeen Street entrance	

<p>Granite steps at the blocked Aberdeen Street entrance</p>	
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### 3.3 Architectural Description - Public Latrine (Underground)

#### 3.3.1 Architectural description of Public Latrine at the junction of Staunton Street and Aberdeen Street

The underground public latrine at the junction of Staunton Street and Aberdeen Street was built in 1918. The latrine was constructed on the water-carriage system.<sup>106</sup> The latrine was of trough closet type, where a long trough was built below a series of closets for the discharge of the faeces. It was once provided with 36 seats, 2 trough urinals and 2 small stores. It is located entirely below the level of Staunton Street, at the same time above the 1<sup>st</sup> plateau of the former Central School, where the latrine abuts along the south side of the 1<sup>st</sup> plateau (Fig. 106 - Fig. 107). Three sides of the latrine are retaining walls built of lime and cement concrete, while the fourth side facing the 1<sup>st</sup> plateau is built of brick. The brick wall is retained by buttresses above a granite plinth (Fig. 108). The roof is of ferro-concrete which forms the footpath on Staunton Street. There are two entrances, one at Staunton Street and one at Aberdeen Street (Fig. 109). The entrances are surrounded by parapet wall with coping and recessed articulation. Old photos dated to c. 1953 revealed that the parapet walls appeared to be finished with plaster and paint (Fig. 110 - Fig. 111). Today, they are found to be finished with mosaic tiles (Fig. 112 - Fig. 113). Each entrance is gained by a flight of steps originally built of granite. Today, steps finished with homogenous tiles are found instead and each provided with a metal handrail (Fig. 114).

Apart from two wrought iron pipe shafts for ventilation, there are two metal gratings and some louvre windows with fans on the wall facing the 1<sup>st</sup> plateau. Above each grating and louvre window, a lintel of reinforced concrete is present (Fig. 115 - Fig. 116). The latrine is provided with electric lighting since it was built.

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<sup>106</sup> See *Hong Kong Government Gazette 1918 (Supplement)* (1996). Retrieved 07 February 2011, from Hong Kong Government Reports Online (1853 – 1941) under the University of Hong Kong, Web Site: <http://sunzi.lib.hku.hk/hkgro/view/G1918/58563.pdf>, No. S.5.



**Fig. 106.** View of the public latrine (underground) from the Staunton Street level.

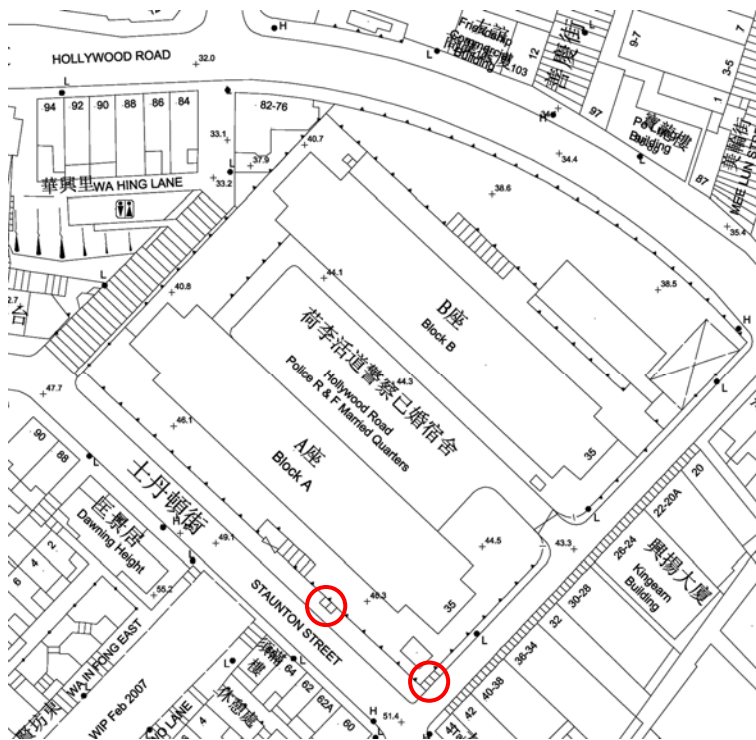


**Fig. 107.** View of the public latrine (underground) from the 1<sup>st</sup> plateau of the site.



**Fig. 108.** Brick wall of the public latrine facing the 1<sup>st</sup> plateau.





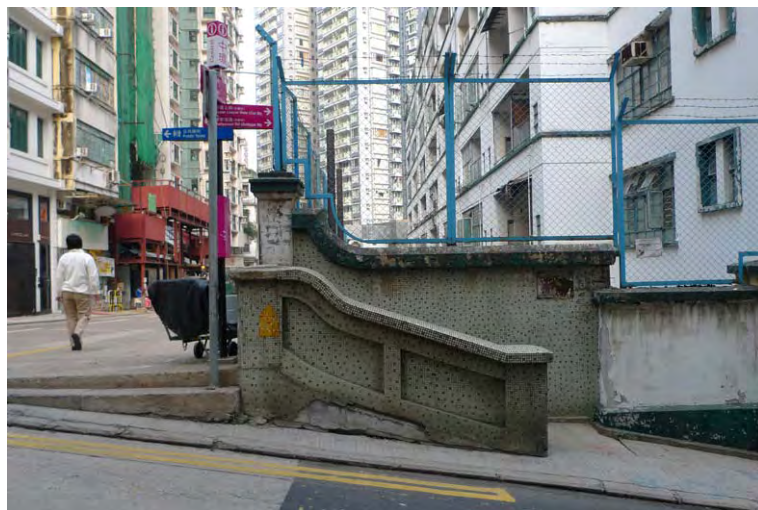
**Fig. 109. Locations of the entrances to the public latrine (underground).**  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: 11-SW-8C, 2003, Scale 1:1000 (partial).)



**Fig. 110. Old photo of the exterior of the Aberdeen entrance of the public latrine (underground) in c. 1953.**  
(Hong Kong Museum of History)



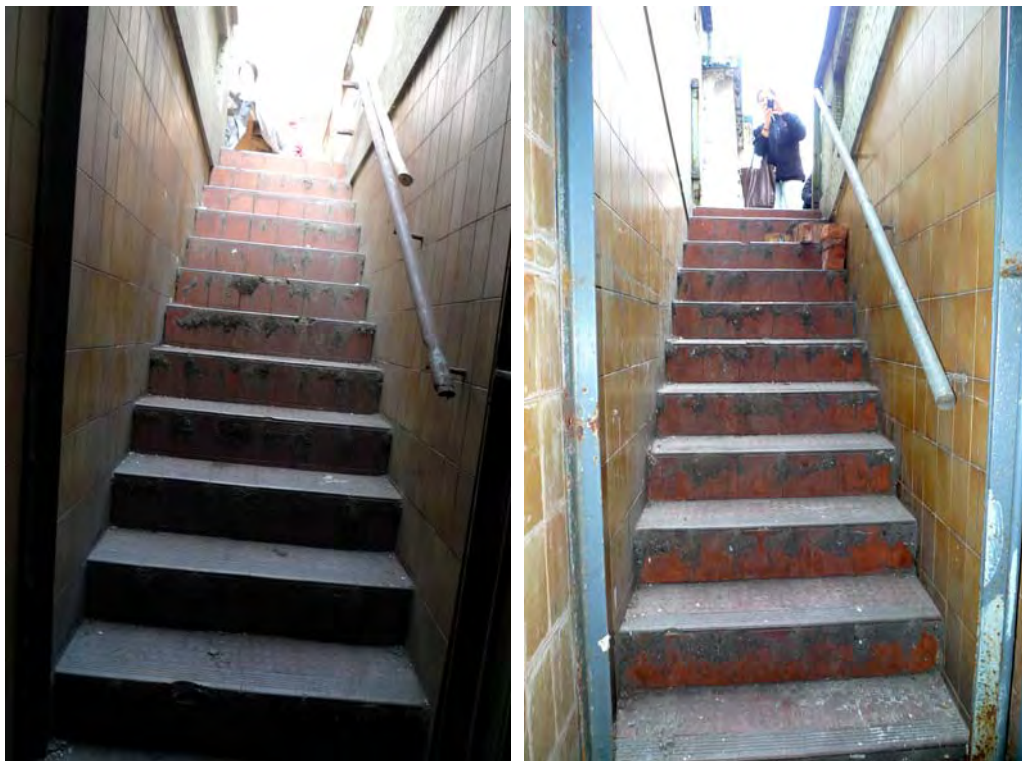
**Fig. 111. Old photo of the Staunton Street entrance of the public latrine (underground) in c. 1953.  
(Hong Kong Museum of History)**



**Fig. 112. Entrance at Aberdeen Street.**



**Fig. 113. Entrance at Staunton Street.**



**Fig. 114. Flight of steps finished with homogenous tiles at the entrance of Staunton Street (left) and Aberdeen Street (right).**





**Fig. 115. Two wrought-iron pipe shafts for ventilation.**



**Fig. 116. Louvre windows and metal grating on the wall facing the 1<sup>st</sup> plateau.**

The specification of the interior was recorded as follows:

The divisions between the seats are of ferro-concrete slabs of 1½" thick, painted with three coats of white enamel. The backs of the compartments are lined with 6" x 6" white-glazed tiles, the remainder of the walling and floors being lined with salt-glazed tiles.<sup>107</sup>

Today, the sanitary fittings were gone, and the interior is used as storage. The interior is divided into two rooms, each assessable by one entrance respectively. The walls are all finished with white glazed ceramic tiles, except for the walls of the entrances which are finished with brown ceramic tiles (Fig. 117). From the old photo of the Aberdeen Street entrance in c.1953, it was written 女廁 (ladies' room) on the wall near the entrance, which may implied that the division of the interior into two spaces could be used for ladies' room and gents room in the past (Fig. 118).

<sup>107</sup> See AR 1918 *Public works (Supplement)* (1996). Retrieved 07 February 2011, from Hong Kong Government Reports Online (1853 – 1941) under the University of Hong Kong, Web Site: <http://sunzi.lib.hku.hk/hkgro/view/a1918/359.pdf>, p. Q53.

However, since there was no record on the division of the interior and the provision for the two genders when it was first built, the division of the interior could be a later intervention.



**Fig. 117. Interior of the public latrine (underground).**



**Fig. 118. Close up of the old photo of the Aberdeen entrance of the public latrine in  
c. 1953.  
(Hong Kong Museum of History)**

**Table 4. A summary of the schedule of the public latrine (underground) at Staunton Street and Aberdeen Street.**

	<b>As recorded in 1918 from government report</b>	<b>As observed in old photos of c.1953</b>	<b>As observed nowadays</b>
<b>Accommodation</b>	36 seats and 2 trough urinals, and 2 small stores	Segregation for the use of male and female	2 big rooms for storage
<b>Entrance parapet</b>	No record	Appeared to be plastered and paint	Finished with mosaic tiles
<b>Divisions between seats</b>	Ferro-concrete slabs, 1½” thick, painted with three coats of white enamel	N/A	Removed
<b>Wall finishes</b>	Backs of the compartments: - 6”x6” white-glazed tiles  The remainder of the walls: - Salt-glazed tiles	N/A	All finished with white glazed ceramic tiles
<b>Floor finishes</b>	Salt-glazed tiles	N/A	Homogenous tiles
<b>Entrance steps</b>	Granite	N/A	Finished with homogenous tiles, provided with metal handrail
<b>Ventilation</b>	2 wrought-iron pipe shafts	Wrought-iron pipe shaft	2 wrought-iron pipe shafts, 2 metal gratings, louvre windows with fans
<b>Lighting</b>	Electric lighting	N/A	Electric lighting



### 3.3.2 Comparison of the public latrine (underground) in the context of Hong Kong

#### Scale

From available records, underground public latrines built in the colonial Hong Kong until the 1930s ranged from a scale of 2 seats and 1 trough urinal to 60 seats (see Table 3).<sup>108</sup> It could be deduced that the underground public latrine at the junction of Staunton Street and Aberdeen Street with a scale of 36 seats and 2 trough urinals was about a medium sized underground public latrine in Hong Kong.

#### Specification

Three other underground public latrines with known specification are selected for comparison:

Latrine type	Construction year	Location	Scale	Specification
Trough Closet	1912	Near Fire Brigade Station (Junction of Wellington Street and Queen's Road Central)	36 seats and 4 urinals and a small store	Wall – white-glazed tiles Roof – wood blocks Lighting – ‘luxfer’ roadway lights, electric light Ventilation – 3 gratings, 1 pipe
Trough Closet	1916	Garden Road, in close proximity to the Peak Tramway Co.'s Lower Terminus	3 trough-closet stalls and a urinal	Concrete retaining wall Roof – ferro-concrete Wall – white-glazed tiles Floor – salt-glazed tiles Ventilation – cast-iron ventilator Lighting – electric light
Urinal	1918	At the top of Calder Path (to the west of Calder Path Nullah	--	Retaining wall – lime and cement concrete Roof – ferro-concrete Entrance – granite steps Lighting – electric light
Trough Closet & urinals & 2 stores	1918	Junction of Staunton Street and Aberdeen Street	36 seats and 2 trough urinals	Retaining wall – lime and cement concrete, brick Roof – ferro-concrete Wall – white-glazed tiles / salt-glazed tiles

<sup>108</sup> David Faure, “The Common People in Hong Kong History: Their Livelihood and Aspirations Until the 1930s”, as cited in Lee Pui-tak, *Colonial Hong Kong and Modern China: Interaction and reintegration*, Hong Kong, Hong Kong University Press, 2005, pp. 11-12.

				Floor – salt-glazed tiles
				Ventilation – wrought-iron pipes, 2 gratings
				Entrance – granite steps
				Light – electric light

From the above table, it could be observed that the selected underground latrines were having more or less the same specification as the latrines at the junction of Staunton Street and Aberdeen Street. It could be deduced that the specification adopted by the public latrines could be based on a certain standard.

#### Entrance design

The entrances of the latrine at the junction of Staunton Street and Aberdeen Street are surrounded by parapet wall with coping and recessed articulation (Fig. 119). From the available old photos of the underground public latrines, it could be observed that the similar parapet wall type entrance was also found at the intersection of Second Street and Western Street (Fig. 59), while entrance surrounded by metal grilles was found at the latrine at the junction of Wellington Street and Queen's Road Central (Fig. 121). Another type in the form of a small block was found under the Parade Ground at Queen's Road (Fig. 57).



**Fig. 119. Old photo of the exterior of the Aberdeen entrance of the public latrine (underground) in c. 1953.  
(Hong Kong Museum of History)**



**Fig. 120. Underground public latrine at the intersection of Second Street and Western Street.**

(from Taotao 涛淘, *Xiangjiang sudi* 香江速遞, Hong Kong, Ci wenhua youxiangongsi 次文化有限公司, 1999, p. 66.)



**Fig. 121. The public latrine (underground) at the junction of Wellington Street and Queen's Road Central in the 1960s.**

(from *Gwulo: Old Hong Kong*. Retrieved on 23 February 2011, website: <http://gwulo.com/node/6776>.)





**Fig. 122. The underground public latrine at the junction of Queen's Road Central and Garden Road, c.1930.**

## 3.4 Architectural Description – Former Police Married Quarters

### 3.4.1 Site setting

The construction of PMQ still retained the site setting of the four plateaus. The compound consists of three buildings, namely two quarters (Block A and Block B) and the JPC Building. The two quarters were built on the 2<sup>nd</sup> plateau, while the JPC Building was built on the 4<sup>th</sup> plateau. The open area between the two blocks on the 2<sup>nd</sup> plateau was used as a car park. The four plateaus are connected with staircases in the similar manner during the Queen's College era (Fig. 123).

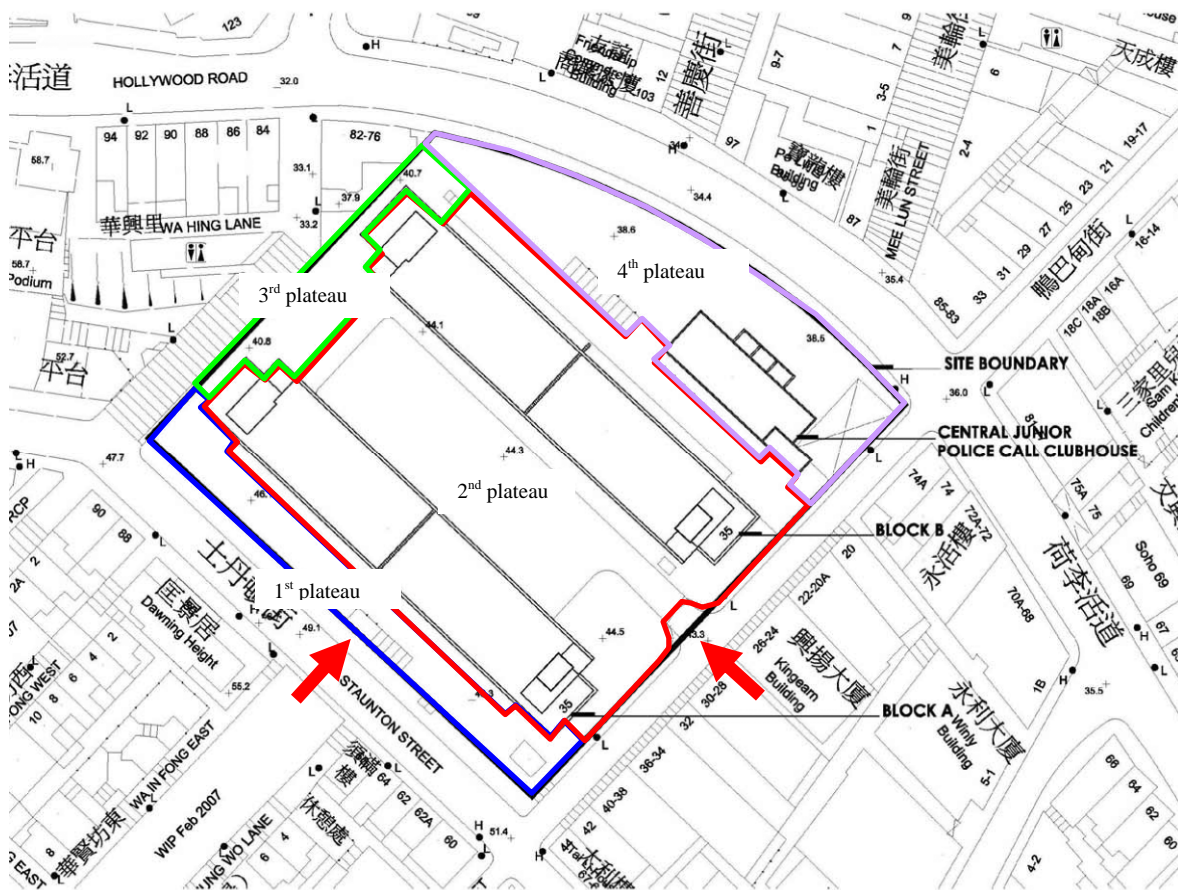


Fig. 123. Setting of the current site.

Currently, there are two entrances to the site. One is the main entrance located at the Aberdeen Street allowing vehicle and pedestrian access leading to the 2<sup>nd</sup> plateau of the site (Fig. 124). The other one is located at Staunton Street allowing only pedestrian access to the 1<sup>st</sup> plateau (Fig. 125).



**Fig. 124. Main entrance located at Aberdeen Street.**



**Fig. 125. Rear entrance at Staunton Street.**



### 1<sup>st</sup> plateau

The 1<sup>st</sup> plateau is a long strip of platform at the rear of Block A at a level of around 46mPD (Fig. 126). It is surrounded by retaining walls on three sides facing Staunton Street, Aberdeen Street and Shing Wong Street. A structure is found on the 1<sup>st</sup> plateau (Fig. 127).



**Fig. 126. 1<sup>st</sup> plateau.**



**Fig. 127. A structure on the 1<sup>st</sup> plateau.**

## 2<sup>nd</sup> plateau

The 2<sup>nd</sup> plateau is the main plateau of the site where Block A and B are situated at a level of around 44 mPD. Between the two quarters was used as a car park (Fig. 128 - Fig. 129).



**Fig. 128. Car park on the 2<sup>nd</sup> plateau.**



**Fig. 129. 2<sup>nd</sup> plateau at the rear of JPC Building.**



### 3<sup>rd</sup> plateau

The 3<sup>rd</sup> plateau is located along Shing Wong Street at a level of around 40mPD. It is found with some planters, a transformer room and a structure (Fig. 130 - Fig. 131).



**Fig. 130. 3<sup>rd</sup> plateau.**



**Fig. 131. Transformer room (left) and a structure (right) on the 3<sup>rd</sup> plateau.**



#### 4<sup>th</sup> plateau

The 4<sup>th</sup> plateau is located along Hollywood Road, where the JPC Building located at a level of around 38mPD. A basketball court with basketball stands and light posts and a pavilion in the memory of Mr Woo Hon Fai 胡漢輝 are found (Fig. 132 - Fig. 133).



**Fig. 132. 4<sup>th</sup> plateau with basketball court.**



**Fig. 133. Pavilion in the memory of Mr Woo Hon Fai on the 4<sup>th</sup> plateau.**

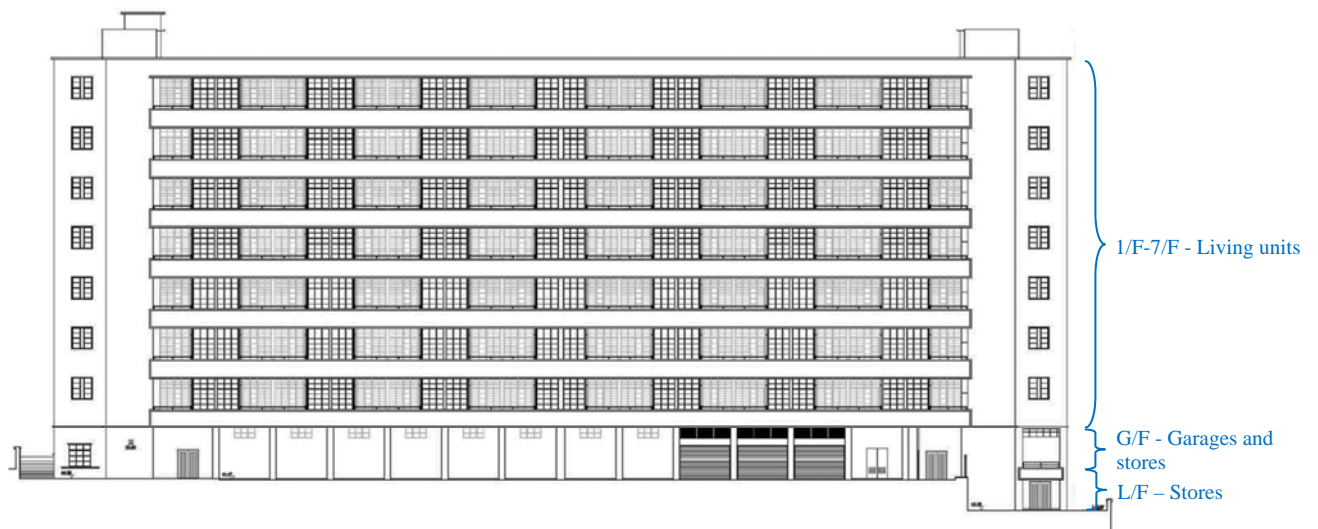
### 3.4.2 Architectural layout

#### Quarters - Block A and Block B

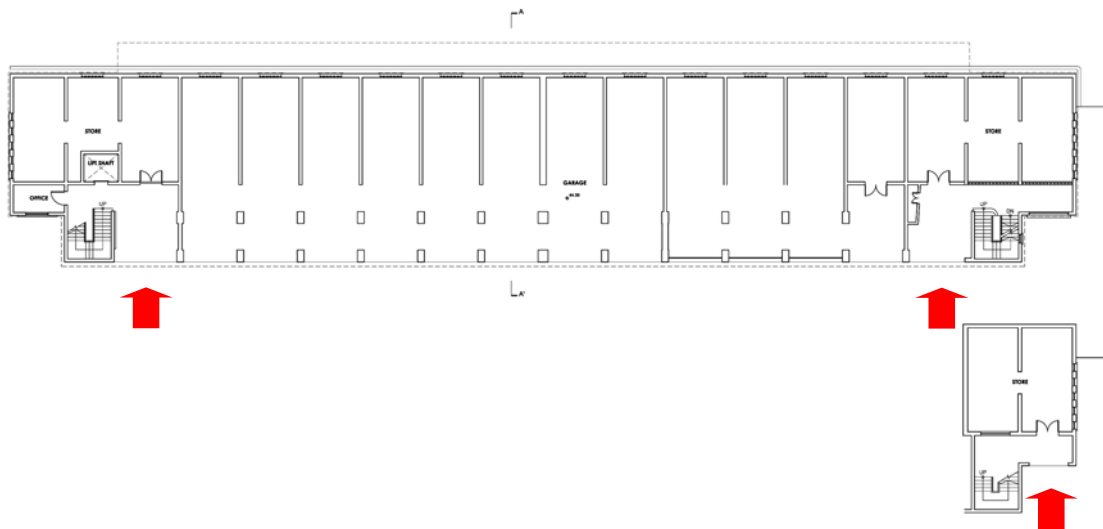
The two quarters adopted a rectangular form of 7 (Block B) and 8 (Block A) storeys high (Fig. 134). The extra storey of Block A is the garages and stores on the ground floor which are not found in Block B. Both were built in a similar layout with a functional form (Fig. 135, Fig. 137 - Fig. 138). The two blocks are accessible from the car park on the 2<sup>nd</sup> plateau. Main entrances to the quarters are located on both ends of each block, where staircases and lifts are found accessible to the upper floors. The staircase at the northwestern end of Block A and Block B are leading down to the 3<sup>rd</sup> plateau. The staircase can further leads up to the roof terrace.

Horizontal access to the interior is gained through a corridor throughout each floor of the building. Each living floor has a typical floor layout: living units are arranged along the corridor on one side provided with a balcony, while a corresponding kitchen is found on the other side of the corridor facing the car park (Fig. 136). According to old plans, utility areas such as lavatories, showers and laundries were located on both ends of the living floor. Currently, each living unit is also provided with a toilet at the balcony which is a later addition (Fig. 139 - Fig. 145).

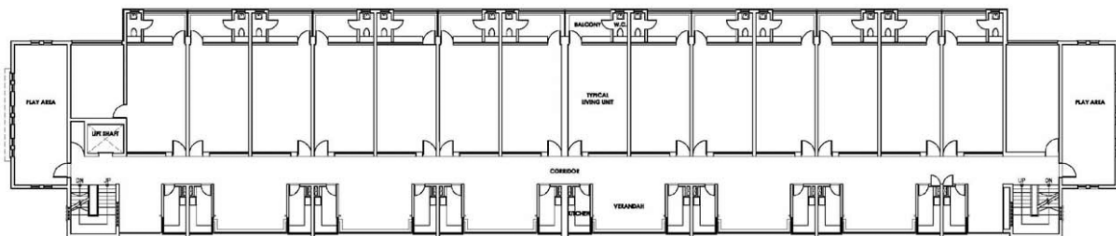
The roof terrace floor of Block A and Block B housed water tank and lift machine room (Fig. 146).



**Fig. 134. Elevation of Block A of the former Police Married Quarters.**



**Fig. 135. Ground floor and lower ground floor plan of Block A of the former Police Married Quarters.**



**Fig. 136. Typical floor plan of Block A of the former Police Married Quarters.**



**Fig. 137. General view of the ground floor at Block A.**





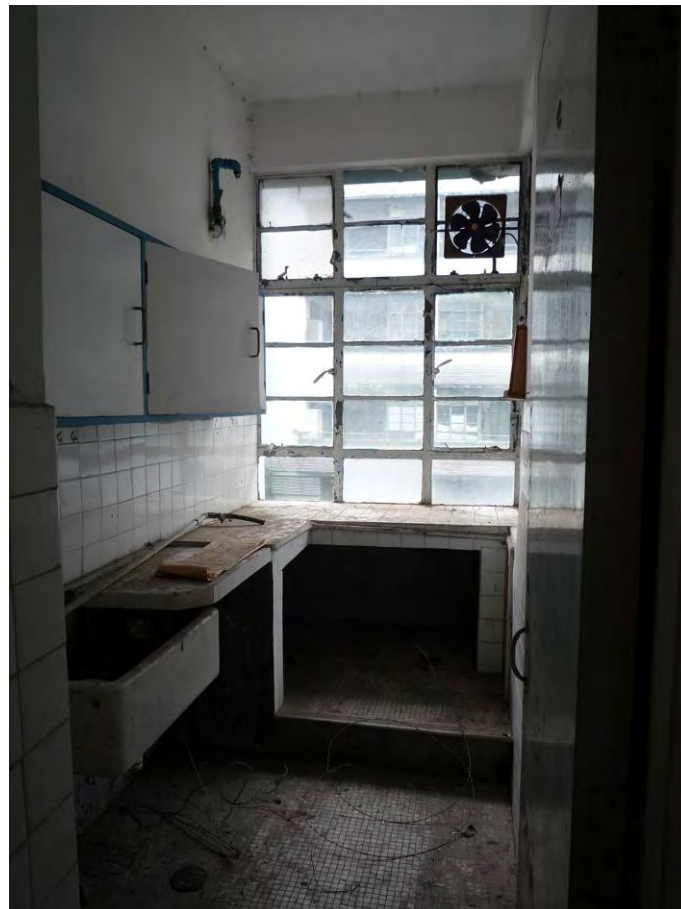
**Fig. 138. Interior of a garage on the ground floor at Block A.**



**Fig. 139. The corridor on the upper floor of Block A.**



**Fig. 140.** External view of the kitchens on the upper floor at the corridor of Block A.



**Fig. 141.** Interior of a kitchen on the upper floor of Block A.



**Fig. 142.** Room originally used as lavatory at the end of the upper floor at Block A.

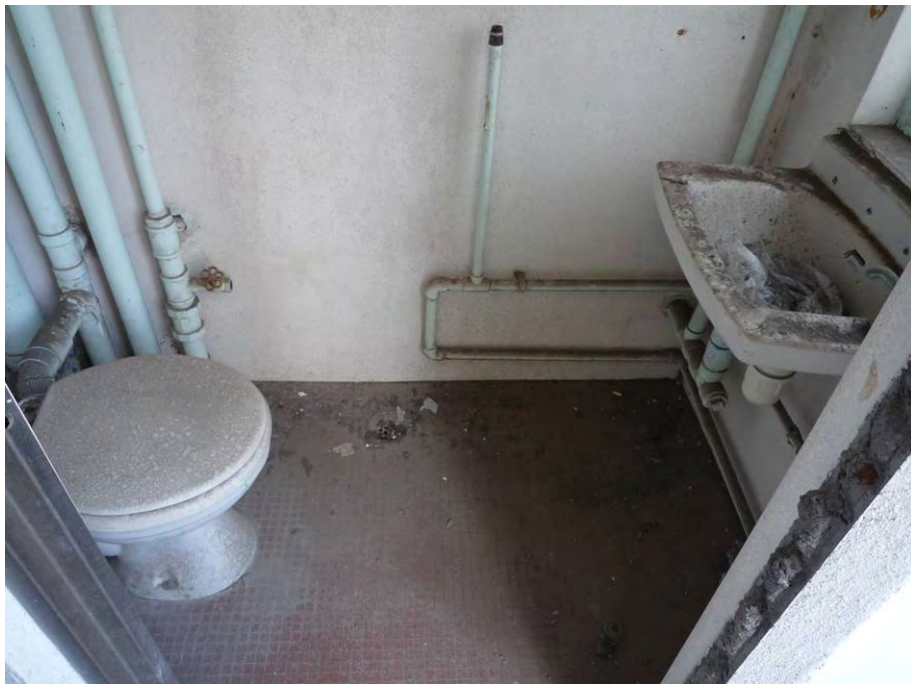


**Fig. 143.** Interior of a typical living unit at Block A.





**Fig. 144.** The balcony at a typical living unit at Block B.



**Fig. 145.** Interior of the toilet at the balcony of the typical living unit at Block B.

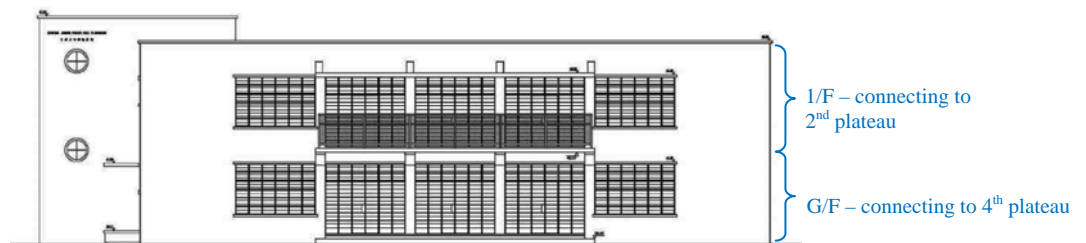


**Fig. 146. Roof terrace at Block A.**

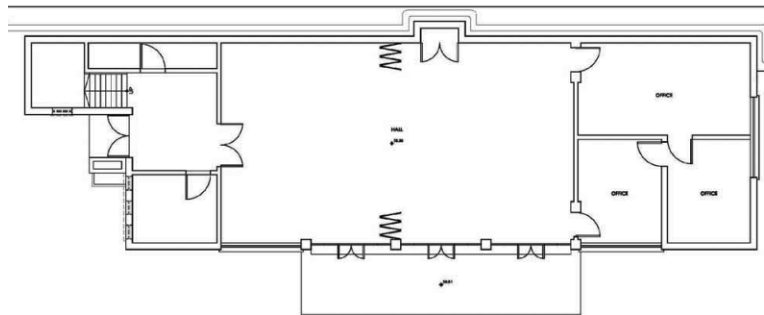
### JPC Building

JPC Building mainly adopted a rectangular form with a porch and balcony on the front elevation (Fig. 147). It is of 2-storey high, with the upper floor accessible from the 2<sup>nd</sup> plateau, where a staircase leads down to the ground floor (Fig. 148 - Fig. 149). Entrances are found on the southeast elevation on the ground floor and at the stairwell on the first floor (Fig. 150 - Fig. 152). There are also doors opened to the 4<sup>th</sup> plateau on the ground floor through the porch on the front elevation (Fig. 153).

The layout of the ground floor mainly comprises a spacious hall at the middle with offices and other rooms on both ends (Fig. 154). The first floor is divided into rooms believed to be offices and a spacious hall is found at the northwest end (Fig. 155). There is a balcony accessible from the spacious hall and an office on the first floor (Fig. 156).

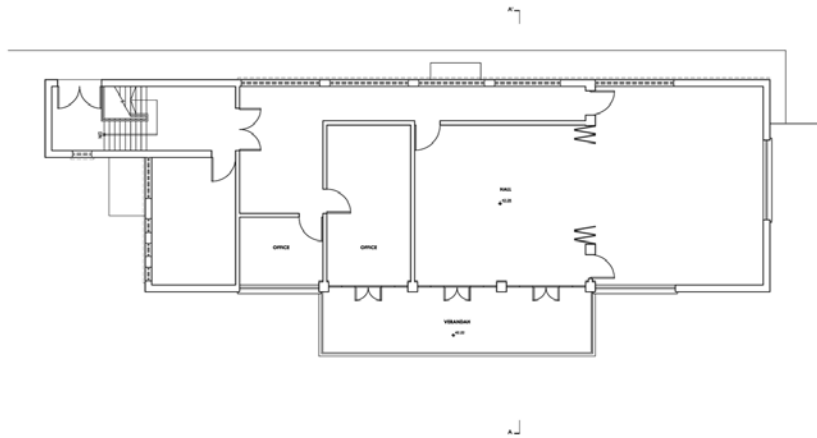


**Fig. 147. Elevation of the JPC Building.**



**Fig. 148. Ground floor plan of JPC Building.**





**Fig. 149. First floor plan of JPC Building.**



**Fig. 150. Entrance on the ground floor on the southeast elevation of the JPC Building.**



**Fig. 151.** Rear entrance from the 2<sup>nd</sup> plateau to the stairwell of the JPC Building.



**Fig. 152.** Stairwell of the JPC Building.



**Fig. 153.** Porch opening to the 4<sup>th</sup> plateau on the front elevation of the JPC Building.



**Fig. 154.** Interior of the middle hall on the ground floor at JPC Building.





**Fig. 155. Interior of the spacious hall on the first floor at JPC Building.**



**Fig. 156. Balcony on the first floor at JPC Building.**

### 3.4.3 Architectural style – modern style

The buildings of PMQ are of modern style, feature a simple and clean appearance with a more utility approach for the design of space and form. This style emerged in the early 1950s when there was a great increase in population, resulting in great demand in buildings which required fast and efficient construction. In order to cope with this, the design of building aimed at meeting the minimum requirement and standard which resulted in a simple and functional design. Buildings of this style are mainly built of reinforced concrete with flat roofs with minimal decoration.

The 1950s was the period when more Chinese architects practiced in Hong Kong, with many popular names such as Robert Fan 范文照 (1893-1979), Luke Him Sau 陸謙受 (1904-1992), Su Gin Djih 徐敬直 (1906-unknown), and architectural firm such as Kwan, Chu and Yang 基泰工程司. Most of the architecture in the 1950s were designed by these Chinese architects. They are considered as the first generation of the Chinese architects.<sup>109</sup> Examples from this period are the Kowloon Methodist Church (1951) at Yau Ma Tei by Szeto Wai 司徒惠 (Fig. 157), Shaw House (1959) by Eric Cumine 甘洛 (Fig. 158), and Ruby Court (1961) in North Point by Robert Fan (Fig. 159).

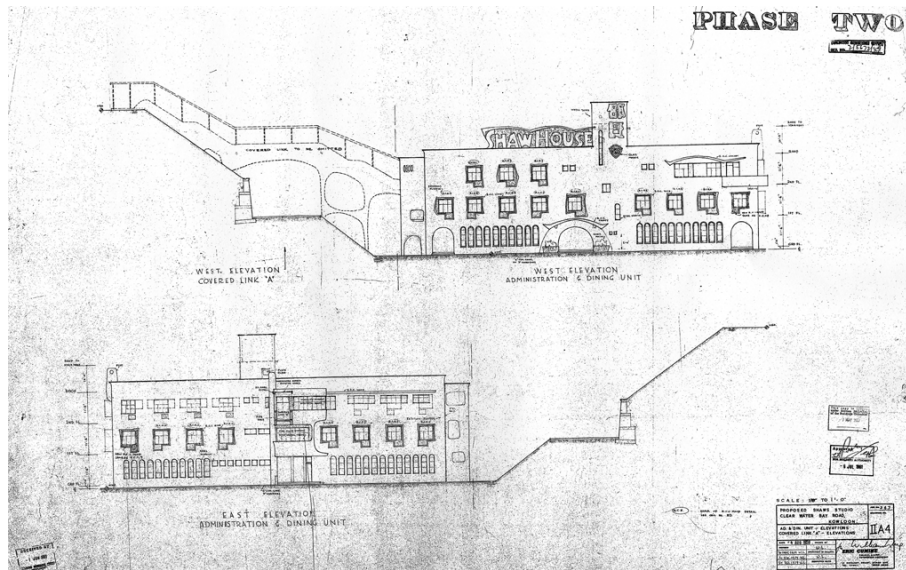


**Fig. 157. Kowloon Methodist Church, Yau Ma Tei.**

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<sup>109</sup> Wu Qicong 吳啟聰, *Jian wen zhu ji: Xianggang diyidai Huaren jianzhushi de gushi* 建聞築蹟 - 香港第一代華人建築師的故事 [The news and traces of architecture – the story of the first generation Chinese architects], Hong Kong, ET Press, 2007, pp. 19-21.





**Fig. 158. Architectural drawings of Shaw House, Clear Water Bay.**  
 (from Buildings Department, HK SAR Government, *Proposed Shaws Studio Clear Water Bay Road, Hong Kong*, Buildings Department, HK SAR Government, 1 Jun 1961)



**Fig. 159. The deep overhang (left) and the deep vertical fins and overhangs at Ruby Court, North Point.**



There are examples of government buildings built after war in modern style in Hong Kong, such as Hung Hom Police Station (1950) (Fig. 160), Bridges Street Market (1953) (Fig. 161), Mei Ho House (1954) (Fig. 162), new block at Yau Ma Tei Police Station (1957) (Fig. 163), City Hall (1963) (Fig. 164).



**Fig. 160. Hung Hom Police Station built in 1950.**  
(from Kevin Sinclair, *Asia's Finest: an Illustrated Account of the Royal Hong Kong Police*, Hong Kong, Unicorn, 1983, p.160.)



**Fig. 161. Bridges Street Market built in 1953.**



**Fig. 162. Mei Ho House built in 1954.**



**Fig. 163. New Block at Yau Ma Tei Police Station built in 1957.**



**Fig. 164. City Hall built in 1963.**



### Simple and functional design

The two quarters and the JPC Building are basically in a cube form. The interior planning was based on functional concern and aimed at fully utilizing the interior space. Straight lines tended to be used instead of curves in order to be cost effective (Fig. 165).

The interior planning of the two quarters with the living units arranged along a main circulation corridor with common lavatory is reminiscent of the resettlement housing built in the 1950s (Fig. 166 - Fig. 167).



**Fig. 165. Elevations of Block A facing the car park on the 2<sup>nd</sup> plateau (left) and front elevation of JPC Building on the 4<sup>th</sup> plateau (right).**



**Fig. 166. The planning with living units arranged along a main circulation corridor in the quarters (left) is reminiscent to that of the resettlement housing built in the 1950s (right).**

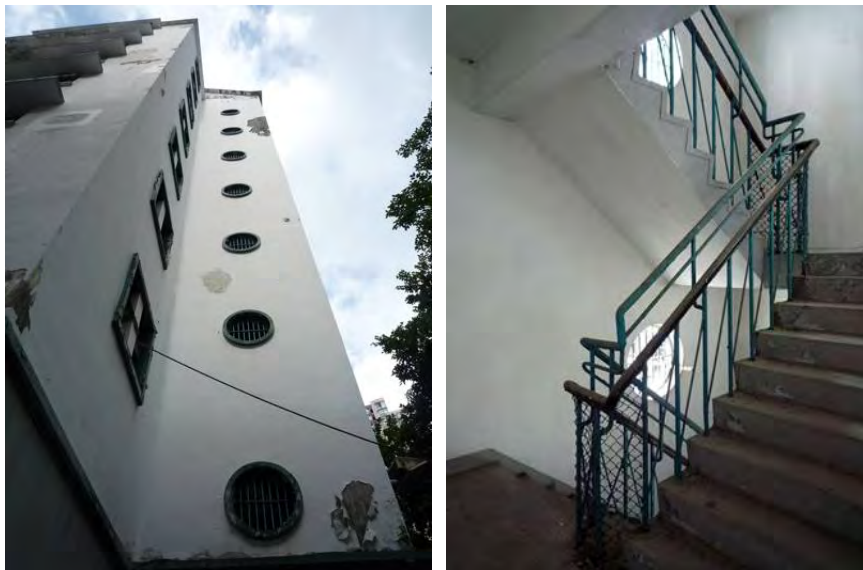
(left: from *Home of Yesterday*, p.52.)



**Fig. 167. Main circulation corridor at the quarters (left) and the resettlement housing (right).**

### Minimum decoration

In the modern style building, the only decoration to the building could be restricted to the composition of different functional elements, such as the geometric expression from the circular windows, architraves around the window openings and the staircase balustrades at the quarters (Fig. 168).



**Fig. 168. Stairwell with circular windows, architraves around window openings (left) and the balustrade of the staircase with geometric design (right) of the quarters.**

### Weather proofing device

A great adoption of weather proofing devices is observed during this period. Common devices were deep canopy, window head and window sill (Fig. 169 - Fig. 171).



**Fig. 169. Window heads and window sills at Block A.**



**Fig. 170. Entrance porch with deep canopy on the ground floor of JPC Building.**



**Fig. 171. Deep canopy above the porch on the front elevation of the JPC Building.**

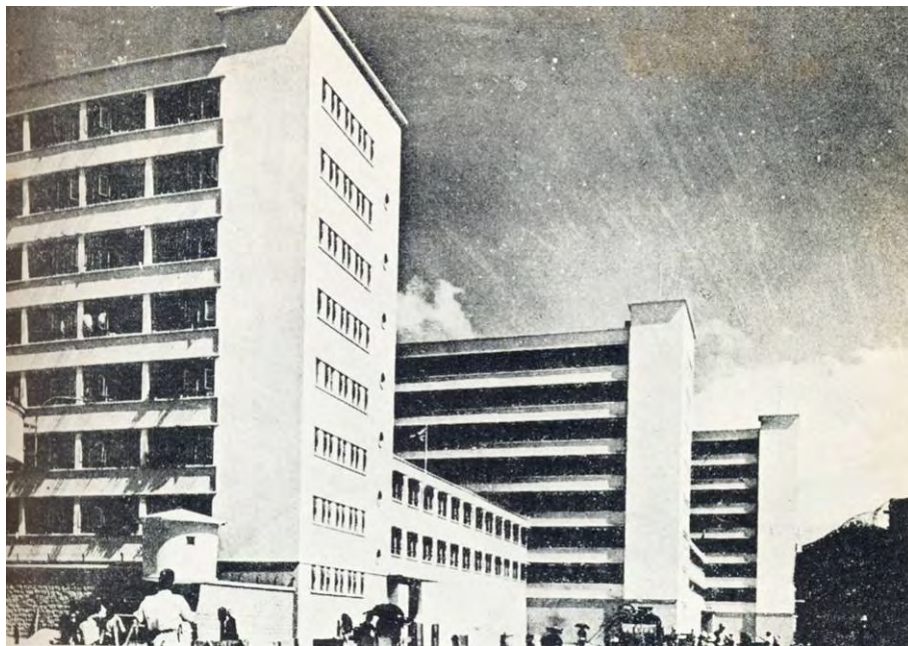


## 3.5 Other Examples of Police Married Quarters in Hong Kong

The quarters at Hollywood Road are the first police rank and file married quarters in Hong Kong. Many police married quarters were built after the Second World War. They were all built aiming to provide economical quarters for the police of different ranks. In the following, several police married quarters for rank and file officers built in the 1950s will be introduced.

### 3.5.1 Rank and File Quarters at Canton Road (1953) (demolished)

The Rank and File Quarters at the junction of Canton Road and Austin Road comprised three eight-storey blocks housing 375 living units (Fig. 172 - Fig. 173). The plans of the living units were basically the same as those at the Hollywood Road site with minor improvements. The site also provided a co-operative shop, medical clinic, recreation centre, children's playground, school for the use of the children of the 369 families living in the quarters and garages for Police vehicles.<sup>110</sup> The quarters was demolished and developed into the new residential compound – The Victoria Towers 港景峰 in 2002.



**Fig. 172. Rank and File Quarters at Canton Road in 1953.**  
(Director of Public Works, *Annual Departmental Report 1952-53*, Hong Kong, Hong Kong Government Press, 1953.)

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<sup>110</sup> Public Works Department, *Hong Kong Annual Reports 1950-1*, Hong Kong, Public Works Department, 1951, p.4. See also Director of Public Works, *Annual departmental Report*, Hong Kong, Government Press, 1952, pp.4-5.



**Fig. 173. Rank and File Quarters at Canton Road.**  
(from *Now and Then*. Retrieved on 11 January 2011, Websote:  
[http://hk.myblog.yahoo.com/jw!zslts\\_qdHBPBXMH\\_fnc-/article?mid=1389.](http://hk.myblog.yahoo.com/jw!zslts_qdHBPBXMH_fnc-/article?mid=1389))

### **3.5.2 Western Police Rank and File Married Quarters (1955)**

The Western Police Rank and File Married Quarters at Queen's Road West were built within the site of the Western District Headquarters and Police Station. The quarters provided accommodation to house 120 rank and file families (Fig. 174 - Fig. 175).<sup>111</sup>

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<sup>111</sup> Hong Kong Police, *Annual Report by the Commissioner of Police*, Hong Kong, Hong Kong Government Printer, 1955-56, pp. 28-30.



**Fig. 174. Site map of the Western Police Station.**  
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, survey sheet no.:11-SW-7B (partial))

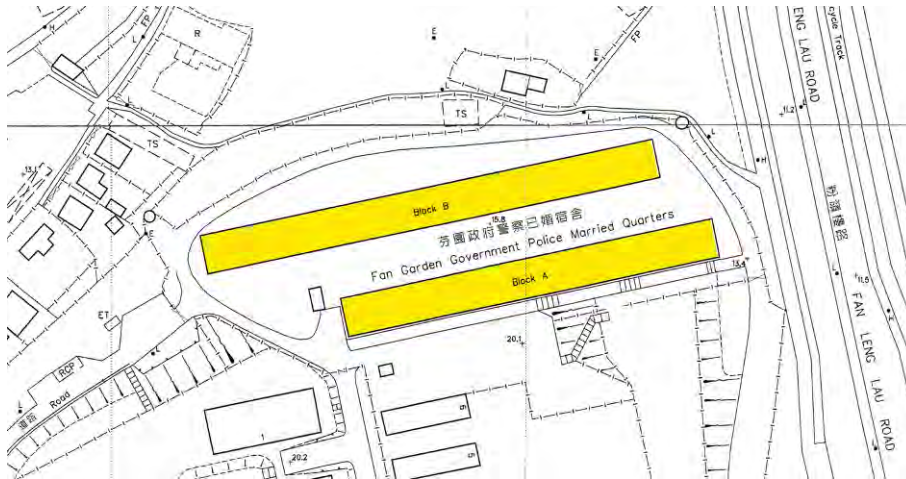


**Fig. 175. Western Police Rank and File Married Quarters at Queen's Road West built in 1955.**



### 3.5.3 Rank and File Married Quarters and Pakistani barrack accommodation at New Territories Depot, Fan Garden, Fanling (1956)

The New Territories Depot at Fan Garden, Fanling was described as a big compound comprising an administrative building, barrack accommodation for rank and file (Chinese and Pakistani officer), rank and file married quarters, inspectorate quarters, workshops and garages, and a school.<sup>112</sup> The rank and file married quarters consists of two 5-storey blocks which housed 200 flats and barrack accommodation for 200 Pakistanis including mess and recreation rooms (Fig. 176 - Fig. 177).<sup>113</sup>



**Fig. 176. Site map of Fan Garden Government Police Married Quarters.**  
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, survey sheet no.:3-SW-7B, 3-SW-7D (partial))



**Fig. 177. Fan Garden Government Police Married Quarters.**  
(from *Hong Kong Place*. Retrieved on 11 January 2011, Website: <http://www.hk-place.com/picture.php?pic=p257033>.)

<sup>112</sup> Hong Kong Public Works Department, *Annual departmental report*, Hong Kong, Government Press, 1954-55, p.12.

<sup>113</sup> Hong Kong Public Works Department, *Annual departmental report*, Hong Kong, Government Press, 1955-56, p.12.

### 3.5.4 Rank and File quarters at Arsenal Street Police Headquarters (1957) (demolished)

The quarters at Arsenal Yard was an 11-storey building with a school on the ground floor and rank and file married quarters above (Fig. 178). The quarters provided accommodation for a total of 300 rank and file married quarters, each consisting of a large living/bedroom, verandah and kitchen with communal lavatory facilities. The flats were accessed by an external verandah served by a lift.<sup>114</sup> The quarters were vacated in the mid-1980s and the current site is occupied by the Wanchai District Headquarters and Divisional Police Station.



Fig. 178. Rank and file quarters at Arsenal Yard, Wanchai.  
(from *Jing Sheng* 警聲, Hong Kong, Police Public Relations Branch, 2004, no. 787.)

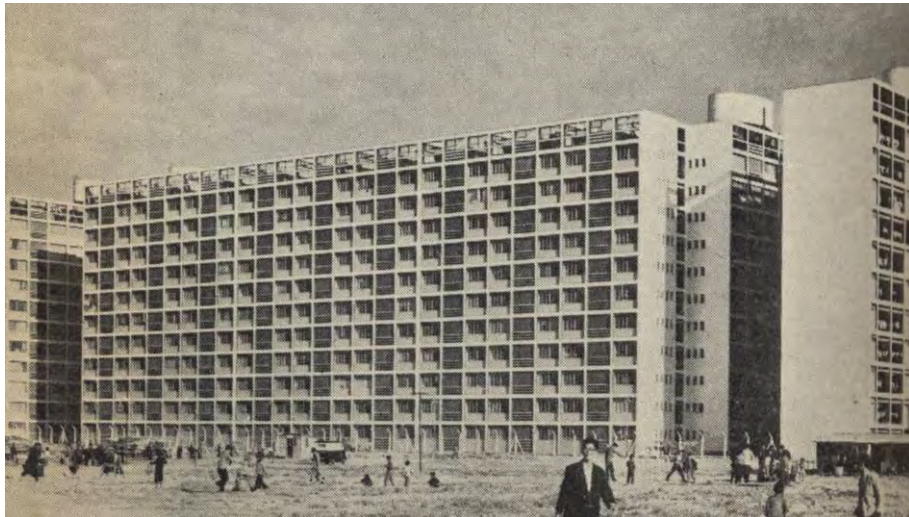
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<sup>114</sup> Director of Public Works, *Annual Departmental Report 1955-56*, Hong Kong, Hong Kong Government Press, 1956, p.13.



### 3.5.5 Rank and File Married Quarters at Cheung Sha Wan (1960) (demolished)

The Rank and File Married Quarters at Cheung Sha Wan was built in 1960 at the junction of Cheung Sha Wan Road and Tonkin Street. It contained 826 married quarters for Police Rank and File, a standard 24-classroom primary school and medical and dental clinic. The quarters were planned in five connected blocks of 11-storey high (Fig. 179 - Fig. 180).<sup>115</sup> The quarters were vacated in 2003.



**Fig. 179. Rank and File Married Quarters at Cheung Sha Wan in 1960.**  
(from Hong Kong Police, *Annual Report by the Commissioner of Police 1960-61*,  
Hong Kong, Hong Kong Government Printer, 1961.)



**Fig. 180. Internal courtyard of the quarters at Cheung Sha Wan in 2007.**

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<sup>115</sup> Hong Kong Public Works Department, *Annual departmental report*, Hong Kong, Government Press, 1960-61, p.13.



### 3.5.6 Summary

From the above examples of other police married quarters for rank and file officers in Hong Kong, it is observed that the police married quarters at Hollywood Road set up a model for the later built police quarters in the 1950s. All the cases are of modern design with a similar simple and functional form – a rectangular block of multi-storey high very much like the design of resettlement housing. Apart from the flats, some of the site also incorporated supporting facilities like school, clinic, recreation centre and garages for the police officers and their families.

From 1960s onwards, the design of the police married quarters are more like apartment design of the private residential development instead of resettlement housing (Fig. 181 - Fig. 183). A list of police quarters in Hong Kong from 1950 to present are summarized in a table, as shown in the Appendix I, which further provides information about the construction of police quarters which were either built inside an individual site or within a police station compound.



**Fig. 181. Quarters at Nos. 1-5 Ede Road built in 1964.**



**Fig. 182. Homantin Police Quarters at No. 81 Chung Hau Street built in 1979.**  
(from *Homantin* 何文田. Retrieved on 12 January 2011, Website:  
<http://picasaweb.google.com/hkscene/KVWFc#5266268127155166386>.)



**Fig. 183. Tsing Yi Police Married Quarters at No. 51 Tsing Yi Heung Sze Wui Road built after 1980s.**

# 4

## PUBLIC VIEWS

### 4.1 Public Views on the Use of Site in Recent Years

Since its vacancy in 2000, the future of the Former Police Married Quarters on Hollywood Road (PMQ) was unclear. Until ten years later, it was finally settled when the government invited proposals for transforming the PMQ into a creative industries landmark of Hong Kong in 2010.

The public has actively participated in the three-month public engagement process ended in May 2008 before revitalization proposal of PMQ was confirmed. Since the mid-2000s, along with a raising awareness among the general public on heritage conservation in Hong Kong, people's concerns on the future use of the PMQ were as well on a rise. Placing the site of the PMQ into the List of Sites for Sale by Application by the government in mid-2005 triggered the first noticeable public involvement concerning the protection of trees on site. In early 2007, the approval of a high-rise residential development on the site marked a second failure of the public in applying for a rezoning of the site from "Residential (Group A)" to "Government, Institution or Community" and "Open Space". Since then, however, the government began to notice a drastic increase in public concerns on the future use of the PMQ. In 2007, the government removed the site of the PMQ from the List of Sites for Sale by Application for a year and conducted public engagement exercise for collecting public views on the issue. In 2008, in respect of public opinions, the government permanently removed the site of the PMQ from the List of Sites for Sale by Application, which was later rezoned to "Other Specified Uses" annotated "Heritage Site for Creative Industries and Related Uses" in early 2010. The government noticed the views and aspirations from the public regarding revitalization and invited proposals in transforming the PMQ into a creative industries landmark of Hong Kong in March 2010. "PMQ", the revitalization proposal submitted by Musketeers Education and Culture Charitable Foundation Limited was selected in November 2010, which welcomes the enjoyment of the public for the revitalized facilities in the future.



The table below lists in detail the development of public views and public involvement on the use and protection of the site of the PMQ started in 1998. Related government policies are included in the table for easy reference:

Note:

- Information of this table is arranged in chronological order.
- Items related to public views or involvements are marked with “\*\*”.

Date	Public views or involvements / Government policies	Description
<b>Phase I - no / little public concerns</b>		
1998	Rezoning of the site of the PMQ	The site of the PMQ was rezoned from “Government, Institution or Community” to “Residential (Group A)” on the Sai Ying Pun and Sheung Wan Outline Zoning Plan (OZP, No. S/H3/11) <sup>116</sup>
<b>Phase II – increasing public concerns and participation</b>		
Mar 2005	Placing of the site of the PMQ into the List of Sites for Sale by Application by the government <sup>117</sup>	/
Jun 2005 **	“手牽手 護古樹” (“Hand in Hand Protect Old Trees”)	Under the potential threat of a private development on the site of the PMQ, the Central and Western District Council 中西區區議會 organized the activity “Hand in Hand Protect Old Trees”, aiming to bring out a message about the protection of the masonry wall trees along the site boundary. <sup>118</sup>

<sup>116</sup> *Former Hollywood Road Police Married Quarters 2007 Site Investigation Report (2010)*. Retrieved on 10 December, 2010, from Recent Archaeological Discoveries under Antiquities and Monuments Office, Leisure and Cultural Services Department, Website: [http://www.lcsd.gov.hk/CE/Museum/Monument/form/AAB\\_Paper131\\_hollywood\\_content\\_e.pdf](http://www.lcsd.gov.hk/CE/Museum/Monument/form/AAB_Paper131_hollywood_content_e.pdf), p. 5.

<sup>117</sup> *Legislative Council, Panel on Planning, Lands and Works, 2005-06 Application List*. Retrieved on 20 December, 2010, from Legislative Council, Hong Kong SAR Government Website: <http://www.legco.gov.hk/yr04-05/english/panels/plw/papers/plw0426cb1-1319-3e.pdf>.

<sup>118</sup> Katty Law, *不能斷裂的歷史脈絡：我們為什麼要保護荷里活道中央書院遺址* [The undetectable historical trace: why we need to protect the remains of Central School at Hollywood Road]. Retrieved on 14 January 2011, from [www.inmediahk.net](http://www.inmediahk.net), Website: <http://www.inmediahk.net/node/194741>.


Date	Public views or involvements / Government policies	Description
Aug 2005 **	Application to the Town Planning Board for a rezoning of the site of the PMQ	The Central and Western Concern Group 中西區關注組, an advocacy group on heritage conservation and urban planning applied to the Town Planning Board requesting a rezoning of the site of the PMQ from “Residential (Group A)” back to “Government, Institution or Community” annotated the future use should be related to the history of the site or in relevance to cultural development. <sup>119</sup>
Nov 2005 **	Unsuccessful application to the Town Planning Board for a rezoning of the site of the PMQ <sup>120</sup>	/
<b>Phase III – active and continuing public concerns and participation</b>		
Dec 2006 **	Objection to the proposal of a private development on the site of the PMQ	The Central and Western District Council rejected the proposal due to inadequate considerations on the heritage significance of the site of the PMQ, as well as traffic and environmental impacts for a residential development on the site. In addition, public aspirations for the site were not considered. <sup>121</sup>
Jan 2007 **	Second time application to the Town Planning Board for a rezoning of the site of the PMQ	<p>Due to the failure of first time application in August 2005, the Central and Western Concern Group further applied to the Town Planning Board requesting a rezoning of a large part of the site of the PMQ from “Residential (Group A)” to “Open Space” and the remaining part of site into “Government, Institution or Community”. The Group received 1,200 letters of support from the public.<sup>122</sup></p> <p>The Central and Western Group recommended the site of the PMQ to include homes for elderly people, a community hall, a library and student study rooms, which would all be</p>

<sup>119</sup> Katty Law, 不能斷裂的歷史脈絡：我們為什麼要保護荷里活道中央書院遺址 [The undetectable historical trace: why we need to protect the remains of Central School at Hollywood Road]. Retrieved on 14 January 2011, from [www.inmediahk.net](http://www.inmediahk.net), Website: <http://www.inmediahk.net/node/194741>.

<sup>120</sup> Masterplan Limited, *Proposed Rezoning of the Former Police Married Quarters Site at Hollywood Road, Sheung Wan, Hong Kong* (January 2007). Retrieved on 14 January 2011, Website: [http://www.johnbattengallery.com/campaign/Planning\\_statement.pdf](http://www.johnbattengallery.com/campaign/Planning_statement.pdf).

<sup>121</sup> *Ibid.*

<sup>122</sup> John Batten, *More Towers or Open Space?* Retrieved on 14 January 2011, from John Batten Gallery, Website: <http://www.johnbattengallery.com/campaign/campaign.html>.

Date	Public views or involvements / Government policies	Description
		<p>surrounded by a green park.<sup>123</sup> Below shows a sketch illustrating the proposal:</p> 
Feb 2007	Approval of a high-rise residential development on the site of the PMQ.	The Town Planning Board approved the development of two 43-storey residential towers with car parks on the site of the PMQ, in spite of an early opposition from the Central and Western District Council in December 2006. <sup>124</sup>
<b>Phase IV – government respect on public opinions</b>		
Oct 2007	Removal of the site of the PMQ from the List of Sites for Sale by Application for one year	The Chief Executive announced in the 2007-08 Policy Address that the site of the PMQ would be removed from the List of Sites for Sale by Application for one year. Proposals would be invited on its revitalization. <sup>125</sup>

<sup>123</sup> John Batten, *More Towers or Open Space?* Retrieved on 14 January 2011, from John Batten Gallery, Website: <http://www.johnbattengallery.com/campaign/campaign.html>.

<sup>124</sup> *Ibid.*

<sup>125</sup> *Transformation of Former Police Married Quarters Site on Hollywood Road into a Creative Industries Landmark – Invitation for Proposals – Press Conference.* Retrieved on 14 January 2011, PowerPoint prepared by the Development Bureau, Website: [http://www.heritage.gov.hk/en/doc/pmq/IFP\\_Powerpoint%20Presentation.pdf](http://www.heritage.gov.hk/en/doc/pmq/IFP_Powerpoint%20Presentation.pdf), p.19.



Date	Public views or involvements / Government policies	Description
Feb – May 2008 **	Expressions of views by the public, interested groups and media on the revitalization and adaptive-reuse of the site of the PMQ.	<p>The government conducted a three-month public engagement exercise for collecting the views of the public on revitalization and adaptive-reuse of the site of the PMQ.<sup>126</sup></p> <p>Summary of public views are as follows:</p> <ol style="list-style-type: none"> <li><b>1. Preserve the historical relics of the site, including the existing trees, retaining walls, granite steps, original granite plinths and pillars of the fenced walls within and around the site;</b></li> <li><b>2. Manifest the cultural heritage values and the original ambience or atmosphere of the site;</b></li> <li><b>3. Revitalize the site by giving it a new lease of life so that it would become a landmark with characteristics and vitality for the enjoyment of local residents and visitors;</b></li> <li><b>4. Contribute to the holistic planning for the area along and around Hollywood Road under the “spot”, “line” &amp; “area” approach for heritage conservation;</b></li> <li><b>5. Respond to the community’s concerns about the development intensity and the building height etc. raised under the previously proposed residential development scheme;</b></li> <li><b>6. Address the community’s aspirations for more local open space;</b></li> <li><b>7. Agreed in general a preservation of two quarters blocks of the site.<sup>127</sup></b></li> </ol>
2008	Permanent removal of the site of the PMQ from the List of Sites for Sale by Application	The Chief Executive announced a permanent removal of the site of the PMQ from the List of Sites for Sale by Application. The site was dedicated for revitalization with creative industries and related education uses.

<sup>126</sup> *Background – Former Police Married Quarters on Hollywood Road (The Original Site of the Central School)*. Retrieved on 14 January 2011, from Development Bureau’s website “Conserve and Revitalise Hong Kong Heritage”, Website: <http://www.heritage.gov.hk/en/pmq/background.htm>.

<sup>127</sup> *Transformation of Former Police Married Quarters Site on Hollywood Road into a Creative Industries Landmark – Invitation for Proposals – Press Conference*. Retrieved on 14 January 2011, PowerPoint prepared by the Development Bureau, Website: [http://www.heritage.gov.hk/en/doc/pmq/IFP\\_Powerpoint%20Presentation.pdf](http://www.heritage.gov.hk/en/doc/pmq/IFP_Powerpoint%20Presentation.pdf), pp.20 - 21.



Date	Public views or involvements / Government policies	Description
Oct 2009	Inclusion of the PMQ into “Conserving Central” initiative	In the 2009-10 Policy Address, the Chief Executive further proclaimed to include the site into one of the seven projects under the “Conserving Central” initiative.
Feb 2010	Rezoning of the site of the PMQ	The site of the PMQ was rezoned from “Residential (Group A)” to “Other Specified Uses” annotated “Heritage Site for Creative Industries and Related Uses”. <sup>128</sup>
<b>Phase V – revitalization of the PMQ</b>		
Mar 2010	Invitation of proposals for the transformation of the PMQ into creative industries landmark by the government	/
Nov 2010	Transformation of the PMQ into “PMQ”	<p>As a creative industries landmark proposed by Musketeers Education &amp; Culture Charitable Foundation Limited with the support of Hong Kong Design Centre, Hong Kong Polytechnic University and the Vocational Training Council’s Hong Kong Design Institute, the “PMQ” will help promoting Hong Kong’s creative industry, conserve heritage and provide open space for the community.</p> <p>The project will retain the two quarters blocks and supporting construction, and will provide studios for retailing creative products, an indoor multi-function activity hall, about 2,000 square metres of outdoor open space for creative activities, a creative resources centre, rooms for artists-in-residence, an interpretation area displaying the remains of the former Central School, a landscaped open area and other ancillary commercial facilities such as food and beverage outlets.<sup>129</sup></p>

<sup>128</sup> *Ibid*, p.8.

<sup>129</sup> *Former Police Quarters’ Transformation Set (15<sup>th</sup> November 2010)*. Retrieved on 13 January 2011, from Hong Kong’s Information Services Department, Website: [http://archive.news.gov.hk/en/categories/health/html/2010/11/20101114\\_144352.shtml](http://archive.news.gov.hk/en/categories/health/html/2010/11/20101114_144352.shtml)

## 4.2 Recent public engagement activities in the site

Recent public engagement activities in the site of PMQ could be traced back to February 2008, when the government organized open days at the site for the public. The spacious site was also temporarily used by nonprofit organizations (NPOs) as the venue for art and design events before the government invited proposals for transforming the PMQ into a creative industries landmark of Hong Kong between in early 2010. Details of the activities are listed in the table below:


Date	Public Engagement Activities	Organization	Details of Activities
Feb – Mar 2009	<p>“Former Central School Envisioning Days”</p>  	Co-organized by Central and Western District Council, Development Bureau, Artist Commune, Hong Kong People's Council for Sustainable Development and Central and Western District Office	This envisioning day was one of the activities of the three-month public engagement exercise for collecting public views on revitalization and adaptive-reuse of the site of the PMQ. Contents included open days cum guided tours to the public, interested groups and media, <sup>130</sup> artifact display, art quarters by artists, exhibition by galleries, talks and workshops.

<sup>130</sup> Background – Former Police Married Quarters on Hollywood Road (The Original Site of the Central School). Retrieved on 14 January 2011, from Development Bureau's website “Conserve and Revitalise Hong Kong Heritage”, Website: <http://www.heritage.gov.hk/en/pmq/background.htm>.



Date	Public Engagement Activities	Organization	Description
Nov – Dec 2009	<p>DETOUR 2009</p>   	Hong Kong Ambassadors of Design	Established in 2006, DETOUR is the annual flagship programme of Hong Kong Ambassadors of Design, aimed at showcasing Hong Kong as a regional creative hub and featuring inspiring designs from Hong Kong's young and emerging creative talents. The site of the PMQ was selected as the venue of the fourth DETOUR in 2009. <sup>131</sup>

<sup>131</sup> *About DETOUR*. Retrieved on 14 January 2011, from the website of DeTour 2010, Website: [http://www.detour.hk/about\\_detour.php](http://www.detour.hk/about_detour.php).

Date	Public Engagement Activities	Organization	Description
Jan – Mar 2010	<p>Heritage x Art x Design Walk (HAD)</p> 	HULU Culture, funded by Hong Kong Jockey Club Charities Trust	Aimed at giving the public a better understanding of Central and Sheung Wan, exhibitions, design workshops, cultural tours, talks and performances were organized in HAD. <sup>132</sup>

<sup>132</sup> *Club Funds Cultural Project to Bring New Life to Old Districts*. Retrieved on 17 January 2011, from Corporate News of the website of The Hong Kong Jockey Club, Website: [http://www.hkjc.org.cn/eng/about/activity\\_club\\_full.asp?in\\_file=/chinese/news/news\\_2010012324061.htm](http://www.hkjc.org.cn/eng/about/activity_club_full.asp?in_file=/chinese/news/news_2010012324061.htm).

### **4.3 Significance of public views in influencing the use of the Former Hollywood Road Police Married Quarters**

#### Change of public's attitude towards the use of historic buildings / sites

Revitalization of the Former Hollywood Road Police Married Quarters (PMQ) reflects an increase in public concerns towards the use of historic buildings / sites in Hong Kong. From a passive attitude to an active participation, the public begins considering the historic buildings / sites as public properties, where they are eager to express their views concerning the future of the buildings / sites.

#### Government response to public's concerns and aspirations

Revitalization of the PMQ is a significant example in illustrating government's policy in response to the views of and suggestions by the public. This led to the decision of conserving and revitalizing the site as a creative industries landmark, with public open space provided for public enjoyment.

#### High degree of public participation

The public was eager to express their views on the use of the site of the PMQ and actively participated in the public events held at the site. Such high degree participation finally influenced the government in adopting the recommendations from the public, including conservation and revitalization approach and the nature of the use of site, which serves as an example for revitalization of historic site under joint effort of the public, NPOs and the government.



# 5

## SIGNIFICANCE

### 5.1 Criteria

The assessment of the cultural significance of the former PMQ at Hollywood Road bases on international standards with considerations to the local situations. The assessment criteria stems from the concept and principles listed as below:

1. James Semple Kerr's Conservation plan – a guide to the preparation of conservation plans for places of European Cultural Significance;
2. Venice Charter, 1964 (International Charter for the Conservation and Restoration of Monuments and Sites)
3. Burra Charter, 1999 (the Australia's ICOMOS Charter for Places of Cultural Significance) – the latest version of a worldwide recognized standard for the establishment and implementation of conservation, and provides guidance for the concept and definition of cultural significance;
4. China Principles, 2002 (Principles for the Conservation of Heritage Sites in China);
5. English Heritage, 2008 – Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment;
6. What is Social Value? - A Technical Publication by Australian Heritage Commission which provides guidance to determine social value of a place.

### 5.1.1 International standards

#### Burra Charter, 1999

Aesthetic value	Consideration of the form, scale, colour, texture and material of fabric; the smells and sounds associated with the place and its use
Historic value	The place has influenced, or has been influenced by , an historic figure, event, phase or activity; The place associated with an important event
Scientific value	Depend on the importance of the data involved, on its rarity, quality or representativeness, and on the degree to which the place may contribute further substantial information
Social value	Embraces the qualities for which a place has become a focus of spiritual, political, national or other cultural sentiment to a majority or minority group

#### China Principles, 2002

Historical value	<ul style="list-style-type: none"> <li>• Important reasons led to its construction, and the site authentically reflects this historical reality.</li> <li>• Significant events occurred at the site or important figures were active there, and its historic setting accurately reflects these events or the activities of these people.</li> <li>• The site illustrates the material production, lifestyle, thought, customs and traditions or social practices of a particular historical period.</li> <li>• The existence of the site can prove, correct, or supplement facts documented in historical records.</li> <li>• The historic remains contain unique or extremely rare period or type elements, or are representative of a type of site.</li> <li>• Stages of a site's transformations over time are capable of being revealed.</li> </ul>
Artistic value	<ul style="list-style-type: none"> <li>• Architectural arts, including spatial composition, building style, decoration, and aesthetic form.</li> <li>• Landscape arts, including cultural, urban, and garden landscapes of famous scenic locations, as well as particular vistas comprising a landscape of ruins.</li> <li>• Associated sculptural and decorative arts, including carvings, statues and fixed ornamentation, frescoes, and furnishings.</li> <li>• Immovable sculptural artistic works that are unique in period, type, subject, appearance, or artisan skills.</li> <li>• The creative process and means of expression of the above-mentioned arts.</li> </ul>
Scientific values	<ul style="list-style-type: none"> <li>• Plan and design, including the selection and layout of a site, protection of the ecology, response to threats of disaster, and architectural form and structural design.</li> <li>• Construction, materials, and techniques and the level of scientific and technological achievement they represented for their time, or their importance as a link in the development of science and technology.</li> <li>• A facility or place where scientific experiments, production, or transportation, and so on, occurred.</li> <li>• A place where important scientific and technological information is recorded or preserved.</li> </ul>

### 5.1.2 Level of significance

After assessing relevant aspects of significance based on the above primary criteria, the following comparative criteria will be further considered to help understanding the level of significance of the place: the representativeness, rarity; the intactness and integrity<sup>133</sup>, and the authenticity. The representativeness indicates if it represents a particular category or historical theme; the rarity represents if it is an unusual or particularly fine example; the intactness, integrity and authenticity reflects the condition of it if it has experienced extensive alteration during the long history.

After assessing the cultural significance of the heritage place, a Statement of Significance will be established, which consists of three components summarizing the significance of the historic place. These three components are: 1) historic place (a description of the place); 2) heritage values; and 3) character defining elements. The character-defining elements means the materials, forms, location, spatial configuration, uses and cultural associations or meanings that contribute to the heritage values of a historic place, and which must be retained in order to preserve its heritage value.<sup>134</sup>

### 5.1.3 Criteria for assessing the cultural significance of the former PMQ

The assessment to determine the cultural significance of the former PMQ is based on thorough documentary, on-site research and investigation as detailed in the previous chapters. Based on the local situation, criteria from the international standards as discussed above or other sources as specified are followed and will be incorporated to establish the cultural significance of the former PMQ.

#### Contextual significance<sup>135</sup>

- It is important in defining, maintaining or supporting the character of an area;
- It is physically, functionally, visually or historically linked to its surroundings;
- It is a landmark;

#### Historic significance

- It is associated with the social development of Hong Kong;

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<sup>133</sup> Kerr, J. S., *Conservation Plan*, National Trust of Australia (NSW), 6th edition, 2004, p. 16.

<sup>134</sup> The definition of the character defining elements is extracted from Standards and Guidelines for the Conservation of Historic Places in Canada published by Parks Canada, 2003.

<sup>135</sup> Ontario Regulation 9/06 under Ontario Heritage Act made on 7 December 2005. Retrieved on 4 January 2011, from e-Laws of Canada government, Website: [http://www.e-laws.gov.on.ca/html/source/regs/English/2006/elaws\\_src\\_regs\\_r06009\\_e.htm](http://www.e-laws.gov.on.ca/html/source/regs/English/2006/elaws_src_regs_r06009_e.htm).



- It is associated with an important phase, events, theme, person, activities, organization or institution that is significant to Hong Kong, or associated with the daily life of the general community in Hong Kong;

#### Social significance

- It enables and facilitates social connections, networks and other relations in board sense, one not necessarily related to the historical values of the place;<sup>136</sup>
- It provides a spiritual or traditional connection between past and present;<sup>137</sup>
- It provides an essential reference point in a community's identity or sense of itself;<sup>138</sup>

#### Architectural and aesthetic significance

- The design and style represents example of an architectural style, building typology, use of the building
- It is an example of craftsmanship/workmanship, and construction techniques;

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<sup>136</sup> The Getty Conservation Institute, *Assessing the Values of Cultural Heritage (Research Report)*, Los Angeles, 2000, p.12.

<sup>137</sup> Chris Johnston, *What is Social Value?* Technical Publications Series Number 3, Australian Heritage Commission, Australian Government Publishing Service, Canberra 1994, p.7.

<sup>138</sup> *Ibid.*

## 5.2 Contextual Significance

### 5.2.1 Association with the development of Sheung Wan and western Central since the middle 19<sup>th</sup> century as a densely populated area for the Chinese

After the Hong Kong Island was occupied by Britain in 1841, the area at the present-day Sheung Wan and western Central were mainly resided by the Chinese. There was a temple, Shing Wong Temple 城隍廟 built on the site where Hollywood Road Police Married Quarters now stands, which was built in 1843 by the Chinese for the dedication to Shing Wong 城隍 [The City God] for his blessing and protection. In 1852, the land lot of the present-day Hollywood Road Police Married Quarters was purchased by Floriano Antonio Rangel, a Portuguese bookkeeper. Fifty houses, collectively known as Rangels' Estate, were built in the surroundings of Shing Wong Temple.

Simultaneously, various government, institutional and communal buildings were built in the area to cater for the Chinese community, such as Central Market, Man Mo Temple, Kwong Fuk Tsz, Tong Hing Theatre, Central Police Station Compound and Tung Wah Hospital. The district was gradually developed from a barren into a Chinese residential area.

When the site was occupied by the Central School in 1889 (the name of school was changed to Victoria College and Queen's College in 1889 and 1894 respectively), the area in its vicinity was still mainly inhabited by the Chinese with terrible sanitary conditions. As a result, Tai Ping Shan District and Sheung Wan were suffered from a plague epidemic severely in 1894. Subsequently, the government replanned the area, and the districts were developed into a prosperous Chinese commercial and residential area.

More government, institutional and communal buildings, such as the Congregational Mission Preaching House, the Daoji Mission House, Alice Memorial Hospital and the Hong Kong College of Medicine for Chinese were established for the Chinese in the district. Meanwhile in 1918, an underground public latrine was constructed outside the southeast corner of the site at the junction of Aberdeen Street and Staunton Street above the 1<sup>st</sup> plateau, which served the Chinese community in the surrounding context. Once built at the site, Shing Wong Temple, Rangels' Estate and subsequently the former Central School were demolished where no physical remains of the temple and houses can be traced today. Still, the site is significant in interpreting and reflecting the character of the early urban fabrics.

In the present-day Sheung Wan and western Central, it is not easy to trace the urban fabrics which constituted the urban context of the area between the mid 19<sup>th</sup> century and the early 20<sup>th</sup>

century. There are surviving urban fabrics which can help to interpret the early urban context. They are:

- Residential buildings – Pre-war European flats and Chinese tenement houses, such as Kom Tong Hall, Nos. 172-176 Queen’s Road Central (even numbers), No. 20 Hollywood Road and Nos. 60-64 Hollywood Road (even numbers).
- Religious buildings – Man Mo Temple, CCC Hop Yat Church and Kwong Fuk Tze.
- Government, institutional and communal buildings – Chinese YMCA of Hong Kong, Western Market, Victoria Gaol, Central Police Station, Central Magistracy, Old Bacteriological Institute Central Market and the underground public latrine.

Other than these buildings, most of the buildings constructed before the Second World War were torn down, such as Tong Hing Theatre, Alice Memorial Hospital and the Hong Kong College of Medicine for Chinese.

- Association with Shing Wong Temple 城隍廟, a “City Temple” built by the Chinese in 1843 dedicated to Shing Wong 城隍 [The City God]; and Rangel’s Estate, a fifty houses development. Although no physical remains could be traced today, the site could still help us to understand the early settlement of the Chinese community at the site and its surrounding context.
- Association with Central School though it was relocated and renamed, together with other retained built heritages in the surroundings, such as Man Mo Temple, Kwong Fuk Tze, and Central Police Station Compound, further reveal the social environment and context between the middle and late 19th century when the site was first formed for the former Central School - a context with many government buildings, religious buildings and school buildings established to cater for the Chinese community.
- Through the site and the surviving built heritages in the surroundings, we can trace the history and development of Sheung Wan and western Central between the mid 19th century and the early 20th century.

### **5.2.2 Association with the development of Central in the early Hong Kong during the 19th century. Group value together with other heritages in Central**

The site of Police Married Quarters at Hollywood Road is one of the eight projects under “Conserving Central” initiated in the 2009-10 Policy Address.<sup>139</sup> Once occupied by Shing Wong

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<sup>139</sup> The eight projects under the “Conserving Central” includes New Central Harbour Front, Central Market, Police Married Quarters at Hollywood Road, Central Police Station Compound, Central Government Offices Complex, Murray Building, and Former French Mission Building.



Temple, Rangels' Estate, the former Central School and Police Married Quarters, the site is one of the vital places for tracing some of the urban fabrics once appeared, which constituted the urban context of Central after 1841. It is also an important remain to give us a glance of the transformation of Central for the past 170 years. Today, Central is the administrative and financial centre of Hong Kong. Many historic buildings were torn down to make way for new development, with only a few historic buildings survived in the Central district. The other seven cultural and historic sites of "Conserving Central" associate closely with different development phases of Hong Kong, which are important for the understanding of the context of Central during the colonial era.

- Being one of the eight projects under the "Conserving Central", the site would be conserved and has been designated to be adaptive re-used for the promotion of creative industries. It is a vital place for tracing the historic urban fabrics once appeared, which constituted the urban context of Central, as well as a valuable heritage site to promote heritage conservation in Hong Kong.
- The site of the Former Police Married Quarters on Hollywood Road is one of the historic sites among the Dr. Sun Yat-Sun Historical Trail as well as the Central and Western Heritage Trail – The Sheung Wan Route. It contributes to our understanding on the history of Sheung Wan during the 19<sup>th</sup> century and 20<sup>th</sup> century when it was developed from a barren to a Chinese residential and commercial district since 1841.

## 5.3 Historic significance and social significance

### 5.3.1 Site of the premises for the former Central School, the first government school in Hong Kong

The Former Police Married Quarters Site on Hollywood Road was originally occupied by Queen's College, formerly known as Central School. Established in 1862 at Gough Street, the Central School was the first government school providing upper primary and secondary education to the public in Hong Kong. Before the founding of Central School, the schools in the Victoria City were mainly embarked by the missionary and voluntary bodies granted by the colonial government. The establishment of Central School replaced the haphazardly established schools in the Victoria City. It marked a significant milestone in the development of the colonial education in Hong Kong. When the school was moved to the site where the Former Police Married Quarters on Hollywood Road now stands in 1889, it was renamed as Victoria College. Five years later, the school was further renamed as Queen's College. Until the end of the Japanese Occupation, the site was occupied by the former Central School. The site witnessed the development of the School from the late 19<sup>th</sup> century to the early 20<sup>th</sup> century.

Many important figures who contributed extensively to Hong Kong as well as China studied in the school, such as Dr. Sun Yat-sen 孫中山先生, Dr. Fok Ying Tung 霍英東博士, Mr. Lee Hysan 利希慎先生 and General Ho Shai Lai 何世禮將軍. They emerged as community leaders in Hong Kong or held high posts in commercial firms and China's administration.

- The Central School was the first government school in Hong Kong which indicated the start of the colonial government's educational reformation to establish government-based school, before which the local education was originally provided by missionary and voluntary bodies.
- The former Central School is significant in its association with many important social and national figures who contributed extensively to the development of Hong Kong and China, had received their primary or secondary education in this school.

### **5.3.2 The first police quarters for Asiatic married rank and file officers in Hong Kong - important in interpreting and presenting the innovation of welfare for the police force due to the changing social environment of Hong Kong after the Second World War**

Former Police Married Quarters on Hollywood Road was the first police quarters built to provide accommodation for Asiatic married rank and file officers in Hong Kong. Before the Second World War occurred in 1941, the police force included Europeans, Indians and Chinese; among which the Europeans and Indians were of majority and higher rank. Living quarters were only provided to single officers of all ranking and married police officers of high rankings as part of the staff welfare. As many police stations were located in isolated areas with no convenient means of transport, most of the quarters were built within or adjacent to the police station.

After the war, most of the foreign officers were repatriated or too weak to resume normal duties, while the loyalty of Indian officers were doubted as they once worked for the Japanese during the war. Thus, they were not re-engaged and were replaced by Chinese officers, resulted in an increase of the demand for Chinese officers.

On the other hand, the population of Hong Kong grew rapidly in the post-war period as a result of the influx of refugees from China due to the Chinese Civil War (1947-49). The rapid population growth led to unemployment and housing problems which subsequently caused political and social unrest in Hong Kong, resulting a greater demand for police force.

Accompanying with the expansion of police force, more accommodations was required. New police quarters were built to improve the living conditions for all ranks between 1950s and 1970s. The Police Married Quarters in Hollywood Road was one of the police quarters built in the 1950s. Its construction represents the great improvement on the benefits for local officers, which is a physical trace of the innovation of welfare for the police force in the post-war period.

- Being the first police married quarters built for Asiatic married rank and file officers in Hong Kong, the Former Police Married Quarters on Hollywood Road represents the innovation of welfare for the police force in the post war period.
- The construction of the first police married quarters for Asiatic married rank and file officers is important in tracing the changing social environment of Hong Kong after the Second World War. This marks the important phase of Hong Kong Police Force after the Second World War for a greater demand of local Chinese officers when there was an influx of Chinese refugees and social unrest during 1950s-60s.

### **5.3.3 Public participation in revitalizing the former Police Married Quarters on Hollywood Road**

The site was once in the “List of Sites for Sale by Application” and planned to be redeveloped to a high-rise residential development. However, with the increase of the public’s voice for conserving this site in view of its cultural significance, their aspiration for more public open space and their concerns about over development in the area, the residential redevelopment proposal was withdrawn. Several public participation activities were held later to explore different possibilities of adaptive use of this site. Finally, the government invited the public to submit revitalization proposal and the new use of the site was fixed. It will be transformed into a creative industries landmark as well as opened for public visit and enjoyment, and will be renamed as “PMQ” 原創坊 after completion. The transformation of the site into a creative industries landmark offers the potential to add additional layers of interest and values to the site.

- The entire conservation and revitalization process of the site in which the public are actively involved in providing views and suggesting uses for the future of the site, arouses community’s awareness on the need for heritage conservation, and facilitates social connections in a broad sense.

## **5.4 Architectural and Aesthetic Significance**

### **5.4.1 Physical evidence to the former Central School**

#### 4-plateau setting and boundary wall remnants

Currently, above ground remnants of the former Central School include granite posts and plinths, retaining walls, dressed quoins, granite steps, and the existing 4-plateau site setting.

These boundary walls and the entrance remnants could help people to trace the original school boundary and its entrances, which reveal the relationship of the site with the surrounding streetscape and the sloped landform in the district. The construction of the police married quarters in 1951 maintained the site setting established by the 4 plateaus by the former Central School and kept the retaining and boundary walls, some site entrances and some flights of granite steps between the plateaus. The remnants are original historic fabric of the former Central School which are useful in interpreting the original design and spatial layout of the former Central School building. Together with the underground remains and other means of interpretation such as historical architectural drawings, these survived features could help the visitors to visualize the layout of the campus formed by the buildings including the main school block, coolie's quarters, latrines and playgrounds at different plateaus where the school life could be imagined.

In addition, throughout the long history of the site, numbers of trees were grown on top of the old boundary walls along Shing Wong Street and Hollywood Road.<sup>140</sup> These stonewall trees are distinctive features of the site and have become a landmark along Hollywood Road.

#### Underground remains

There are underground remains and relics retained at the current site, which are mainly the foundation of the school buildings and relics of the building materials. Together with the historical architectural drawings, these remains could help the visitors to visualize the original layout of the school building. Through reading the historical architectural drawings which show the different functions of the rooms could further give us ideas of the system and content of the upper primary and secondary education in this first government school.

- The intactness of the 4-plateau setting and the remnants of the former Central School are significant in interpreting and understanding the original school planning and visualizing the school activities.
- The underground remains including the foundation of the school building and the relics of the building materials, together with other means of interpretation such as historical architectural drawings, are all significant in revealing the ideas of the system and content of the upper primary and secondary school education provided in this first government school.
- The stonewall trees on the old boundary and retaining walls are prominent and distinctive features of this site.

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<sup>140</sup> There are a total of 16 identified trees grown on the old boundary walls at the site, four types of the trees are identified, namely *Celtis sinensis*, *Mangifera indica*, *Ficus religiosa*, and *Ficus microcarpa*.



#### **5.4.2 Good example of post-war modern style architecture**

The Former Police Married Quarters on Hollywood Road (Blocks A and B, and the JPC Building) are good examples of modern style architecture commonly found in the post war period. They are characterized by:

- Simple rectangular building form
- Functional and pragmatic façades design, with minimal decoration, painted plastered wall, flat roofs, void and solid configuration formed by alternative opened balconies and kitchens or toilets block and separated by structural wall
- Balconies defined by solid parapet walls, highlighted by long strips at the top and bottom all along the parapet walls
- Simple geometric expression of windows such as round porthole windows on the staircase blocks and rectangular windows with architraves around the window openings on other elevations
- Great adoption of sun shading devices on the elevations such as window heads and sills surrounding windows, shading fins and deep canopy
- Block A and Block B - functional and pragmatic approach on the interior layout – typical floor layout is designed with a common corridor in the middle, along which are living units provided with balconies on one side, and kitchens and opened balconies on the other side facing the courtyard, reminiscent of resettlement housing built in the 1950s
- Block A and Block B - Structural sheer walls separating individual units forming modular living spaces on each floor
- JPC building - functional and pragmatic approach on the spatial arrangement with simple circulation (a staircase core at one end). The interior is either subdivided into different functional rooms or combined to form a spacious room, with full height doors opened to the deep balcony with canopy forming the main characters of the front elevation

#### **5.4.3 Representation of post-war police married quarters in Hong Kong**

The layout of the quarters adopted a planning with living units arranged along a main circulation corridor, which is reminiscent of the layout in those resettlement housings built in the 1950s. The police married quarters could help to recall a kind of post war living environment in the 1950s. Being the first police married quarters for rank and file officers in Hong Kong, the quarters on Hollywood Road also set up a model for the later built police rank and file married quarters in the 1950s.

Apart from the living units, police married quarters were also provided with supporting facilities such as school, clinic, recreation centre and garages for the police officers and their families. The former recreation centre, later converted into a primary school and then JPC Building at Hollywood Road represents the supporting facility provided to a typical police married quarters in Hong Kong.

#### **5.4.4 Rarity**

The two quarters blocks and the JPC Building are not architecturally outstanding or unique, they represent the police rank and file married quarters in the early 1950s. As many of the police married quarters for rank and file officers built around this period were gradually demolished, PMQ in Hollywood Road becomes one of the very few remaining examples of police married quarters of this age in Hong Kong.

#### **5.4.5 Integrity and Authenticity**

Though the two quarters experienced different degree of alterations particularly the windows enclosures added by individual occupants, the buildings are still kept in an authentic appearance as the alterations and additions could be removed easily. The interior layout with sheer walls separating different units is still kept intact. For the JPC building, though experienced different uses throughout the history, its façade still remains high authenticity, while the interior were altered mainly on the partitioning without affecting the overall integrity and authenticity.

### **5.5 Statement of Cultural Significance**

#### **5.5.1 Description of the historic place**

The Former Police Married Quarters Site (abbreviated as PMQ) on Hollywood Road, No.35 Aberdeen Street, is bounded by four streets, namely Hollywood Road, Aberdeen Street, Staunton Street and Shing Wong Street. It was formerly the site of Queen's College, which was originally known as Central School located at Gough Street. When the School was moved to the current site it was renamed as Victoria College in 1889, and was further renamed as Queen's College in 1894. The School was finally moved to its present site at Causeway Bay in 1950. The school building at Hollywood Road was damaged seriously during the Second World War and was later demolished for the construction of the existing Police Married Quarters which was completed in 1951. The site consists of four plateaus formed by rubble granite retaining walls, and three buildings, namely Block A and Block B which are the living quarters and a recreation centre, which was later

converted into Junior Police Call Building (abbreviated as JPC Building). Constructed of reinforced concrete, Block A and Block B are of 8-storey and 7-storey high respectively, and the JPC Building is of 2-storey high. The Former Police Married Quarters was accorded as Grade 3 historic building in November 2010, while the historic place has been listed as a Site of Archaeological Interest after the site investigation in 2007.

### **5.5.2 Contextual Significance**

The heritage site is associated with the early development of Sheung Wan and western Central since the mid 19<sup>th</sup> century as a densely populated area for the Chinese. Shing Wong Temple (城隍廟), a “City Temple” was built by the Chinese for the dedication to Shing Wong 城隍 at the heritage site in 1843. The site was later occupied by a fifty houses development collectively known as Rangel’s Estate in 1852. In 1918, an underground public latrine (an item without grading) was built outside the southeast corner of the site during the period when the site was occupied by the former Central School. Together with other built heritages in its vicinity, such as Man Mo Temple, Kwong Fuk Tze, Central Police Station Compound, Central Market, Tung Wah Hospital, etc, these survived built heritages could reflect the early development of Sheung Wan and western Central for the Chinese community.

### **5.5.3 Historic and Social Significance**

The heritage site was the school premises of Queen’s College, formerly known as Central School before it was moved from Gough Street to this site in 1889. It was the first government school in Hong Kong which provided upper primary and secondary education to the public. Before the founding of Central School, the schools in the Victoria City were mainly established by the missionary and voluntary bodies granted by the colonial government. The establishment of Central School replaced the haphazardly established schools in the Victoria City. It marked a significant milestone in the development of the colonial education in Hong Kong. It signifies the start of the education reformation by the colonial government to establish government-based school. Many social leaders who contributed extensively to the development of Hong Kong and China received their primary or secondary education in this school. Above ground and underground physical remains of the former Central School can still be found at the site which is important for the understanding of the design, layout and activities in this first government school.

The former Central School was demolished for the construction of the current extant Police Married Quarters (Blocks A and B) and the former recreation centre (later converted into Junior Police Call Club House, the JPC Building) in 1951. It was the first police married quarters built for Asiatic married rank and file officers in Hong Kong, which represents the innovation of welfare of

the police force in the post war period. The construction of the first police married quarters is important in tracing the changing social environment of Hong Kong after the Second World War for a greater demand of local Chinese officers when there was an influx of Chinese refugees and social unrest during 1950s -60s.

#### **5.5.4 Architectural and Aesthetic Significance**

The construction of the buildings maintained the site setting established by 4 plateaus of the former Central School, with two quarters blocks arranged with an open courtyard in between at the 2<sup>nd</sup> and the ancillary building (the JPC Building) located at the 4th plateau, connected by external flights of steps of the former Central School. The three buildings are good examples of modern style architecture commonly found in the post war period, which are characterized by its functional and pragmatic approach on elevations and interior layout, with minimum decoration and spatial articulation. They are characterized by the rectangular building form in straight line without curve. The elevations of the buildings are featured by void and solid configuration formed by alternative opened balconies and kitchens or toilets block defined by solid parapet walls; geometric window openings of round porthole and rectangular windows; and adoption of sun shading fins and architraves around windows. Internally, the arrangement of the two quarters is reminiscent of the layout design in the resettlement housing built of the same age in the 1950s.

The two quarters and the JPC Building are not architecturally outstanding or unique, they represent the police rank and file married quarters in the early 1950s. As many of the police married quarters built around this period were gradually demolished, PMQ at Hollywood Road becomes one of the very few remaining examples of police married quarters of this age in Hong Kong. Also, though the buildings experienced alteration throughout the history; their authentic appearance and layout are still kept generally.

#### **5.5.3 Character defining elements**

These elements means the materials, forms, location, spatial configurations, uses and cultural associations or meaning that contribute to the heritage value of the historic place, and which must be retained in order to preserve its heritage value<sup>141</sup>. The character defining elements of this historic place relate to the key elements associated with the former Central School, and the architectural design of the two quarters and the recreation centre (the JPC Building).

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<sup>141</sup> Definition extracted from *Standards and Guidelines for the Conservation of Historic Places in Canada* published by Parks Canada, 2003.



#### A Site setting established by four plateaus

The current site setting was the original setting when the site was first formed to erect the former Central School. Such setting reflects the relationship with urban fabric and site contour, and defines the original site boundary and entrances since the site was first formed. The site is a stepped site along the slope comprises 4 plateaus stepping down from Staunton Street to Hollywood Road. The 4 plateaus are inter-connected by steps and have different site entrances leading to the sloped surrounding streets including Staunton Street, Aberdeen Street and Shing Wong Street.






Items	Character defining elements
A-01	<b>1st plateau</b> – adjoining Staunton Street, located at the southwest of the site, at a level of approx. 46.3mPD
A-02	<b>2<sup>nd</sup> plateau</b> - with vehicular entrance from Aberdeen Street, located at the centre of the site, at a level of approx. 44.1mPD
A-03	<b>3<sup>rd</sup> plateau</b> – adjoining Shing Wong Street, located at the northwest of the site, at a level of approx. 40.7m PD,
A-04	<b>4<sup>th</sup> plateau</b> – adjoining Hollywood Road, located at the northeast of the site, at a level of approx. 38.5mPD. (Original level during the former Central School period was about 1m below the existing. It was filled up to form the existing playground of PMQ.)

## B Remnants of the former Central School






Remnants of the former Central School are significant in the interpretation of the original school boundary, design and layout, including the followings:

<b>Feature wall surrounding the 1st Plateau – adjoining Staunton Street</b>	
<b>Items</b>	<b>Character defining elements</b>
<b>B-01</b>	<b>Rubble retaining walls with granite coping with trees</b> , adjoining Staunton Street and Shing Wong Street and the 3 <sup>rd</sup> Plateau
<b>B-02</b>	<b>Dressed quoins</b> at west corner of the retaining wall
<b>B-03</b>	<b>Granite plinths of posts</b> of the boundary wall along Staunton Street sitting above the retaining wall (only 4 plinths remained)
<b>B-04</b>	<b>Granite gate post and steps</b> at the original entrance (only 2 posts remained)
<b>B-05</b>	<b>A flight of granite steps</b> from Staunton Street to the 1st Plateau
<b>Feature wall surrounding the 2nd Plateaus – adjoining Aberdeen Street</b>	
<b>B-06</b>	<b>Rubble retaining walls with granite coping</b> , facing the site and Aberdeen Street
<b>B-07</b>	<b>Dressed quoins</b> at north and east corners
<b>B-08</b>	<b>Granite plinths of posts</b> along Aberdeen Street (with 10 plinths remained)
<b>B-09</b>	<b>Granite gate-post</b> at current main entrance at Aberdeen Street (with 2 posts remained)
<b>B-10</b>	<b>A flight of granite steps</b> connecting the 2 <sup>nd</sup> and 4 <sup>th</sup> Plateaus.
<b>Feature wall surrounding the 3rd Plateau – adjoining Shing Wong Street</b>	
<b>B-11</b>	<b>Rubble retaining walls and granite coping with trees</b> , facing the 4th plateau and Shing Wong Street
<b>B-12</b>	<b>Dressed quoins</b> at northern corners
<b>B-13</b>	<b>Granite steps</b> of the original entrance to the former Central School (the entrance is blocked now)
<b>Feature wall surrounding the 4th Plateau – adjoining Aberdeen Street, Hollywood Road and Shing Wong Street</b>	
<b>B-14</b>	<b>Rubble retaining walls and granite coping with trees</b> , facing the Aberdeen Street, Hollywood Road and Shing Wong Street
<b>B-15</b>	<b>Dressed corner stones</b> at northern and eastern corners
<b>B-16</b>	<b>Granite plinths and posts</b> along Aberdeen Street
<b>B-17</b>	<b>Granite plinth and coping of post above the rubble retaining wall</b> at junction of Hollywood Road and Shing Wong Street.
<b>B-18</b>	<b>Granite step of original entrance</b> to the 4 <sup>th</sup> Plateau (the entrance is now blocked)

Feature wall surrounding the 1<sup>st</sup> Plateau – adjoining Staunton Street

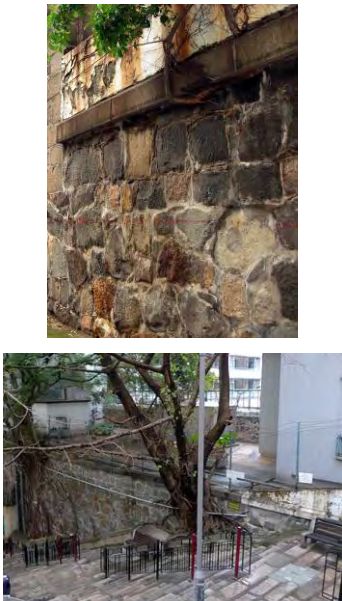


B-01		Rubble retaining walls with granite coping with trees, adjoining Staunton Street, Shing Wong Street and the 3 <sup>rd</sup> Plateau
B-02		Dressed quoin at the west corner of the retaining wall
B-03		Granite plinths of posts of the boundary wall along Staunton Street sitting above the retaining wall (only 4 plinths remained)
B-04		Granite gate post and steps at the original entrance (only 2 posts remained)
B-05		A flight of granite steps from Staunton Street to the 1 <sup>st</sup> Plateau (only one flight of the original pair still exists), with diamond patterned granite paving at the landings, granite base of the handrail, moulded panel of the landing base

Feature wall surrounding the 2<sup>nd</sup> Plateaus – adjoining Aberdeen Street


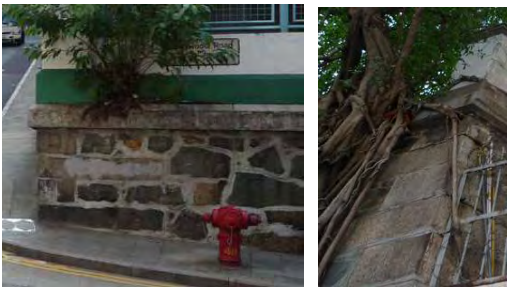


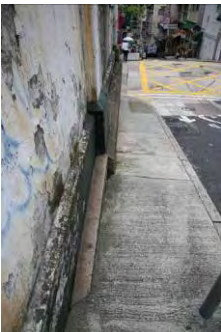
B-06		Rubble retaining walls with granite coping, facing the site and Aberdeen Street
B-07		Dressed corner stones at north and east corners
B-08		Granite plinths of posts along Aberdeen Street (with 10 plinths remained)
B-09		Granite gate-post at current main entrance at Aberdeen Street (with 2 posts remained)
B-10		A flight of granite steps connecting the 2 <sup>nd</sup> and 4 <sup>th</sup> Plateaus (only one flight of the original pair still exists), with diamond patterned granite paving on the landings and chamfered granite based of the handrail.



Feature wall surrounding the 3<sup>rd</sup> Plateau – adjoining Shing Wong Street

B-11		Rubble retaining walls and granite coping with trees, facing the 4 <sup>th</sup> plateau and Shing Wong Street
B-12		Dressed quoins at northern corners
B-13		Granite steps of the original entrance to the former Central School (the entrance is now blocked)

Feature wall surrounding the 4<sup>th</sup> Plateau – adjoining Aberdeen Street, Hollywood Road and Shing Wong Street

B-14		Rubble retaining walls and granite coping with trees, facing the Aberdeen Street, Hollywood Road and Shing Wong Street
B-15		Dressed corner stones at northern and eastern corners
B-16		Granite plinths and posts along Aberdeen Street.
B-17		Granite plinth and coping of post above the rubble retaining wall at junction of Hollywood Road and Shing Wong Street.
B-18		Granite step of original entrance to the 4 <sup>th</sup> Plateau (the entrance is now blocked)

## C Spatial relationship

Spatial relationship of the four plateaus in terms of the hierarchy of their size, relationship with the streetscape and spatial character

Items	Character defining elements
<b>C-01</b>	1st plateau with pedestrian entrance from Staunton Street which is the highest street level. An underground public latrine was located adjacent to it
<b>C-02</b>	2nd plateau is the main space with the largest area, where main buildings separated by an open space are located, accessible through vehicular and pedestrian entrances from Aberdeen Street
<b>C-03</b>	3rd plateau is of the smallest size, with secondary pedestrian entrance from Shing Wong Street (which is now blocked)
<b>C-04</b>	4th plateau is the second largest area where ancillary building is located, with a lower playground in the front. There is secondary pedestrian entrance from Aberdeen Street (which is now blocked)

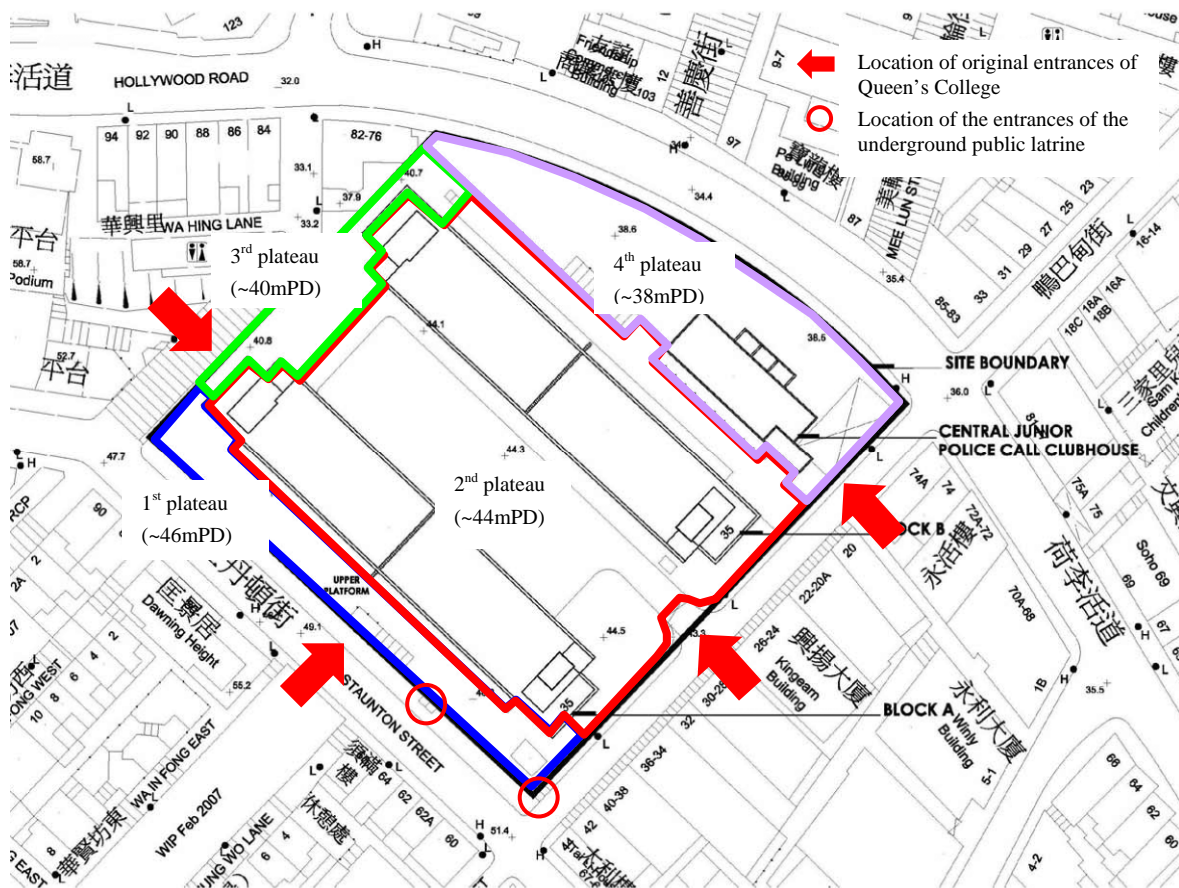


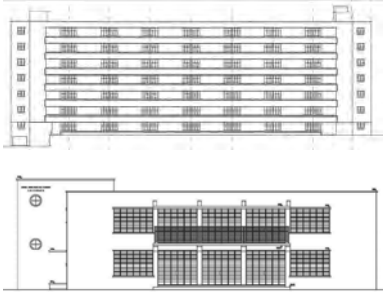



Fig. 184. Site map showing the spatial relationship of the four plateaus in terms of their size, relationship with the streetscape and spatial character.



#### D Building fabric reflecting the modern style of the architecture

Good examples of post-war modern style architecture, characterized by simple and functional design of space and form, with minimal decorative feature and articulation.

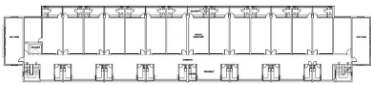

Exterior - Blocks A and B and the JPC Building

Items	Character defining elements	
D-01.		Simple building form of rectangular linear block
D-02.		Elevation emphasized by horizontality and straight lines without curve, with repetitive rectangular openings and walls, reflecting modular composition of the interior spaces behind.
D-03.		Geometric window opening – round porthole windows on staircase blocks and rectangular windows with architraves around window openings
D-04.		Great adoption of weather proofing devices - horizontal linear shading fins, window head and window sill, opened balcony circulation, deep canopy.

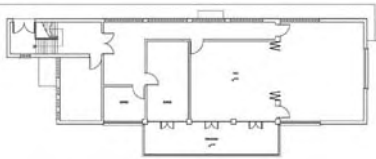
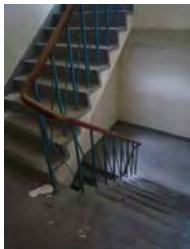


		
<b>D-05.</b>		Elevation of the JPC Building characterized by the porch and balcony, with full height windows or doors opened to the exterior.

#### Interior – Blocks A and B

Items	Character defining elements	
<b>D-06.</b>	 	<p>Rectangular linear floor layout with functional and pragmatic approach on the spatial configuration, symmetrical spatial arrangement with modular living units, which is featured by the following:</p> <ul style="list-style-type: none"> <li>• Each floor accessible at two ends through staircases or lift;</li> <li>• Each floor has a typical layout: a common corridor at the centre with living units provided with balconies located on one side, and kitchens and opened balcony located on the other side facing courtyard.</li> <li>• The living units are separated by shear walls.</li> </ul>

#### Interior – JPC Building

<b>D-07</b>	 	<p>Rectangular floor layout with functional approach on the design, with simple circulation of one staircase at one end connecting the interior floors.</p> <ul style="list-style-type: none"> <li>• The interior space is either subdivided into different rooms or combined to form a spacious room</li> <li>• With one staircase at one end, connecting the 1/F from 2nd plateau and G/F from 4th plateau</li> </ul>
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# 6

## CONSERVATION PRINCIPLES

### 6.1 Conservation Standard and International Charters

The establishment and implementation of this Conservation Management Plan will generally follow the standards of the following international charters and their conservation principles:

1. **Venice Charter (1964)** (International Charter for the Conservation and Restoration of Monuments and Sites) – the most fundamental principles and international standards for conservation and restoration of heritage buildings and sites adopted by UNESCO (United Nations of Education, Science & Cultural Organization) & ICOMOS (International Council of Monuments and Sites).
2. **Burra Charter (1999)** (The Australia ICOMOS Charter for Places of Cultural Significance) – the latest version of a worldwide recognized standard of establishment and implementation of conservation adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) since 1979. The Charter provides guidance for the conservation and management of places of cultural significances (cultural heritage places).
3. **China Principles (2002)** (Principles for the Conservation of Heritage Sites in China) – developed based on the experience of Australia and the United States in heritage conservation and local condition of China.

### 6.2 Definition of Terms

This section defines the conservation terms that are used in the conservation principles. These terms are defined under the international charters and standards and will be consistently in this way in the report.

### 6.2.1 General

Definitions are referring to Article 1 “Definition” of the Burra Charter 1999 and others sources as specified:

#### 1.1

*Places* mean site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

#### 1.2

*Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

#### 1.3

*Fabric* means all the physical material of the place including components, fixtures, contents and objects.

#### 1.4

*Conservation* means all the processes of looking after a place so as to retain its cultural significance.

#### 1.11

*Compatible use* means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.

#### 1.12

*Setting* means the area around a place, which may include the visual catchment.

*Character-defining elements* means the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place, and which must be retained in order to preserve its heritage value. (Definition extracted from Standards and Guidelines for the Conservation of Historic Places in Canada published by Parks Canada, 2003.

*Authenticity* means heritage resource that is materially original or genuine as it was constructed and as it has aged and weathered in time. (Definition extracted from the Management Guidelines for World Cultural Heritage Sites, by Bernard m. Feiden and Jukka Jokilehto, ICCROM 1998, p.17.)

### 6.2.2 Definition - level of intervention

Definitions referring to Article 1 - “Definition” of the Burra Charter 1999, the Australia ICOMOS Charter for Places of Cultural Significance, and other sources as specified. The conservation process is defined as below:

- **“Preservation”** means maintaining the fabric of a place in its existing state and retarding deterioration. (Article 1.6)

- **“Restoration”** means returning the existing fabric of a place to a known earlier state by removing accretions or reassembling existing components without introduction of new material. (Article 1.7)
- **“Repair”** means work beyond the scope of maintenance, to remedy defects caused by decay, damage or use, including minor adaptation to achieve a sustainable outcome, but not involving restoration or alteration. (English Heritage<sup>142</sup>)
- **“Replace”** shall include replacement of deteriorated elements/components by salvaged or new original sound materials.
- **“Adaptation”** means modifying a place to suite the existing use or a proposed use. (Article 1.9)
- **“Rehabilitation”** means the action or process of making possible a continuing or compatible contemporary use for a historic place, or of an individual component, through repair, alterations and/or additions, while protecting its heritage value (Parks Canada).<sup>143</sup>
- **“Reconstruction”** means returning the place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric. (Article 1.8).
- **“Maintenance”** means the continuous protective care of the fabric and the setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction. (Article 1.5)
- **“Interpretation”** means all the ways of presenting the cultural significance of a place. (Article 1.17)

## 6.3 Applying the Burra Charter and International Conservation Process

In the following, the conservation principles regarding conservation processes and conservation practice are extracted from the Burra Charter and making reference to Standards and Guidelines for the Conservation of Historic Places in Canada, prepared by Parks Canada and other as specified. These become the conservation principles for developing the conservation guidelines for the character defining element.

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<sup>142</sup> *Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment*, the English Heritage, April 2008.

<sup>143</sup> Parks Canada, *Standards and Guidelines for the Conservation of Historic Places in Canada*, Canada, 2003.



## Burra Charter

### Article 14 Conservation processes

*Conservation* may, according to circumstances, include the processes of: retention or reintroduction of a use; retention of associations and meanings, maintenance, preservation, restoration, reconstruction, adaptation and interpretation; and will commonly include a combination of more than one of these.

### Article 16 Maintenance

*Maintenance* is fundamental to conservation and should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

### Article 17 Preservation

*Preservation* is appropriate where the existing fabric or its condition constitutes evidence of cultural significance, or where insufficient evidence is available to allow other conservation processes to be carried out.

### Article 19 Restoration

*Restoration* is appropriate only if there is sufficient evidence of an earlier state of the fabric.

### Article 20 Reconstruction

20.1 *Reconstruction* is appropriate only where a place is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the fabric. In rare cases, reconstruction may also be appropriate as part of a use or practice that retains the cultural significance of the place.

20.1 *Reconstruction* should be identifiable on close inspection or through additional interpretation.

### Article 21 Adaptation

21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the cultural significance of the place.

21.2 *Adaptation* should involve minimal change to significant fabric, achieved only after considering alternatives.

### Article 22 New Work

22.1 *New Work* such as additions to the place may be acceptable where it does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.

22.1 *New Work* should be readily identifiable as such.

### Article 27 Managing Change

27.1 Existing fabric, use, associations and meanings should be adequately recorded before any changes are made to the place.

## Concept of Change, new work and alteration

**Change may be necessary to retain cultural significance**, but is undesirable where it reduces cultural significance. The amount of change to a place should be guided by the cultural significance of the place and its appropriate interpretation. (Burra Charter Article 15)

New work or alteration to a significant place should normally be acceptable if: a) the proposal would **not materially harm the values of the place**, which, where appropriate, would be reinforced or further revealed; b) the proposal aspires to a quality of design and execution which may be valued now and in the future. (English Heritage: Conservation Principles 2008- Overview, Clause 14)

Changes which would harm the heritage values of a significant place should be unacceptable unless: a) **the changes are demonstrably necessary either to make the place sustainable, or to meet an overriding public policy objective or need**; b) there is no reasonably practicable alternative means of doing so without harm; c) that harm has been reduced to the minimum consistent with achieving the objective; d) it has been demonstrated that the **predicted public benefit decisively outweighs the harm to the values of the place**, considering: its comparative significance; the impact on that significance, and the benefits to the place itself and/or the wider community or society as a whole. (English Heritage: Conservation Principles 2008- Overview, Clause 15)

Conservation is the process of **managing change** to a significant place in its setting in ways that will **best sustain its heritage values**, while recognizing opportunities to reveal or reinforce those values for present and future generations. (English Heritage: Conservation Principles 2008 - Principle 4.2)

Considered change offers the potential to **enhance and add value to places**, as well as generating the need to protect their established heritage values. (English Heritage: Conservation Principles 2008- Terms & Concepts, Clause 25)

Sustaining the value of the historic environment as a whole depends also on creating in the present the heritage of the future, through **changes that enhance and enrich the values of places**. (English Heritage: Conservation Principles 2008- Managing change to significant places, Clause 96).

Owners and managers of significant places should not be discouraged from **adding further layers of potential future interest and value**, provided that recognised heritage values are not eroded or compromised in the process (English Heritage: Conservation Principles 2008- Managing change to significant places, Clause 86).

### **6.3.1 Conserve heritage values**

- Conserve the heritage values of the historic place, and respect its changes over time which represents a particular period of time. Thus, it is not necessary to return to the original period of the building or the site when it was first erected. Only remove or replace the physical fabric which was substantially altered resulting in the overall integrity of the buildings and the character defining elements that contribute to its heritage value are affected.
- If necessary, protect, preserve or stabilize the historic place and the building fabric in place, until any subsequent intervention is undertaken.
- Restore any deformed, collapsed, or misplaced components while later additions which were considered of no significance or intrusive should be removed.

### **6.3.2 Authenticity**

- Respect the original character or architectural style of the building fabric and retain its traditional building materials or construction system as much as possible.
- Recognize each historic place as a physical record of its time, place and use.
- Do not create a false sense of historical development by adding elements from other historic places by combining features of the same property that never co-existed.

### **6.3.3 Minimum intervention**

- Keep any treatment or intervention to the building fabric to the minimum and respect the heritage value when undertaking an intervention.
- Make any intervention physically and visually compatible and identifiable upon close inspection and document any intervention for future reference.
- All proposed intervention (proposed new uses, alterations and addition works) will not compromise the significance of the heritage place, but enhancing or adding value into it.

#### **6.3.4 Reversibility**

- Make any intervention, including alteration and new addition, to the significant building fabric reversible without causing any damage to the existing structure when such intervention is to be removed in future.

#### **6.3.5 Repair rather than Replace**

- Repair rather than replace character-defining elements.
- Only when such elements are too severely deteriorated to repair, and with sufficient physical evidence, replace them with new elements that match the forms, materials and detailing of the same elements.
- Where there is no sufficient evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

#### **6.3.6 Integrating old and new**

- Any proposed new works and alterations to the heritage building should be sympathetic to the heritage place in terms of its compatible proportion, form, design and materials and imitation will be avoided. Make the new works physically and visually compatible with and distinguishable from the original fabric of the historic place.

#### **6.3.7 Reversible additions**

- Create any new addition or related new construction so that the essential form and integrity of the historic place or its building fabrics will not be impaired if the new work is removed in the future.

#### **6.3.8 Manage the change**

- Allow changes to the heritage place in a way that guided by its cultural significance and allow interpretation. This desirable change should help to enhance and enrich the value of the place by its imposed changes which can add more layers of future interest and value.



# 7

## CONSERVATION GUIDELINES

This section formulates a set of specific guidelines for planning and designing the works for transformation of the Former Police Married Quarters into a creative industries landmark. The guidelines in ‘Character Defining Elements to be Preserved and Conservation Guidelines’ and other as stated in Section 4.3 – *Conservation Guidelines for Former Police Married Quarters Site on Hollywood*, prepared by Antiquities and Monuments Office.

### 7.1 Background

1. The historic place, the Former Police Married Quarters on Hollywood Road is not a monument but a historic place to be adapted for new uses.
2. The historic place has previously experienced different degrees of interventions in different period of time. Therefore, the conservation policy shall respect the history of different periods and it is not necessary to restore the buildings and the place to the original status when the buildings were built.
3. All the guidelines and recommendations made in this report stand mainly from the view point of conservation. For other considerations including statutory requirements and structural concerns will need to be further advised by other professionals.

## 7.2 Conservation goals

1. To revitalize and transform the Former Police Married Quarters Site on Hollywood Road into a creative industries landmark for public enjoyment and use;
2. To manifest the cultural significance of the site by adding new compatible elements that helps the public and future users to understand the cultural significance of the site;
3. To contribute to the holistic planning of the Hollywood Road area under the proposed “spot, line and area” approach for heritage conservation and the promotion of heritage tourism by government;<sup>144</sup>
4. To response to the community’s concerns about over development in the area; and<sup>145</sup>
5. To address the community’s aspiration for more public open space<sup>146</sup>.

## 7.3 Overall conservation approach

1. The setting of the site, established by the 4 plateaus, and the physical remnants of the former Central School shall be preserved in-situ and incurred minimum intervention as far as practicable.
2. The existing buildings, Block A, Block B and JPC Buildings shall be adaptive re-used, with necessary changes to meet the practical needs for new uses, to enhance public safety and to make the place sustainable. These changes shall be introduced to less significant fabrics or in a way that the overall values of the place would not be compromised.

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<sup>144</sup> Items 3-5 extracted from *Guiding Principles for Revitalization* from Background of Former Police Married Quarters on Hollywood Road (The Original Site of the Central School) under Commissioner for Heritage’s Office. Retrieved on 5 January 2011, web site: <http://www.heritage.gov.hk/en/pmq/background.htm>.

<sup>145</sup> *Ibid.*

<sup>146</sup> *Ibid.*

## 7.4 Site wide guidelines

The construction of married police quarters made use of the former site formation and settings of the former Central School, which comprises 4 plateaus stepping down from Staunton Street to Hollywood Road. Above ground remnants of the former Central School are found on site including rubble retaining walls, granite flight of steps between plateaus, granite plinth and posts, etc along the boundary walls. These site elements are retained currently.



**Fig. 185. 4-plateaus setting**

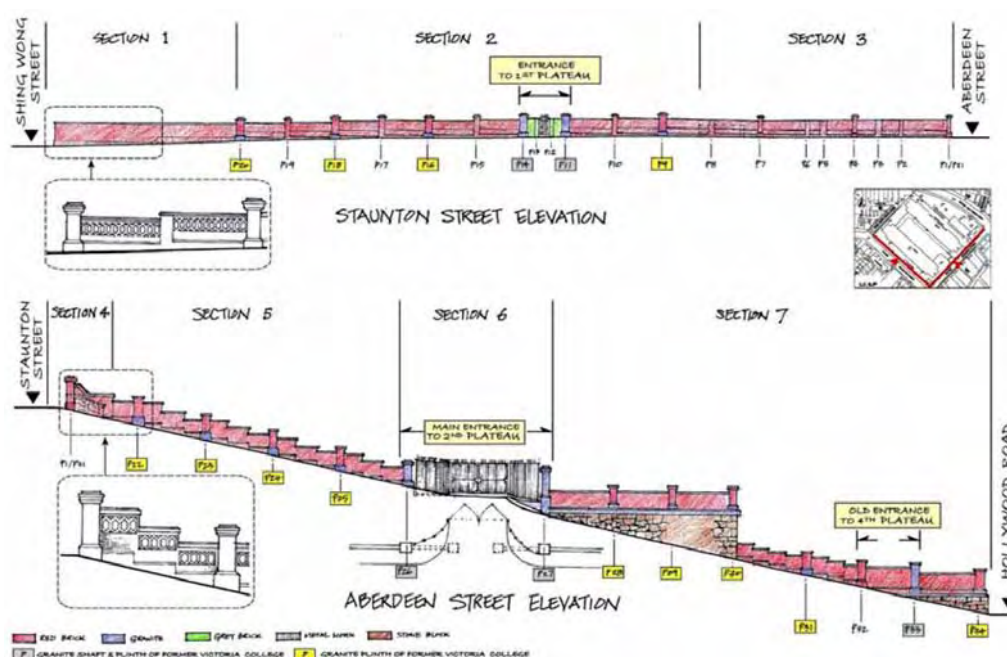


Fig. 186. Remnants of the former Central School along the boundary wall at Staunton Street and Aberdeen Street identified by the investigation in 2006.

#### 7.4.1 Setting with four plateaus

The following is extracted from section 4.3 ‘Character Defining Elements to be Preserved and Conservation Guidelines’ under *Conservation Guidelines for Former Police Married Quarters Site on Hollywood*, prepared by Antiquities and Monuments Office.

A – Setting with four plateaus		
Items	Character defining elements	Character and significance
A-01	<b>1st plateau</b> – adjoining Staunton Street, located at the southwest of the site	<p>The current site setting was the original setting when the site was first formed to erect the former Central School. Such setting reflects the relationship with urban fabric and site contour, and defines the original site boundary and entrances since the site was first formed.</p> <p>The sloped site comprises 4 plateaus stepping down from Staunton Street to Hollywood Road</p> <p>Inter-connected by steps and have different site entrances leading to the sloped surrounding streets including Staunton Street, Aberdeen Street and Shing Wong Street.</p>
A-02	<b>2<sup>nd</sup> plateau</b> - with vehicular entrance from Aberdeen Street, located at the centre of the site	
A-03	<b>3<sup>rd</sup> plateau</b> – adjoining Shing Wong Street, located at the northwest of the site	
A-04	<b>4<sup>th</sup> plateau</b> – adjoining Hollywood Road, located at the northeast of the site.	



### **Guiding principles:**

#### **Burra Charter Article 8 Setting -**

Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place.

#### **Burra Charter Article 16. Maintenance -**

Maintenance is fundamental to conservation and should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

#### **Burra Charter Article 25. Interpretation**

The cultural significance of many places is not readily apparent, and should be explained by interpretation. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

### Conservation guidelines

1. The general setting of the 4 plateaus shall be preserved as far as practicable, while the levels may be adjusted in order to provide interpretation of the underground remains of the former Central School or other practical needs, subject to AMO approval<sup>147</sup>.
2. Survey on the structural stability of existing walls shall be carried out before any works where necessary.
3. Protection to the historic elements shall be provided during the course of works. The condition of the remnants shall be monitored during works.

### Reasons for the guidelines

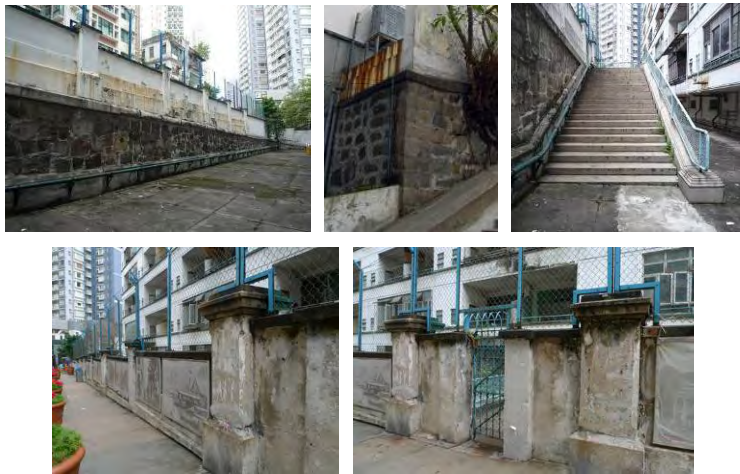

The setting of the site established by 4 plateaus is the original setting when the site was firstly formed for the construction of the former Central School. Keeping the site setting intact is significant in interpreting the original boundary, design and layout of the former Central School building.




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<sup>147</sup> Required treatment from section 4.3 'Character Defining Elements to be Preserved and Conservation Guidelines' under *Conservation Guidelines for Former Police Married Quarters Site on Hollywood*, prepared by Antiquities and Monuments Office.

#### 7.4.2 Remnants of the former Central School

The following is extracted from section 4.3 ‘Character Defining Elements to be Preserved and Conservation Guidelines’ under *Conservation Guidelines for Former Police Married Quarters Site on Hollywood*, prepared by Antiquities and Monuments Office.

B – Remnants of the former Central School		
Feature wall surrounding the 1st Plateau – adjoining Staunton Street		
Items	Character defining elements	Character and significance
B-01	Rubble retaining walls with granite coping with trees, adjoining Staunton Street and Shing Wong Street and the 3 <sup>rd</sup> Plateau	<p>Remnants of the former Central School are significant in the interpretation of the original school boundary, design and layout</p> 
B-02	Dressed quoins at west corner of the retaining wall	
B-03	Granite plinths of posts of the boundary wall along Staunton Street sitting above the retaining wall (only 4 plinths remained)	
B-04	Granite gate post and steps at the original entrance (only 2 posts remained)	
B-05	A flight of granite steps from Staunton Street to the 1st Plateau	
Feature wall surrounding the 2nd Plateaus – adjoining Aberdeen Street		
B-06	Rubble retaining walls with granite coping, facing the site and Aberdeen Street	<p>Surviving remnants of the former Central School is significant in the interpretation of the original school boundary, design and layout</p> 
B-07	Dressed quoins at north and east corners	
B-08	Granite plinths of posts along Aberdeen Street (with 10 plinths remained)	
B-09	Granite gate-post at current main entrance at Aberdeen Street (with 2 posts remained)	
B-10	A flight of granite steps connecting the 2 <sup>nd</sup> and 4 <sup>th</sup> Plateaus.	

Feature wall surrounding the 3rd Plateau – adjoining Shing Wong Street		
B-11	<b>Rubble retaining walls and granite coping with trees</b> , facing the 4th plateau and Shing Wong Street	<p>Surviving remnants of the former Central School is significant in the interpretation of the original school boundary, design and layout</p> 
B-12	<b>Dressed quoins</b> at northern corners	
B-13	<b>Granite steps</b> of the original entrance to the former Central School (the entrance is blocked now)	
Feature wall surrounding the 4th Plateau – adjoining Aberdeen Street, Hollywood Road and Shing Wong Street		
B-14	<b>Rubble retaining walls and granite coping with trees</b> , facing the Aberdeen Street, Hollywood Road and Shing Wong Street	<p>Surviving remnants of the former Central School is significant in the interpretation of the original school boundary, design and layout</p> 
B-15	<b>Dressed corner stones</b> at northern and eastern corners	
B-16	<b>Granite plinths and posts</b> along Aberdeen Street	
B-17	<b>Granite plinth and coping of post above the rubble retaining wall</b> at junction of Hollywood Road and Shing Wong Street.	
B-18	<b>Granite step of original entrance</b> to the 4th Plateau (the entrance is now blocked)	

### Guiding principles:

#### **Burra Charter Article 8 Setting -**

Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place.

#### **Burra Charter Article 16 Maintenance -**

Maintenance is fundamental to conservation and should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

#### **Burra Charter Article 25 Interpretation -**

The cultural significance of many places is not readily apparent, and should be explained by interpretation. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

### Conservation guidelines

1. Preservation - the identified above ground site elements shall be preserved in-situ.
2. Restoration – the original entrances which are now blocked, including granite steps, posts and plinths could be restored and re-opened a) from Aberdeen Road leading to the 4<sup>th</sup> plateau; b) from Shing Wong Street leading to the 3rd plateau. The existing level of the plateau shall be checked as necessary before restoration of former entrances.
3. Repair – all stoneworks shall be repaired as necessary. Paints of all stoneworks surface shall be removed to restore their fair-face appearance. Stoneworks shall be cleaned with bristle or nylon brushes and clean water as appropriate. Corrosive cleaning chemical must not be used. No painting or permanent coating system is allowed.
4. Necessary surveys shall be carried out to assess the condition of the trees and the stability of the retaining wall. Subject to the findings of the survey, preserve the wall trees as far as possible<sup>148</sup>, and keep monitoring their condition and manage the impact on the retaining walls. Tree specialist shall be consulted where necessary to assess the condition of the existing trees on the walls before and after works, damage to the trees shall be minimized as far as possible.
5. Adaptation and new works – the existing brick boundary wall above the rubble retaining walls could be changed to suit new design provided that no remnants of the former Central School would be affected:
  - The structural stability of the boundary wall and adjoining structures shall be investigated before any works
  - New site entrances could be formed to suit new practical needs;

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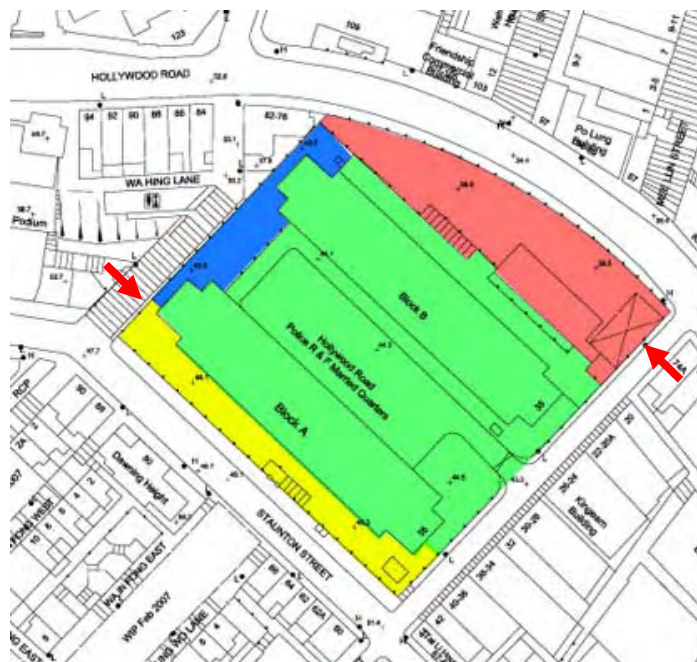
<sup>148</sup> Section 6 *Conservation Guidelines* of the *Resource Kit of Transformation of Former Police Married Quarters Site on Hollywood into a Creative Industries Landmark*, prepared by Development Bureau.



- Existing painting over the brick boundary wall could be removed and re-painted; or it could be replaced by new fence walls of compatible design, discernible or distinguishable from historic fabrics and shall be understated in design.
- New fence wall shall be added in such a way that damage to the remnants of the former Central School, including the rubble retaining walls, granite coping, granite posts and plinth, etc. shall be minimized; these remnants shall not be overruled.

6. Adaptation and new works – existing granite flight of steps:

- Condition survey shall be carried out to record the existing condition before works where necessary.
- Existing metal fence above the granite base at the flight of steps could be replaced by new barriers.
- The new barrier shall be of compatible design, understated in character, and discernible from historic fabrics.
- The new barrier shall be added with minimum damage to the granite base of the flight of steps as far as practicable



**Fig. 187. Location of existing entrances.**

Reasons for the guidelines

1. The remnants of the former Central School such as rubble retaining walls and the granite flight of steps are original historic fabric of the former Central School. Keeping these surviving features intact is significant in interpreting the original design and spatial layout of the former Central School building.

2. Together with the underground remains and other means of interpretation such as historical architectural drawings, these survived features helps the visitors to visualize the layout of the campus formed by the buildings including the main school block, coolie's quarters, latrines and playgrounds at different plateaus where the school life could be imagined. Through reading the historical architectural drawings which show the different functions of the rooms could further give us ideas of the system and content of the upper primary and secondary education in this first government school.
3. Though the site setting has minor changes when the site was converted to Police Married Quarters, the school setting still remains with high authenticity and good intactness.

### 7.4.3 Spatial relationship

The historic site consists of three buildings – Block A, Block B, and the JPC Building. The two quarters are located on the 2nd plateau and accessed from Aberdeen Street through the vehicular and pedestrian entrance. The JPC Building is located on the 4th plateau and accessed from the 2nd plateau, through the existing granite stair within the site. Open space is provided between Block A & Block B, and a lower outdoor playground in front of the JPC Building.

The spatial character, relationship and hierarchy of the four plateaus generally remained, whenever it was used as a school or police quarters.

C – Spatial relationship		
Items	Character defining elements	Character and significance
C-01	1st plateau with pedestrian entrance from Staunton Street which is the highest street level. An underground public latrine was located adjacent to it	Spatial relationship of the four plateaus in terms of the hierarchy of their size, relationship with the streetscape and spatial character
C-02	2nd plateau is the main space with the largest area, where main buildings separated by an open space are located, accessible through vehicular and pedestrian entrances from Aberdeen Street	
C-03	3rd plateau is of the smallest size, with secondary pedestrian entrance from Shing Wong Street (which is now blocked)	
C-04	4th plateau is the second largest area where ancillary building is located, with a lower playground in the front. There is secondary pedestrian entrance from Aberdeen Street (which is now blocked)	

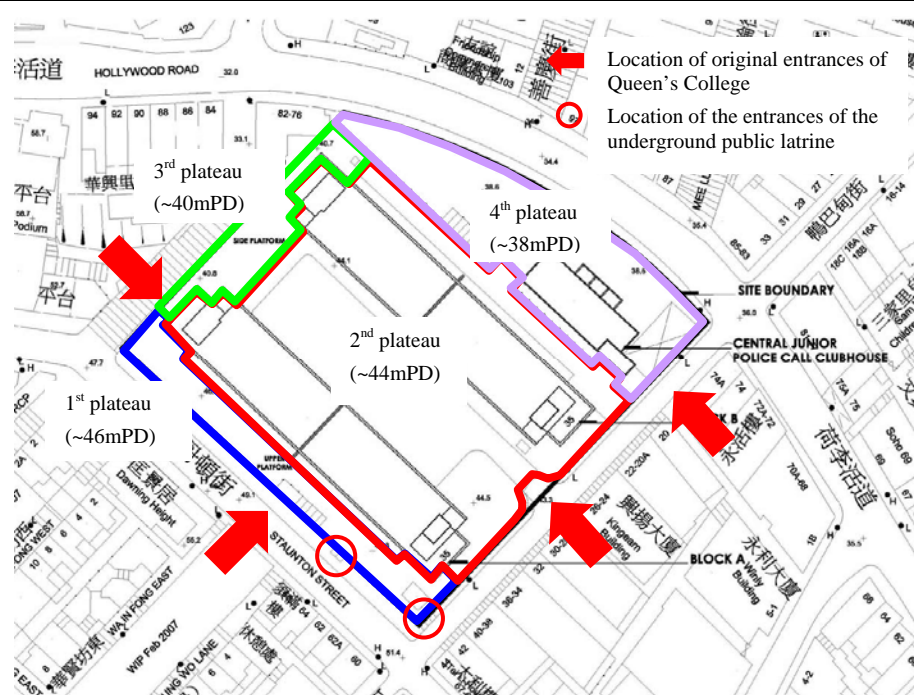


Fig. 188. Site map showing the spatial relationship of the four plateaus in terms of their size, relationship with the streetscape and spatial character.

### Guiding principles:

#### **Burra Charter Article 8 Setting -**

Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place.

#### **English Heritage: Conservation Principles 2008 – Principle 4.2. Significant places should be managed to sustain their value -**

Conservation is the process of **managing change** to a significant place in its setting in ways that will **best sustain its heritage values**, while recognising opportunities to reveal or reinforce those values for present and future generation.

### Conservation guidelines

1. Preservation– the spatial character, hierarchy in terms of size and relationship between different plateaus shall be maintained as far as practicable:
  - The existing flight of granite steps leading from Staunton Street of the highest street level to the site shall be retained.
  - The 2nd plateau shall be maintained as the main area of the whole site. The existing main entrance from Aberdeen Street as well as the open space between the two existing blocks shall be retained as far as practicable.
  - The 4th plateau shall be maintained as the second large area where the playground shall be retained as far as practicable. The secondary access from Aberdeen Street could be restored.
2. Adaption and new work –the openness of the central courtyard between the two quarters blocks, and the playground at the 4th plateau shall be maintained.
  - Addition of new structure in the courtyard/playground such as footbridge, canopy, landscape elements, new paving, planting, and new block is acceptable, provided that these new structures shall be of compatible design, understated in character, be distinguishable from the existing buildings, without visually dominating the existing buildings. By doing so, the public and users could still be able to view and appreciate the existing building design.
  - The new addition shall be detached from the existing building as far as practicable to minimize the impact to the existing major significant fabrics.
  - New addition in the courtyard shall be located away from the main entrance at Aberdeen Street and close to the 3rd plateau as far as practicable to minimize the visual impact to the buildings.



### Reasons for the guidelines

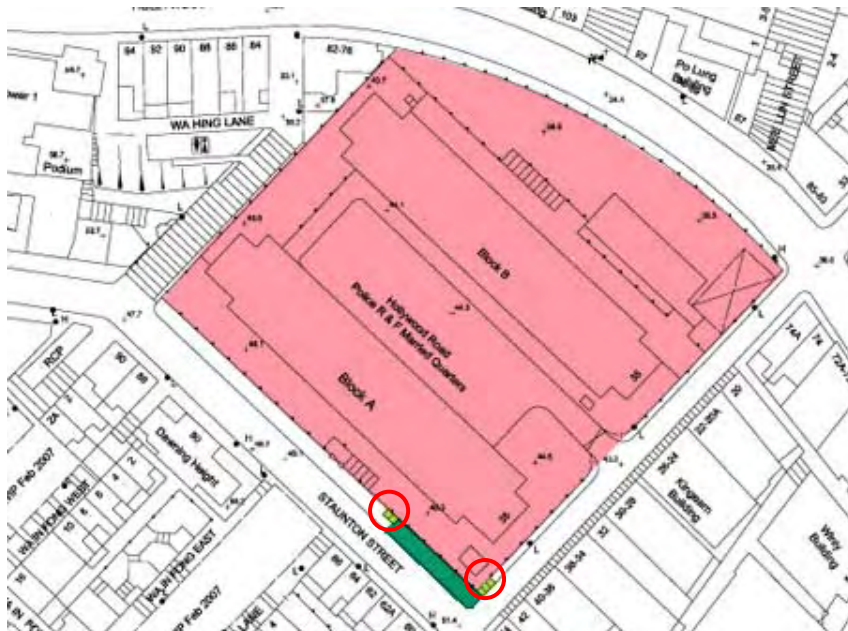
Keeping the spatial relationship between the 4 plateaus can minimize the physical impact to the site setting, which is important for interpreting the early spatial organization, function, activities and development of the site.

#### 7.4.4 Underground public latrine

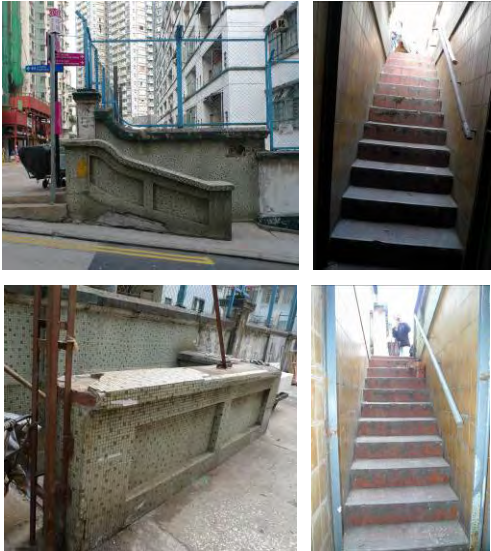

The underground public latrine was built in 1918, located above the 1<sup>st</sup> plateau of the former Central School with two entrances at Aberdeen Street and Staunton Street. It was one of the few pre-war underground public latrines in Hong Kong. Many of these surviving underground public latrines were either demolished or decked over. This underground public latrine is not graded yet.


The parapet walls of the two entrances at street level were re-finished by modern mosaic tiles, while the original granite steps leading to the latrine were covered by modern tiles. Externally, the original fair-faced red bricks external wall finishes of the public latrine still remain intact and uncovered when viewing from the 1<sup>st</sup> plateau. The extent of the brick wall along the rubble retaining wall of the former Central School demarcates clearly the area of the public latrine. Moreover, other original external wall structures and elements of the public latrine can still be found, including the buttresses above granite plinth, three recessed brick openings with concrete lintels above and two low level ventilation openings supported with concrete lintels; and two brick ventilation shafts with wrought iron pipes above the brick buttresses connected by brick corbelling.

Internally, all the original toilet fittings and finishes were replaced by new wall and floor tiles. Concrete spillings along the beam are observed. The original chamfered beams can still be identified. The interior of the public latrine was greatly renovated with low authenticity.



**Fig. 189. Two entrances to the underground public latrine.**  
(Courtesy of the Survey and Mapping Office, Lands Department, Hong Kong SAR Government, acc. no.: 11-SW-8C, 2003, Scale 1:1000 (partial).)

Underground public latrine		
External elements of the underground public latrine		
Items	Character defining elements	Character and significance
1.	<b>The two entrances with entrance steps and the parapet walls</b> leading from Aberdeen Street and Staunton Street	<p>Rare surviving example of pre-war underground public latrine, with only a few of them can be identified and retained nowadays in Hong Kong.</p> 
External wall features facing 1st plateau		
Items	Character defining elements	Character and significance
2.	<b>Fair-faced red bricks, supported by buttresses on granite plinth</b>	<p>Rare surviving example of pre-war underground public latrine, with only a few of them can be identified and retained nowadays in Hong Kong.</p> 
3.	<b>Three existing recessed brick openings with concrete lintels above</b>	
4.	<b>Two existing low level brick openings with concrete lintels above and metal gratings</b>	
5.	<b>Two brick ventilation pipe shafts with brick corbelling above buttress, with two wrought iron pipes</b>	

Internal feature of the underground public latrine		
6.	Chamfered beams inside the public latrine	<p>Rare surviving example of pre-war underground public latrine, with only a few of them can be identified and retained nowadays in Hong Kong.</p> 

### Guiding principles:

#### **Burra Charter Article 16 Maintenance -**

Maintenance is fundamental to conservation and should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

#### **Burra Charter Article 21 Adaptation -**

Adaptation is acceptable only where the adaptation has minimal impact on the cultural significance of the place.

Adaptation should involve minimal change to significant fabric, achieved only after considering alternatives

#### **Burra Charter Article 25 Interpretation -**

The cultural significance of many places is not readily apparent, and should be explained by interpretation. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.



## Conservation guidelines

### Exterior – Entrance (parapet wall and flight of steps)

1. Preservation, restoration and adaptation (parapet wall) – the two entrances formed by existing parapet walls at Staunton Street and Aberdeen Street could be preserved and repaired as far as practicable. Existing mosaic wall finishes shall be removed and could be re-rendered subject to further site investigation on existing materials and condition. The portion of the boundary wall of PMQ at the entrance of the latrines could be altered to follow the new boundary wall design.



**Fig. 190. Parapet walls and the boundary wall of the public latrine.**

2. Preservation and restoration (Existing flight of steps) - existing floor tiles covering original granite steps shall be removed as far as practicable. The flight of granite steps shall be left unfinished, subject to further site investigation on the condition of the granite steps.



**Fig. 191. Existing flights of steps leading to the underground public latrine.**

3. Adaptation and new work – when adaptation to the parapet walls and the entrance become necessary for new works or public safety, at least one of the entrances shall be retained.

- The affected parapet wall shall be salvaged and stored properly for future restoration if necessary. The other entrance shall be retained, repaired and restored for public appreciation.
- Detail photographic and cartographic surveys shall be properly carried out such that the affected parapet wall could be reversibly re-fabricated in future if necessary.
- Display corner shall be provided within the site for the interpretation of the cultural significance of this underground public latrine.

Exterior – Brick walls facing 1<sup>st</sup> plateau

1. Preservation and repair – the existing fair-faced brick external wall facing the 1<sup>st</sup> plateau shall be preserved and repaired as far as practicable. The elements shall be retained and repaired, including the buttresses above granite plinth, brick ventilation shafts and the wrought iron pipes, recessed brick opening with the concrete lintels, and low level ventilation openings.

2. Adaptation and new work – when wall openings become necessary for new works, existing louvre openings shall be utilized in the first place.

- Whenever a larger opening is necessary, such new openings shall be made within existing recess on the brick wall.
- Such opening shall be formed by removing the whole pieces of brick one by one rather than coring on the brick wall in order to minimize the damage on individual bricks. The historic fabrics shall be salvaged and stored properly for future restoration.
- Even larger openings are required; such openings shall not disturb existing buttresses and granite plinth as far as practicable.
- The two existing low level ventilation openings and the existing grating and lintels shall not be covered or blocked up as far as practicable.



**Fig. 192.**Existing recessed openings.

3. New work – When new structure is necessary to be located close to the brickwall, it shall be a structurally independent construction. Such addition shall be introduced in a reversible manner so that it could be removed in the future without damaging the brick wall.
4. Interpretation - display corner shall be provided within the site for the interpretation of the cultural significance of this underground public latrine.

#### Interior

1. Repair, adaptation and new work – it could be adapted to other new uses provided that impact on the external features as identified above could be minimized as far as practicable. The existing concrete ceiling and chamfered beams shall be repaired as far as practicable.



**Fig. 193 .Interior of the underground public latrine.**

#### Reasons for the guidelines

1. The existence of the underground public latrine at this site further adds a branch historic meaning to the site and reflects the early surrounding context.
2. The interior is of low integrity and authenticity, where most of the original setting was removed. Thus, more extensive changes could be made to the interior.

## **7.5 Building guidelines**

### **7.5.1 Exterior of the building and building form**

#### Blocks A and B and JPC Building

The exterior of the buildings are good examples of modern style architecture commonly found in the post war period, where the elements contributed to the overall character and the style shall be

retained and conserved. Character defining elements contributed to the architectural and aesthetic significance of the buildings are as follows:

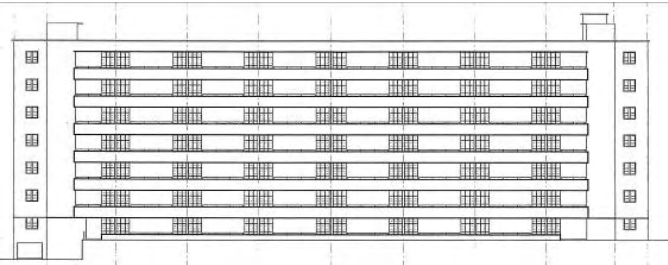
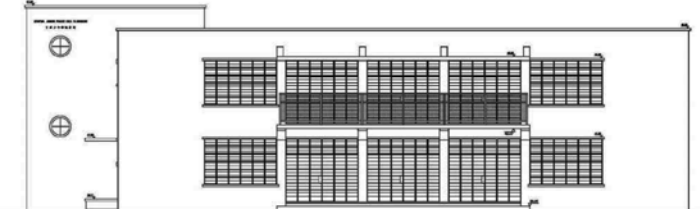


- the rectangular building mass in straight line and without curve,
- elevation characterized by the long and continuous opened balcony with small rooms in between defined by solid parapet walls,
- interior layout reminiscent to that of the resettlement housing,
- geometric window openings of round porthole and rectangular windows,
- sun shading fins and architraves around windows.

The JPC Building also adopted a rectangular form with the front elevation featured by the deep canopy, a balcony and a porch.



**Fig. 194.Existing buildings.**



D – Building fabric reflecting the modern style of the architecture		
Exterior - Blocks A and B and the JPC Building		
Items	Character defining elements	Character and significance
D-01	Simple building form of rectangular linear block	<p>Good examples of post-war modern style architecture, characterized by:</p> <ul style="list-style-type: none"> <li>- Simple and functional design of space and form</li> <li>- Minimal decorative feature and minimal articulation</li> </ul>   
D-02	Elevation emphasized by horizontality and straight lines without curve, characterized by long and continuous opened balcony with repetitive small rooms in between, reflecting modular composition of the interior spaces behind	
D-03	Geometric window opening – round porthole windows on staircase blocks and rectangular windows with architraves around window openings	
D-04	Great adoption of weather proofing devices – horizontal linear shading fins, window head and window sill, opened balcony circulation, deep canopy	
D-05	Elevation of the JPC Building characterized by the porch and balcony, with full height windows or doors opened to the exterior	

## **Guiding principles: concept of change**

### **Burra Charter Article 15.1 Change -**

Change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The amount of change to a place should be guided by the cultural significance of the place and its appropriate interpretation.

### **China Principle Article 30 -**

Physical protection and strengthening measures are intended to prevent or reduce damage to a site or building. These measures themselves must not damage the original fabric and must as far as possible retain the original character of the setting.

### **English Heritage: Conservation Principles 2008 - Overview, Clause 14**

New work or alteration to a significant place should normally be acceptable if: a) the proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed; b) the proposal aspires to a quality of design and execution which may be valued now and in the future.

### **English Heritage: Conservation Principles 2008 - Overview, Clause 15**

Changes which would harm the heritage values of a significant place should be unacceptable unless: a) the changes are demonstrably necessary either to make the place sustainable, or to meet an overriding public policy objective or need; b) there is no reasonably practicable alternative means of doing so without harm; c) that harm has been reduced to the minimum consistent with achieving the objective; d) it has been demonstrated that the predicted public benefit decisively outweighs the harm to the values of the place, considering: its comparative significance; the impact on that significance, and the benefits to the place itself and/or the wider community or society as a whole.

### **English Heritage: Conservation Principles 2008 - Terms & Concepts, Clause 25**

Considered change offers the potential to **enhance and add value to places**, as well as generating the need to protect their established heritage values.

### **English Heritage: Conservation Principles 2008- Managing change to significant places, Clause 96**

Sustaining the value of the historic environment as a whole depends also on creating in the present the heritage of the future, through changes that enhance and enrich the values of places.

### **English Heritage: Conservation Principles 2008- Managing change to significant places, Clause 86**

Owners and managers of significant places should not be discouraged from **adding further layers of potential future interest and value**, provided that recognised heritage values are not eroded or compromised in the process.

## Conservation guidelines

### Block A and Block B, and JPC Building

1. Preservation and adaptation – simple building form of rectangular linear block of Block A and Block B with the elevations emphasized horizontality and straight lines of repetitive solid and void composition shall be maintained as far as practicable. Part of the elevation could be altered for practical needs. The elevations with minimal articulation that expresses the functional and pragmatic design character shall be maintained as far as practicable.
2. Preservation and adaptation– the rectangular building form of JPC Building shall be maintained as far as practicable. New structure like canopy shall not be added so that it will visually dominate the existing building, particularly on the front elevation characterized by the porch and balcony.
3. Preservation and adaptation – existing geometric window openings including round porthole and rectangular windows with architraves around shall be retained as far as practicable. Existing windows could be replaced with new one of compatible design.
4. New work - new construction such as new building block, canopy, footbridge and the like could be added to the exterior of the buildings, provided that:
  - The new construction shall be of compatible design, understated in character, and discernible from historic fabrics, without visually dominating the existing buildings, so that the public and users still be able to view and appreciate the existing building design.
5. Adaptation – the elevation of the living units along balcony facing the corridor could be modified to suit new practical needs and design.

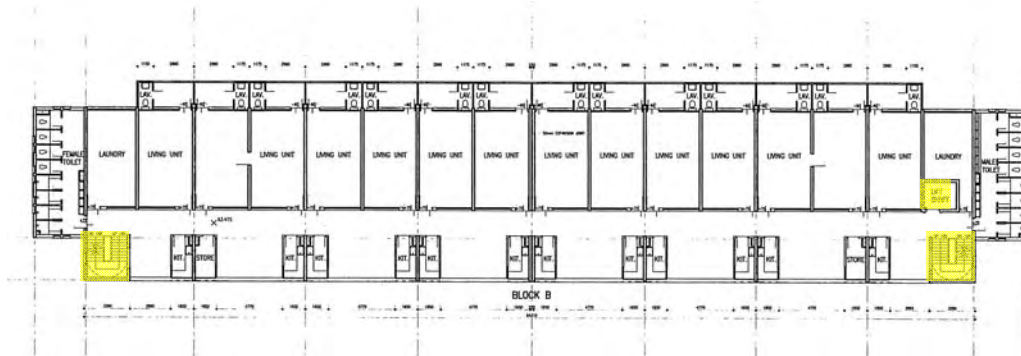
## Reasons for the guidelines

Retaining the simple and functional design, less decorative and minimal articulation to the elevation of the building is important to the interpretation of the modern style and original use of the buildings, while allowing flexibility of change to other building fabrics which are considered less significant.

## 7.5.2 Interior

### Block A and Block B

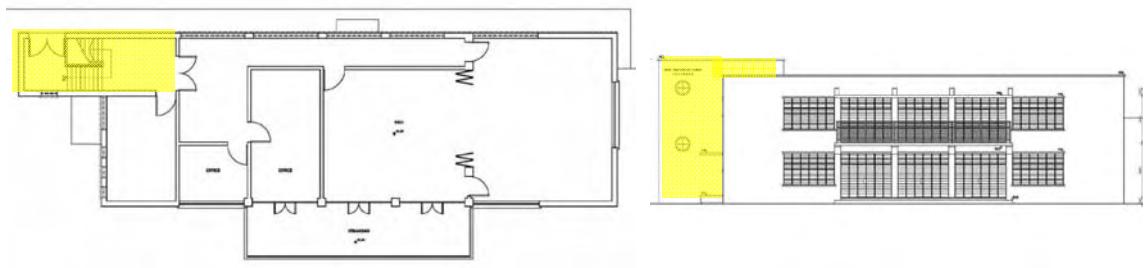
Each floor is accessible on two ends of the building, where staircases and lift are located. Typical floor layout is designed with a common corridor in the middle, along which are living units provided with balconies on one side, and kitchens and opened balcony on the other side facing the courtyard.



**Fig. 195. Typical layout of Blocks A and B.**

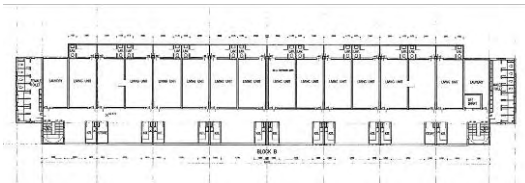

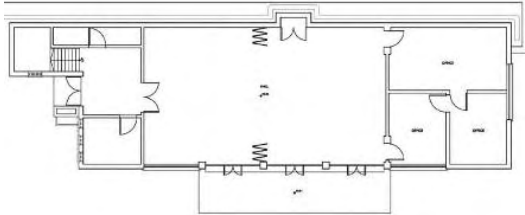
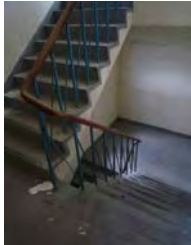
### JPC Building

The JPC Building adopted a rectangular building form in general, with simple circulation of a staircase at one end, connecting 1/F from 2nd plateau and the G/F from 4<sup>th</sup> plateau. The layout is arranged according to the functional needs; the space is either subdivided into different rooms (1/F) or combined to form a spacious room (G/F).



**Fig. 196. 1/F floor plan and elevation of the JPC Building.**



D – Building fabric reflecting the modern style of the architecture (cont'd)		
Items	Character defining elements	Character and significance
<b>Interior – Blocks A and B</b>		
D-06	<ul style="list-style-type: none"> <li>Each floor accessible at two ends through staircases or lift;</li> <li>Each floor has a typical layout: a common corridor at the centre with living units provided with balconies located on one side, and kitchens and opened balcony located on the other side facing courtyard.</li> <li>The living units are separated by shear walls</li> </ul>	<p>Rectangular linear floor layout with functional and pragmatic approach on the spatial configuration, symmetrical spatial arrangement with modular living units.</p>  
<b>Interior – JPC Building</b>		
D-07	<ul style="list-style-type: none"> <li>The interior space is either subdivided into different rooms or combined to form a spacious room</li> <li>With one staircase at one end, connecting the 1/F from 2nd plateau and G/F from 4th plateau</li> </ul>	<p>Rectangular floor layout with functional approach on the design, with simple circulation of one staircase at one end connecting the interior floors.</p>  

### **Guiding principles: concept of change**

**Adopt same guiding principles in relation with the concept of change as for the exterior of the building as listed above.**

#### **China Principle Article 30 -**

Physical protection and strengthening measures are intended to prevent or reduce damage to a site or building. These measures themselves must not damage the original fabric and must as far as possible retain the original character of the setting.

### Conservation guidelines

#### Blocks A and B

1. Preservation – the general spatial organization with a central corridor on each floor as the main horizontal access to each living unit shall be maintained as far as practicable.
2. Preservation and Adaption – the existing structural shear walls, which is now the partition walls between units shall be retained as far as practicable. Openings and alteration could be made to suit the new layout and functional needs provided that it would not affect the structural stability of the existing building and structural strengthening works would not overwhelm the interior
3. Adaptation – upgrading works of the interior for new uses and compliance with current modern safety standards such as addition of new staircases for means of escape, replacement of the balustrades along staircase, replacement of existing windows by fire-rated one would be accepted.

#### JPC Building

1. Preservation and Adaption – the general circulation with an internal staircase connecting the 2<sup>nd</sup> plateau and 4<sup>th</sup> plateau shall be maintained. The interior layout and partition wall could be altered, subdivided or added according to the new functional needs, provided that it would not affect the front elevation, characterized by a balcony on 1/F and a porch on G/F.
2. New Construction and adaptation– new construction or alteration such as addition of new staircase or lift and replacement of the balustrades along staircase could be carried out provided that the front elevation and the circular windows at the staircase would not be affected.

### Reasons for the guidelines

1. The character defining elements of the interior of Block A and Block B are mainly the modular arrangement of the living units, which are important for the interpretation of the original use as living quarters. Thus, other interior building fabrics could be altered with higher flexibility.
2. Interior of the JPC Buildings are considered of less significant.

### **7.5.3 Use**

Block A and Block B were originally designed as staff quarters with each floor subdivided into living units. The JPC Building was originally designed as a recreation centre, and later converted into a primary school and a club house.

#### **Guiding principles:**

##### **Burra Charter Article 1.11 Compatible use -**

Compatible use means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.

##### **Burra Charter Article 7 Use -**

Where the use of a place is of cultural significance it should be retained. A place should have a compatible use.

##### **China Principle 4.1 On the Social and Economic Benefits of Heritage Sites -**

An important part of heritage conservation is the proper protection and display of the values of a site through rational use. Use mainly refers to the present function that a site serves. In all cases the principle of maintaining the social benefits of a site must be upheld. As far as possible, the use of a site must be consistent with its value.

### Conservation guidelines

In addition to the concerns raised by the public and structural limitation, the new compatible use of PMQ shall be able to:

1. minimize the physical intervention to significant building fabric, such as remnants of the former Central School
2. enhance the understanding of the cultural significance of the historic place; allow interpretation of the changes of the site throughout the history, from the former Central School to Police Married Quarters
3. be accessible by public – the historic place shall be opened for public enjoyment and use
4. be compatible with surrounding context
5. achieve sustainability in long term

#### 7.5.4 Control of physical intervention in the fabric necessary for compliance with modern needs

The following guidelines are formulated for guiding future treatment on existing building fabric which is necessary for the compliance with statutory requirements generally.

1. Building fabric – existing **protective barriers** such as the metal balustrades along the balcony, and internal staircases, and at external historical flights between plateaus may not be high enough or substandard. They are considered of low significance and could be upgraded to satisfy statutory requirements.

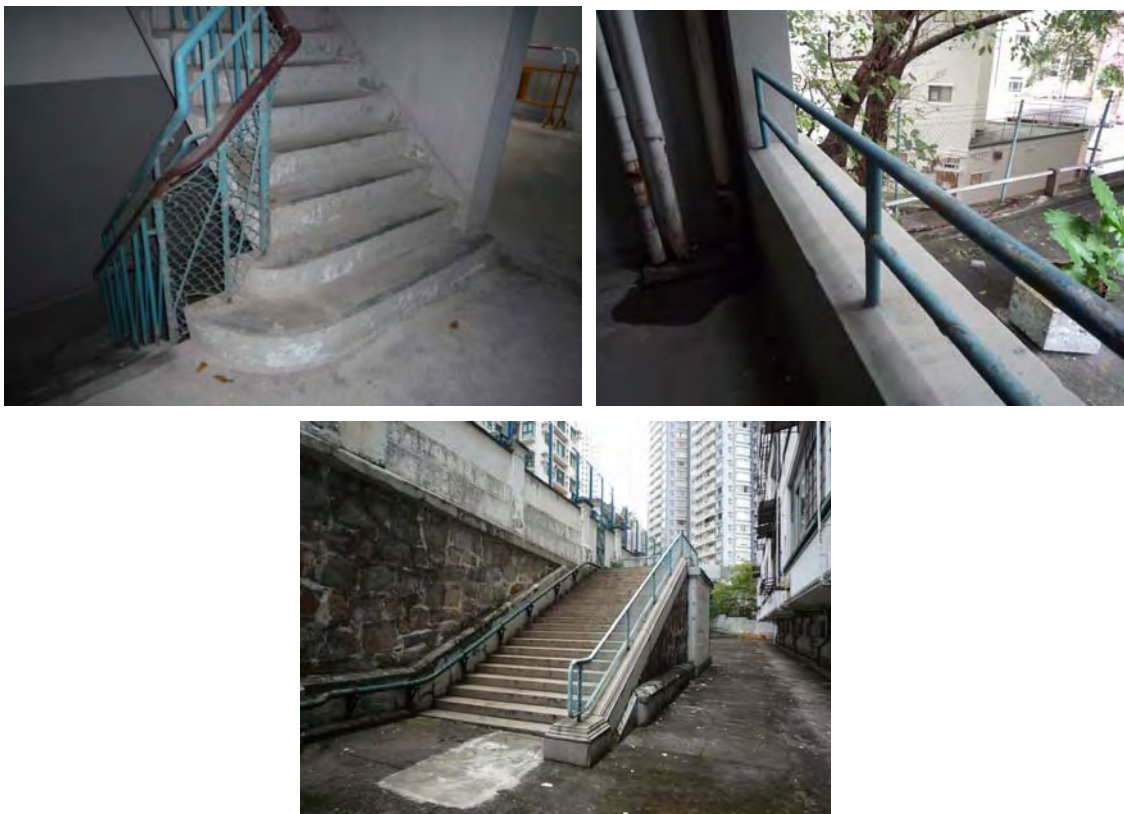


Fig. 197. Existing protective barriers along staircase (left) and balcony (right) and historical flight.

2. Building fabric – **floor loading** – according to the preliminary assessment<sup>149</sup>, both the superstructure and foundation are capable to sustain the imposed load of 3.0 kpa, which is suitable for B(C)R Table 1 Class no. 3 usage.<sup>150</sup> The buildings may or may not be capable to sustain the proposed use according to various dilapidation, thus detailed assessment or strengthening works may needed to be carried out where necessary.

<sup>149</sup> Section 4.7.3 Loading Assessment of the *Resource Kit of Transformation of Former Police Married Quarters Site on Hollywood into a Creative Industries Landmark*, prepared by Development Bureau.

<sup>150</sup> B(C)R Table 1 Class no. 3 usage includes lecture rooms, general office, recreation areas that cannot used for assembly purposes, light workrooms without central power-driven machines and storage, etc.



3. Fire safety – means of escape – two existing staircases of Blocks A & B and the JPC Building are readily upgraded to comply with the requirements, such as replacement of the existing balustrades or addition of fire-rated doors/lobby. Additional staircases could be added.
4. Fire resisting construction (FRC) – existing windows and doors could be replaced by new one, provided that the shape of the existing window openings (circular and rectangular) and the architraves around window openings shall be maintained.
5. Barrier free access – barrier free access is provided only from the site entrance at Aberdeen Street to the 2<sup>nd</sup> plateau only. Barrier free access is not provided to other area within the site boundary. Alteration and additional works to meet the universal accessibility requirements could be provided without affecting significant building fabrics:
  - The central courtyard and the external area at 2<sup>nd</sup> plateau could be levelled to allow wheelchair users to reach Blocks A and B from the entrance at Aberdeen Street.
  - Entrances at Blocks A and B, and the JPC Building could be levelled to allow wheelchair users to gain access into the building.
  - Existing lifts at Blocks A and B could be upgraded to suit the requirements.
  - Additional lift/ vertical platforms could be added inside or attached to buildings to connect different plateaus, particularly the 2<sup>nd</sup> plateau and 4<sup>th</sup> plateau.
  - Additional lift / vertical platforms could be added within or at the rear of JPC Building to connect it between the 2<sup>nd</sup> and 4<sup>th</sup> plateaus.
  - The existing corridor of Blocks A and B is wide enough for barrier free access and the existing entrance doors of the living units facing corridor could be widened to suit new practical needs and design, subject to the stability of the building which would not be affected



Fig. 198. Existing corridor and the elevation of the living units.

### **7.5.5 Building services installation**

When designing and planning new building services in the historic building, the services shall be easily accessed with flexibility for change and maintenance, as most of these systems require upgrading and replacement over time due to wear and tear or the availability of improved technology. Effort shall be made in order not to disturb the identified character defining elements of the historic building to meet short-term needs.

#### General

- New building services shall be carefully designed and avoid visual impact as far as practicable. New services shall be concealed as far as practicable to minimize visual impact. For example, electrical wiring and water ducts and pipes could be concealed in trunking or conduits or behind interior panels, or if possible in service rooms or other forms of concealed space.
- Having considered the concrete structure of the existing building, it is acceptable to chase the concrete wall to conceal the services to minimize the visual impact to the interior. As if exposure of such services is necessary, they shall be distinguishable and unobtrusive to the original building elements, and designed with architectural languages compatible with that of the building.
- All the ducts and pipes of all kinds of building services shall be grouped together when entering the historic building so that minimum number of openings would be made on the wall.
- Any enclosure for housing new services such as meter cabinets or telephone pipe ducts shall be designed with architectural languages compatible with that of the building.
- New services and plant installation taking up large floor space or involving extensive alteration works to existing structure, or heavy equipment such as new plant, pump rooms, air conditioning plants, fire services and sprinkler water tanks, etc, could be located at less prominent location provided that it would not damage the identified character defining elements.

#### Electrical installation

- Electrical conduits could be concealed in the concrete wall or surfaced mounted and shall be placed at less prominent location. Trunking is preferred to be used in lieu of a group of electrical conduits.

- The conduits and trunking could be painted with colour matching the interior design colour scheme.

## 7.6 Interpretation strategy

The cultural significance of the site is not readily apparent, and should be explained by interpretation. The interpretation shall enhance understanding and enjoyment, and be culturally appropriate<sup>151</sup>. Interpretation can be a combination of the treatment of the fabric, i.e. how to use the place, and the activities to be carried out in the future; and the use of introduced explanatory material.<sup>152</sup> The first kind of interpretation involves conservation approach for the physical fabric such as restoration, repair and maintenance. It also concerns with what are the compatible uses and what kind of activities is appropriate which could facilitate the public to understand the place.

The second kind of interpretation can be in a form of a document, an annotated map, a presentation<sup>153</sup>, or other educational and promotional materials, or in a form of exhibition and display. Interpretation presented in whatever media, usually involves a process telling people what is special about the historic place and encouraging them to look after it for the benefit of everyone.<sup>154</sup>

### 7.6.1 Underground interpretation area

Underground interpretation area is a good media to present the preserved in-situ historical remnants of the former Central School, such as the foundation structure and relics of building materials, provided that the impact on historical remnants would be minimized. With the aids of other historical photos and drawings, it is able to provide an opportunity for the public to have a glimpse of the original use of this site, and understand the historical development through reading its physical settings and appreciating the remnants.

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<sup>151</sup> Extracted from Article 25 – Interpretation under section of “Conservation process” of *the Burra Charter 1999, The Australia ICOMOS Charter for Places of Cultural Significance*, Australia, The Australia ICOMOS, 2000.

<sup>152</sup> Extracted from Article 1.17 – Interpretation of “Definition” of *the Burra Charter 1999, The Australia ICOMOS Charter for Places of Cultural Significance*, Australia, The Australia ICOMOS, 2000.

<sup>153</sup> *Local Interpretation Plans – a tool kit to help communities explore local heritage*. Retrieved on 3 January 2011, from Herian, Website: [www.herian.org/1098.dld](http://www.herian.org/1098.dld), <https://8305509064924389499-a-gka-org-uk-sites.googlegroups.com/a/gka.org.uk/herian/Home/ToolkitFinalBILINGUAL.pdf?attachauth=ANoY7cpMCVSfTp1RiRMvgI72WvTvtlTEYSR3sDbwvILdKwG17e0c-CCiWpfp0vU3M5ZPKTGwqIAwIai6QFhmRf9S7rKNy5g3fl-nqU1WxmpXGU2Q2ZlpMMaA-77lMOE8N1FqLZDTw7jjJJ9d4S7Th4e8GTDbmnl7MWLMan-EZ-d4E7TVw1VkdX7DhOeuer2qvFIe7brALuyeIzek2i0hEkFIHGsrRLDXUQ%3D%3D&attredirects=0>

<sup>154</sup> *Ibid.*

### 7.6.2 Main themes

It is recommended to prepare an interpretation plan, which is an important and helpful tool to define the content to be presented for the historic place. It would outline the themes, objectives, topics and storylines to be interpreted; presentation and methods of delivery; and potential audience (the visitors and users). The presentation of the cultural significances of the historic place shall be included in the interpretation plan. The interpretation shall not solely focus on the history of the buildings or the site itself, but shall include the surrounding context of Sheung Wan and Central, in particularly the early development of Hong Kong after procession by colonial government.

The following are suggested main themes and content that could be further investigated and explored in the interpretation plan. They can be in a form of physical display in the proposed display area or education programme in the future:

- The historic site itself and its development – from Shing Wong Temple, Rangel's Estate, the former Central School, Police Married Quarters, future creative industries landmarks.
- The former Central School - the building style, design, spatial layout and the activities of the former Central School building and its relation to the early education system of Hong Kong - what were taught in the first government school? Who studied in the school? What kinds of rooms and facilities provided? What were the differences between government school and missionary school in terms of the curriculum and school building design?
- The archaeological investigation and findings – what have been remained and found in relation to the former Central School through previous archaeological investigations?
- The Police Married Quarters - the building style, design, spatial layout and the activities of police married quarters together with the recreation centre (the JPC Building).
- The early education provided in Hong Kong, together with other missionary schools established in the same period as Central School.
- Interesting story associated with the site, including the collection of oral history.
- Development along Hollywood Road and local context of Sheung Wan and the Central
- Promotion of the cultural characteristic of the district – to link with other cultural heritages in the surrounding context.
- Association with other police quarters built in the same period (1950s - 1960s) in Hong Kong - in terms of architectural design, and the reasons of the numerous police married quarters built after the war; the change of the social environment before and after the war could be revealed.
- The whole conservation and revitalization process of the historic site.
- Public participating activities held in the site since the site vacant.



# 8

## HERITAGE IMPACT ASSESSMENT

### 8.1 Objective

This chapter aims to evaluate the proposed works for transforming the historic place into a Creative Industries Landmark, identify any potential impact that would adversely affect the character defining elements as identified in the baseline study, and suggest mitigation measures to reduce the impact as necessary.

### 8.2 Assessment

The evaluation of heritage impact assessment in the proposal is classified into five levels of impact based on the type and extent of the effects concluded in the Heritage Impact Assessment<sup>155</sup>:

1. Beneficial impact – the impact is beneficial if the proposal will enhance the preservation of the heritage site;
2. Acceptable impact - the assessment indicates that there will be no significant effects on the heritage site;
3. Acceptable impact with mitigation measures – there will be some adverse effects, but these can be eliminated, reduced or offset to a larger extent by specific measures;
4. Unacceptable impact – the adverse effects are considered to be too excessive and are unable to mitigate practically;
5. Undetermined impact – the significant adverse effects are likely, but the extent to which they may occur or may be mitigated cannot be determined from the study. Further detailed study will be required for the specific effects in question.

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<sup>155</sup> Antiquities and Monument Office, *Guidelines for Heritage Impact Assessment*, June 2010.

### 8.3 Proposed Development and Works



Fig. 199. Proposed elevation of “PMQ” facing Hollywood Road.

The proposal is to convert the former Police Married Quarters into a creative industries landmark, while the buildings are upgraded for modern day usage and to meet various current required standards by carrying out essential structural, building and building services works, and conservation requirements while fulfilling its new functional purposes. The proposal suggests the following major changes:

#### Block A and Block B

1. Retain, reinforce and refurbish the two existing building blocks, Block A and Block B, previously served as police married quarters.
2. Convert the original residential units on G/F and 1/F into shops and gallery, while those on 2/F and above will become studios for creative industries and ancillary facilities including 6 lodgings for visiting artists.
3. Convert the topmost floor of Block B into a high headroom roof top restaurant with mezzanine floor, involving alteration and addition to the internal structural elements/partition walls whilst maintaining the integrity of the elevation of the building.
4. Connect Block A and Block B on 2/F by an I-cube which is a fully enclosed function hall for public events.

### **Junior Police Call Clubhouse (JPC) Building**

1. Convert the existing Junior Police Call Clubhouse (JPC) building into a restaurant.

### **Others**

1. Construct a canopy between Block A and Block B above the courtyard at 6/F to provide a weather-proof outdoor space for holding large events and public leisure.
2. Provide an underground interpretation area at the courtyard including facilities for displaying the historic relics of the former Central School foundation originally located on the site.
3. Add new passenger lifts and staircases inside the buildings to improve the circulation for visitors.
4. Add external lift tower in front of Block B facing Hollywood Road to connect the building and the lower playground at the 4<sup>th</sup> plateau.
5. Provide new footbridges to connect Block A to Staunton Street at the southern side of the site.
6. Construct a transformer room/sprinkler tanks/fire services tank at the south-east corner of the site, at the junction between Staunton Street and Aberdeen Street, in front of the exterior of the underground public latrine.

## **8.4 Source of Information**

The Heritage Impact Assessment is carried out based on the Government's policy on the adaptive re-use of the site, and the preliminary design prepared by the ArchSD for the transformation of the Former Police Married Quarters Site on Hollywood Road into a Creative Industries Landmark. The drawings attached in the Appendix are for information only and subject to changes during detail design development and follow the conservation guidelines. The preparation of HIA is based on the following information:

1. Heritage Impact Assessment Consultancy Brief for Transformation of the Former Police Married Quarters Site on Hollywood Road into a Creative Industries Landmark, Quotation Contract No. ASD/52/7955/IX/DEVB/QM5(Heritage), prepared by Architectural Services Department (November 2010).
2. Architectural record drawings showing existing condition of the building, provided by Architectural Services Department.

**8.4.1 Architectural record drawings showing existing condition of the building, provided by Architectural Services Department**

<b>Drawing No.</b>	<b>Drawing Title</b>	<b>Drawing Date/Drawing Received Date</b>
AB/7955/HE/GP001	Site Plan (Heritage Elements)	18 February 2011
AB/7955/XA002	Lower Terrace Floor Plan – Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA003	Ground Floor Plan - – Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA004	First Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA005	Second Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA006	Third Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA007	Fourth Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA008	Fifth Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA009	Sixth Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA010	Seventh Floor Plan – Block A & Roof Plan – Block B (Existing & Demolition)	19 December 2010
AB/7955/XA011	Roof Plan – Block A & Upper Roof Plan – Block B (Existing & Demolition)	19 December 2010
AB/7955/XA012	Upper Roof Plan – Block A (Existing & Demolition)	19 December 2010
AB/7955/XA013	South West Elevation – Block A (Existing & Demolition)	19 December 2010
AB/7955/XA014	North West Elevation – Block A and Block B (Existing & Demolition)	19 December 2010
AB/7955/XA015	North East Elevation – Block B (Existing & Demolition)	19 December 2010
AB/7955/XA016	South East Elevation – Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA017	North East Elevation – Block A (Existing & Demolition)	19 December 2010
AB/7955/XA018	South East Elevation (Existing & Demolition)	19 December 2010
AB/7955/XA019	Section (Existing & Demolition)	19 December 2010
AB/7955/HE/GP002	Elevation F1 & F2	18 February 2011
AB/7955/HE/GP003	Elevation F3 & F4	18 February 2011
AB/7955/HE/GP004	Elevation F5 & F6	18 February 2011
AB/7955/HE/GP005	Elevation F7	18 February 2011
AB/7955/HE/GP006	Schedule of Preserved Items	18 February 2011



#### 8.4.2 HIA drawings showing the new proposal for heritage impact assessment, provided by Architectural Services Department

Drawing No.	Drawing Title	Drawing Date/Drawing Received Date
AB/7955/SCCU/GP002a	Site Plan	18 February 2011
AB/7955/SCCU/GP003a	Lower Terrace Plan	18 February 2011
AB/7955/SCCU/GP004a	Ground Floor Plan	18 February 2011
AB/7955/SCCU/GP005a	First Floor Plan	18 February 2011
AB/7955/SCCU/GP006a	Second Floor Plan	18 February 2011
AB/7955/SCCU/GP007a	Third Floor Plan	18 February 2011
AB/7955/SCCU/GP008a	Fourth Floor Plan	18 February 2011
AB/7955/SCCU/GP009a	Fifth Floor Plan	18 February 2011
AB/7955/SCCU/GP010a	Sixth Floor Plan	14 March 2011
AB/7955/SCCU/GP011a	Seventh Floor Plan	14 March 2011
AB/7955/SCCU/GP012a	Roof Plan	14 March 2011
AB/7955/SCCU/GP013a	Upper Roof Plan	18 February 2011
AB/7955/SCCU/GP014a	Elevation B1 & B3	14 March 2011
AB/7955/SCCU/GP015a	Elevation B2 & B4	18 February 2011
AB/7955/SCCU/GP016a	Section A-A, B-B & C-C	18 February 2011
AB/7955/SCCU/GP014a	Elevation B1 & B3	28 February 2011
AB/7955/SCCU/GP015a	Elevation B2 & B4	28 February 2011
AB/7955/SCCU/GP016a	Section A-A, B-B & C-C	28 February 2011
AB/7955/EX/GP033	Section (Grid 7-8)	14 March 2011

## 8.5 Assessment Process and Basis

### 8.5.1 Guidelines by the Hong Kong Government

1. Conservation Guidelines for Former Police Married Quarters Site on Hollywood Road included in the Resource Kit issued by AMO in February 2010 (AMO's guideline).
2. Annex 19 of the Technical Memorandum on Environmental Impact Assessment Process (section 16 of Environmental Impact Assessment Ordinance, Cap 499) – Guidelines for Assessment of Impact on Sites of Cultural Heritage

### 8.5.2 International standards and guidelines

1. Heritage impact statements as introduced by James Kerr in his book of Conservation Plan<sup>156</sup>,
2. Heritage Impact Statements - Guidelines prepared by the Australian Heritage Council<sup>157</sup> (on the basis of State of Victoria and NSW).

The proposed changes to the heritage place will be listed and assessed according to the following categories. Some guided questions as prepared by Australian Heritage Council<sup>158</sup> under the guideline for Heritage Impact Statements will be used as a reference to review the impact on the heritage place.

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<sup>156</sup> Kerr, J.S. *Conservation Plan*. National Trust of Australia (NSW), 6<sup>th</sup> edition, 2004, pp. 42-43 and pp. 62-63.

<sup>157</sup> See *Heritage Information Series: Heritage Impact Statements Guidelines*. Retrieved on 25 March 2008 under Heritage Council (Victoria), website: [http://www.heritage.vic.gov.au/pages/pdfs/heritage\\_impact.pdf](http://www.heritage.vic.gov.au/pages/pdfs/heritage_impact.pdf). See also *Statements of Heritage Impact*. Retrieved on 25 March 2008 under Heritage Council (NSW), website: [http://www.heritage.nsw.gov.au/docs/hm\\_statementsofhi.pdf](http://www.heritage.nsw.gov.au/docs/hm_statementsofhi.pdf).

<sup>158</sup> See *Heritage Information Series: Heritage Impact Statement Guidelines*. Retrieved on 3 January 2011 under Heritage Council (Victoria), website: <http://www.dpcd.vic.gov.au/heritage/victorian-heritage-register/permits/heritage-impact-statements-guidelines>. See also *Statements of Heritage Impact*. Retrieved on 3 January 2011 under Heritage Council (NSW), website: [http://www.heritage.nsw.gov.au/docs/hm\\_statementsofhi.pdf](http://www.heritage.nsw.gov.au/docs/hm_statementsofhi.pdf).

These guided questions are extracted and adapted from the guidelines for preparation of Statements of Heritage Impact, prepared by Australian Heritage Council:

Item	Proposed Change	Some questions to be addressed in the heritage impact assessment
1.	Change of use	<ul style="list-style-type: none"> <li>• What changes to the fabric are required as a result of the change of use?</li> <li>• What changes to the site are required as a result of the change of use?</li> </ul>
2.	New landscape works and setting	<ul style="list-style-type: none"> <li>• How has the impact of the new work on the heritage significance of the existing landscape been minimized?</li> <li>• Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered?</li> <li>• Has advice been sought from a consultant archaeologist?</li> <li>• How does the work impact on views to, and from adjacent heritage items?</li> </ul>
3.	Demolition of a building or structure	<ul style="list-style-type: none"> <li>• Have all options for retention and adaptive re-use been explored?</li> <li>• Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?</li> <li>• Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?</li> <li>• Has the advice of a heritage consultant been sought? Have the consultant's recommendation been implemented? If not, why not?</li> </ul>
4.	Major partial demolition (including internal elements)	<ul style="list-style-type: none"> <li>• Is the demolition essential for the heritage item to function?</li> <li>• Are particular features of the item affected by the demolition?</li> <li>• Is the detailing of the partial demolition sympathetic to the heritage significance of the item?</li> <li>• If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</li> </ul>
5.	Major additions	<ul style="list-style-type: none"> <li>• How is the impact of the addition on the heritage significance of the item to be minimized?</li> <li>• Can the additional area be located within an existing structure? If not, why not?</li> <li>• Will the additions tend to visually dominate the heritage item?</li> <li>• Are the additions sympathetic to the heritage item? In what way (e.g. form, proportions, design)?</li> </ul>
6.	Construction of new buildings	<ul style="list-style-type: none"> <li>• How is the impact of the new development on the heritage significance of the item or area to be minimized?</li> <li>• Why is the new development required to be adjacent to a heritage item?</li> <li>• How does the new development affect views to, and from, the heritage item? What has been done to minimize negative effects?</li> <li>• Is the new development sympathetic to the historic place? In what way (e.g. form, setting, proportions, design)?</li> <li>• Will the additions visually dominate the heritage item? How has</li> </ul>

		<p>this been minimized?</p> <ul style="list-style-type: none"> <li>• Will the public and users of the historic place still be able to view and appreciate its significance?</li> </ul>
7.	Part demolition/ physical change to fabric of a historic place, including interiors, fixtures and fittings, identified as significant	<ul style="list-style-type: none"> <li>• Is the proposed change essential for the heritage place to function?</li> <li>• Is the proposed change essential for the long-term viability of the historic place?</li> <li>• Is the detailing of the change sympathetic to the heritage significance of the place? (e.g. creating large openings in internal walls rather than removal of the walls altogether)</li> </ul>
8.	New services	<ul style="list-style-type: none"> <li>• How has the impact of the new services on the heritage significance of the place been minimized?</li> <li>• Are any of the existing services of heritage significance? In what way? Are they affected by the new work?</li> </ul>



## 8.6 Impact assessment and mitigation measures

A General					
Item	Proposed Works	Fabric affected	Reasons for changes	Impact Assessment	Mitigation measures
A-01.	Convert the buildings and the site into a creative industries landmark	Internal layout and elevations	<ul style="list-style-type: none"> <li>• Promotion of creative industries</li> <li>• Heritage conservation</li> <li>• Provision of public open space</li> </ul>	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>• Photographic and cartographic survey shall be carried out to record the condition of buildings before works</li> <li>• Photo record and as built drawings shall be prepared after works</li> <li>• To enhance and reinforce the understanding of cultural significance of the historic place, the interpretation strategy shall be properly formulated and present the development of the site, from Victoria College, Queen's College to police married quarters.</li> <li>• The media for interpretation could be physical display such as model, information panels or educational programme for visitors.</li> </ul>
A-02.	Alteration and Addition works	Structural integrity of the buildings	<ul style="list-style-type: none"> <li>• For new uses</li> <li>• To meet the current standards for safety and health</li> </ul>	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>• Survey on structural stability of existing buildings shall be carried out before any works where necessary</li> <li>• The structural condition during the course of work shall be monitored to ensure the structural integrity of the historic buildings, the historic site elements and setting are maintained.</li> <li>• All proposed works shall minimize the intervention to the character defining elements.</li> </ul>

<b>B External works and setting</b>					
<b>Impact on site setting and site elements</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
B-01.	Retain the original setting of the site established by 4 plateaus	Remnants from the former Central School including, rubble retaining wall, granite flights, granite plinth, posts, etc.	Make use of existing setting of the site to minimize physical intervention to the historic elements	Beneficial impact	<ul style="list-style-type: none"> <li>Survey on structural stability of existing walls shall be carried out before any works where necessary</li> <li>Protection to the historic elements shall be provided during the course of works</li> <li>The condition of the remnants shall be monitored during works</li> </ul>
B-02.	Retain the existing site entrance  Vehicular and pedestrian entrance from Aberdeen Street to the 2nd plateau  Pedestrian entrance from Staunton Street.	Same as above	Make use of existing site entrances, which are the original entrances of the former Central School, could reinforce the understanding of original layout and design of the former Central School building.	Beneficial impact	Same as above
B-03.	Restore the former entrances <ul style="list-style-type: none"> <li>from Aberdeen Street leading to the 4th plateau,</li> <li>from Shing Wong Street leading to the 3rd plateau.</li> </ul>	Existing boundary walls (above ground) along Aberdeen Street and Shing Wong Street	Restoration of former entrances could reinforce the understanding of the original layout and design of the former Central School building.	Beneficial impact	<ul style="list-style-type: none"> <li>Tree specialist shall be consulted where necessary to assess the condition of the existing trees on the walls before and after works, and minimize the damage to the trees as far as possible</li> <li>Survey shall be carried out to assess the condition and stability of the walls where necessary.</li> <li>The existing level of the plateau shall be checked as necessary before re-opened for restoration of former entrances</li> </ul>

<b>B External works and setting (Cont'd)</b>					
<b>Impact on site setting and site elements</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
B-04.	Form new entrance from Staunton Street leading to Block A.	Existing boundary walls (above ground)	Adaptive re-use for practical needs	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>The structural stability of the boundary wall and adjoining structures shall be investigated before any works.</li> <li>New fence wall shall be of compatible design, understated in character, and discernible from historic fabrics.</li> <li>New fence wall shall minimize the damage to and not overruling the remnants of the former Central School, including the rubble retaining walls, granite coping, granite posts and plinth, etc.</li> </ul>
B-05.	Addition of drop-off points in the courtyard between Blocks A and B	Open courtyard	One of them is drop-off/pick up area for disabled vehicle, and the other is loading/unloading area for vehicle.	Acceptable impact	<ul style="list-style-type: none"> <li>The proposed drop-off areas shall be located away from existing tree in the courtyard if possible. Such measure is included in current proposal</li> </ul>
B-06.	Retain two existing granite flights of steps <ul style="list-style-type: none"> <li>One of them connects Staunton Street and the 1st plateau</li> <li>The other one beside the JPC Building links the 2nd plateau to the 4th plateau.</li> </ul>	Granite flights of steps, which are remnants from the former Central School	Make use of existing site elements to minimize physical intervention to historic fabrics and could reinforce the understanding of original layout and design of the former Central School building.	Beneficial impact	<ul style="list-style-type: none"> <li>Condition survey to record the existing condition shall be carried out where necessary</li> <li>Existing metal fence above the granite base of the flight of steps shall be removed and new barriers could be added above.</li> <li>The new barrier shall be of compatible design, understated in character, and discernible from historic fabrics.</li> <li>The fixing of the new barrier shall minimize the damage to the granite base of the flight of steps as far as practicable.</li> </ul>

<b>B External works and setting (Cont'd)</b>					
<b>Impact on site setting and site elements</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
B-07	One of the underground public latrine will be decked over for pedestrian passage along Aberdeen Street, and the parapet walls will be removed	Parapet wall and flight of steps	Crowd control and pedestrian safety	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>At least one of the two entrances shall be retained i.e. the entrance at Staunton Street, if decking over the entrance along Aberdeen Street for public safety is necessary.</li> <li>Display corner within the site to present the cultural significance of this underground public latrine shall be provided.</li> <li>Detailed photographic and cartographic survey shall be properly carried out to the underground public latrine such that the affected items can be reversibly re-fabricated in future if necessary.</li> <li>The removed parapet wall shall be carefully salvaged and stored properly for future re-use.</li> </ul>



<b>C Construction of new building and major addition</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
C-01	A new structure known as “I-Cube”, a double volume fully enclosed function hall for public events, will be added between Block A and Block B connecting the existing floors on 2/F and 4/F of both blocks	Open courtyard between Blocks A and B  Part of the elevation of Blocks A and B facing the courtyard	To provide suitable interior space for large functions	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>The “I-Cube” could be enclosed by glass enclosure and shall be of light weight construction to minimize the visual impact to existing buildings and the courtyard.</li> <li>The supporting structure of the “I-Cube” shall be on two sides as far as practicable to provide a column free space in the middle of the courtyard so as to minimize the disturbance to the underground remains and the visual impact to the existing buildings as far as possible. Such measure is included in current proposal.</li> <li>The “I-Cube” shall be located away from the main entrance at Aberdeen Street and close to the 3rd plateau as far as practicable to minimize the visual impact to the buildings. Such measure is included in current proposal.</li> <li>The roof level which would be another suitable location to appreciate the historic buildings shall be opened to the public to compensate the portion of courtyard covered by the I-cube. Such measure is included in current proposal.</li> </ul>
C-02	Internal layout of Block A and Block B adjoining the “I-Cube”	Part of the elevation of Blocks A and B facing the courtyard  Internal layout of Block A & B, with some kitchen walls and parapet walls along the balcony altered for new rooms and connection to the “I-Cube”	To accommodate new rooms of supportive function for the “I- Cube”	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>The “I-Cube” shall be a structurally independent construction as far as practicable which shall not affect the structural stability of the existing building blocks.</li> <li>The “I-Cube” shall be detached from the elevation as far as practicable in order to minimize the impact.</li> <li>The proposed new rooms in the current design shall be added according to existing structural grids, which help to minimize the structural impact.</li> </ul>

<b>C Construction of new building and major addition (Cont'd)</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
C-03	Conversion of topmost floor of Block B into a high headroom roof top restaurant with mezzanine floor	Internal layout Elevation Structural integrity	<p>It is the design intent to transform the site into a new local landmark and icon.</p> <p>It is also the design intent to put the restaurant at the topmost floor and roof top of Block B, a strategic location. The anchor store effect of a restaurant can drive visitors to go up to higher level of the building, and therefore activates the pedestrian flow within the site to make the place sustainable.</p>	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>• The existing elevations of the topmost floor facing Hollywood Road and the courtyard shall be retained as far as possible to maintain the integrity of the façades featured by the horizontality and the rhythm of solid and void.</li> <li>• The new architecture for roof top restaurant could be constructed inside the kept façades and set back from the elevation, with the interior could be altered to fit the proposed restaurant use. Such measure is included in current proposal.</li> <li>• The new architecture for roof top restaurant shall be distinguishable from existing building fabrics and shall not replicate the existing design, avoiding misinterpretation to the public. It could be finished by glass enclosure with different appearance from the existing building. Such measure is included in current proposal.</li> <li>• The glass enclosure shall be of light weight construction to minimize the structural impact to existing building.</li> <li>• The existing geometric window openings, which are the round porthole windows and rectangular windows with architraves surround shall be retained. Such measure is included in current proposal.</li> <li>• Photographic and cartographic records shall be prepared before any works.</li> </ul>

<b>C Construction of new building and major addition (Cont'd)</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
C-04	Addition of canopy between Blocks A and B above the open courtyard	The open courtyard between Blocks A and B  The elevation of Blocks A and B facing the courtyard	To provide a weather proof space for holding large function at the courtyard.	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Such canopy shall be constructed of glass, which allows natural lighting to the courtyard without affecting the sense of openness. Such measure is included in current proposal.</li> <li>Structural investigation shall be carried out on existing structure before fixing to the existing blocks.</li> <li>Fixing detail and the structure of the canopy shall be light weight construction as far as practicable without extensive structural members dominating the elevation of the existing blocks.</li> </ul>
C-05	Addition of canopy on Block A elevation facing Staunton Street	Elevation of Block A facing Staunton Street	Adaptive re-use for practical needs	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>Such canopy shall be constructed of glass which allows natural lighting to area underneath and therefore would not hinder people to appreciate the building elevations. Such measure is included in the current proposal.</li> <li>Structural investigation shall be carried out on existing structure to ensure the fixing of the new canopy on the external walls would not affect the structural stability of the existing buildings.</li> <li>Fixing detail and the structure of the canopy shall be light weight construction as far as practicable without extensive structural members dominating the elevation of the existing blocks and the fixing to the existing structures shall be as minimal as possible.</li> </ul>
C-06	Addition of canopy on Block B elevation facing Hollywood Road	Elevation of Block B facing Hollywood Road	Adaptive re-use for practical needs	Acceptable impact with mitigation measures	Same as above

<b>C Construction of new building and major addition (Cont'd)</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
C-07	Addition of external lift tower and footbridge in front of Block B facing Hollywood Road	The 4th plateau and adjacent retaining wall  Elevation of Block B facing Hollywood Road	Adaptive re-use for practical needs	Acceptable impact with mitigation measures	<ul style="list-style-type: none"> <li>• The lift tower and its foundation shall be positioned away from the existing historic fabrics, including the retaining wall and the flight of granite steps as far as practicable</li> <li>• It shall be of compatible design, understated in character, and discernible from historic fabrics to minimize the visual impact.</li> <li>• The lift tower shall be a structurally independent construction as far as practicable which shall not affect the structural stability of the existing building and shall minimize the disturbance to historic fabrics as far as practicable.</li> <li>• Detailed investigation on existing structures shall be carried out before the construction of the lift tower.</li> </ul>



<b>D Part demolition/physical change to fabric</b>					
<b>Impact on the interior of Block A</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
D-01	Living units will be converted into shops, office, restaurant, studio, gallery, etc	Internal layout	For new adaptive uses	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out photographic and cartographic records of the existing building</li> </ul>
D-02	Openings on existing structural shear walls will be made	Existing structural wall	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out structural survey on existing structural condition of the building. Any changes to the interior shall not affect the structural stability of the building and shall minimize the disturbance to historic fabrics as far as practicable.</li> <li>New structural support shall be minimized in size as far as practicable without overwhelming the interior.</li> <li>Documentation shall be prepared during the course of works.</li> </ul>
D-03	Addition of new internal lift	Internal layout and structural integrity	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Same as above</li> </ul>
D-04	Addition new internal staircases	Internal layout and structure	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Same as above</li> </ul>
D-05	Some of the existing balconies facing Staunton Street at 1/F will be enlarged for the uses of restaurant, and studio/shops.	Floor slabs of balconies are extended out along the elevation facing Staunton Street	Alteration and addition works for new uses	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out structural survey on existing structural condition of the building. Any changes to the floor slabs shall not affect the structural stability of the building.</li> <li>New structural works for the enlarged slabs shall be minimized in size as far as practicable without dominating the elevation of the existing building block.</li> </ul>

<b>D Part demolition/physical change to fabric (Cont'd)</b>					
<b>Impact on the interior of Block B</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
D-06	Living units will be converted into studio, shops, gallery, office, artist-in residence, meeting room, cafe, restaurant, kitchen	Internal layout and structure	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out photographic and cartographic records of the existing building</li> </ul>
D-07	Openings on existing structural shear walls will be made	Existing structural wall	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out structural survey on existing structural condition of the building. Any changes to the interior shall not affect the structural stability of the building and shall minimize the disturbance to historic fabrics as far as practicable.</li> <li>New structural support shall be minimized in size as far as practicable without overwhelming the interior.</li> <li>Documentation shall be prepared during the course of works.</li> </ul>
D-08	Addition of new internal lift	Internal layout and structure	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Same as above</li> </ul>
D-09	Addition new internal staircases	Internal layout and structure	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Same as above</li> </ul>

<b>D Part demolition/destruction/physical change of the physical fabric (Cont'd)</b>					
<b>Impact on JPC Building</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
D-10	Convert into a restaurant	Internal layout	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out photographic and cartographic records of the existing building</li> </ul>
D-11	New internal staircase and vertical lifting platform will be introduced to connect the 1/F and the 2 <sup>nd</sup> plateau at the rear of the building.	Internal layout and rear elevation	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Carry out structural survey on existing structural condition of the building. Any changes to the interior shall not affect the structural stability of the building and shall minimize the disturbance to historic fabrics as far as practicable.</li> <li>New structural support shall be minimized in size as far as practicable without overwhelming the interior.</li> <li>Documentation shall be prepared during the course of works.</li> </ul>
D-12	Internal partitions will be altered to form larger room for restaurant.	Internal layout	Alteration and addition works for new uses and to comply with modern safety standards	Acceptable impact with mitigation measure	<ul style="list-style-type: none"> <li>Any changes to the interior shall not affect the structural stability of the building and shall minimize the disturbance to historic fabrics as far as practicable.</li> <li>Documentation shall be prepared during the course of works.</li> </ul>

<b>F New services and other</b>					
<b>Item</b>	<b>Proposed Works</b>	<b>Fabric affected</b>	<b>Reasons for changes</b>	<b>Impact Assessment</b>	<b>Mitigation measures</b>
F-01	Addition of sprinkler tanks/FS tank and transformer room at south-east corner of the site (at the junction between Staunton Street and Aberdeen Street) in front of the external public latrine	<p>External brickwall of the underground public latrine.</p> <p>The balcony of units on 1/F to 3/F of Block A facing Staunton Street</p> <p>Circulation between 1st plateau and 2nd plateau.</p> <p>Existing boundary wall above the rubble retaining wall along Staunton Street.</p>	<p>Practical needs</p> <p>Technical difficulties for other alternative locations</p>	Acceptable impact with mitigation measure	<p><u>For the underground public latrine</u></p> <ul style="list-style-type: none"> <li>• New addition/construction shall be an independent structure and introduced in a reversible manner so that it could be removed in the future without damaging the brick wall.</li> <li>• Existing louvre openings shall be utilized in the first place.</li> <li>• Whenever a larger opening is necessary, such new opening shall be made within existing recess on the brick wall.</li> <li>• Such opening shall be formed by removing the whole pieces of brick one by one rather than coring on the brick wall in order to minimize the damage on individual bricks. The historic fabrics shall be salvaged and stored properly for future restoration.</li> <li>• Even larger openings are required, such opening shall not disturb existing buttresses and granite plinth as far as practicable</li> <li>• Do not cover or block up the two existing low level ventilation openings and the existing grating and lintels as far as practicable.</li> <li>• Display corner shall be provided within the site to present the cultural significance of this underground public latrine.</li> <li>• Detail photographic and cartographic survey shall be properly carried out to the underground public latrine.</li> </ul> <p><u>For Block A balcony of units</u></p> <ul style="list-style-type: none"> <li>• Photographic and cartographic record shall be made before the works</li> <li>• The new structure shall be added in a way the existing structural grid is followed to minimize structural impact on existing building and the visual impact on the elevation.</li> </ul>



					<p><u>For the circulation between 1st plateau and 2nd plateau</u></p> <ul style="list-style-type: none"> <li>New internal staircase shall be provided in Block A connecting 1st and 2nd plateaus. Such measure included in current proposal.</li> </ul> <p><u>For existing boundary wall above ground</u></p> <ul style="list-style-type: none"> <li>The proposed new entrances for the transformer room shall be added without affecting the existing two brick ventilation shafts and the wrought iron vent pipes of the underground public latrine as far as practicable.</li> </ul>
F-02	The interior of the public latrine will be converted for the running of pipings and necessary utilities	Interior of the latrine	For practical needs (Remarks: all original toilet fittings and finishes had been removed and re-finished. The interior of the public latrine had been renovated with low authenticity.)	Acceptable impact with mitigation measure	<p><u>Existing parapet wall beside the flight of steps</u></p> <ul style="list-style-type: none"> <li>Existing mosaic wall finishes shall be removed and could be re-rendered by paint subject to further site investigation on existing condition</li> </ul> <p><u>Existing flight of steps</u></p> <ul style="list-style-type: none"> <li>Existing floor tiles covering the original granite steps shall be removed to expose the granite steps, subject to further site investigation on the existing condition.</li> </ul> <p><u>Interior</u></p> <ul style="list-style-type: none"> <li>The existing concrete ceiling and chamfered beams shall be repaired as far as practicable.</li> <li>Display corner shall be provided within the site to present the cultural significance of this underground public latrine.</li> <li>Photographic and cartographic record for the interior shall be prepared before works and as well as photo record and as built drawings after works.</li> </ul>

# 9

## MANAGEMENT

### 9.1 Future Management

The revitalization of the site is awarded to the operator - Musketeers Education and Culture Charitable Foundation Limited (Musketeers Foundation), with the support of Hong Kong Design Centre, Hong Kong Polytechnic University and the Hong Kong Design Institute of Vocational Training Council 同心教育文化慈善基金會有限公司」(同心基金).<sup>159</sup> Musketeers Foundation has set up a special purpose company to run the site and best fulfill the three objectives of the project, namely promotion of creative industries, heritage conservation and provision of public open space.

### 9.2 General

Continuous managing the change of a heritage place is the key to allow sustainable development while ensuring its cultural significance will not be compromised. In this chapter, management policies for continuous managing the changes of PMQ site are recommended.

### 9.3 Overall Management Policy

1. The PMQ shall not be managed as a monument, but as a functional heritage place.
2. The management of the change of PMQ shall be guided by its cultural significance and its appropriate interpretation. Any changes, new uses and alteration shall be in a way not compromising the cultural significance of the site.

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<sup>159</sup> *Background, and Invitation for Proposals (IFP)*. Retrieved on 4 January, 2010, from Commissioner for Heritage's Office., Website: <http://www.heritage.gov.hk>.

3. The PMQ site is a Graded 3 historic building and a site of archaeological interest. Any proposed works which may compromise the cultural significance of the site shall consult the Antiquities and Monument Office prior to any works.

## **9.4 Impacts to the Historic Building and the Site after Occupation**

The following potential impacts that may affect the historic fabrics shall be kept monitored after it is occupied and opened to the public:

1. Addition of new visitor facilities, such as signage at public areas.
2. Vandalism by public, such as graffiti on rubble granite retaining wall.
3. Upgrading of the facilities by different tenants inside the units.

## **9.5 Manage the Change**

A proper management strategy shall be established at different stages for continuous managing the change of the historic place to ensure its cultural significance would not be compromised in the future.

### **9.5.1 Before works**

1. Photographic and cartographic records shall be prepared.
2. Condition survey on existing condition of the character defining elements and other significant elements shall be carried out.

### **9.5.2 During the course of works**

#### **A Provide protection before any works**

1. Adequate protective and monitoring measures shall be provided, such as hoardings, fencing, scaffolding and tarpaulin protection to protect the historic fabrics above and below ground before commencement of works.
2. When carrying out any necessary underground excavation, sufficient monitoring and protective measures as well as temporary supports shall be provided and well-maintained throughout the whole construction period. As the site is in the List of Sites of Archaeological Interest in Hong

Kong, any proposed works which may affect the underground significant fabrics shall consult the Antiquities and Monument Office prior to any works.

**B Provide specifications and drawings**

1. Detailed specifications and drawings specifying the extent of works and acceptable standards in relation to the conservation works shall be incorporated into the tender document.
2. Any requirements or standards in relation to the conservation works as specified in the Conservation Management Plan shall be incorporated into the tender documents. This includes but not limited to the conservation guidelines and treatments of the character defining elements, and list out all the elements to be preserved and salvaged.
3. Restoration works such as re-open the site entrances along the boundary wall shall be clearly illustrated in drawings and incorporated into the tender document.

**C Site supervision and documentation**

1. Periodic site supervision and monitoring by conservation specialist shall be carried out throughout the conservation process to ensure the conservation works to be properly conducted on site and the quality of the workmanship is up to the specifications and standards. The frequency and level of supervision should be increased at different critical works stage when close inspection and monitoring is required. This supervision staff shall be provided by the main operator or the contractor. A resident project clerk of work with conservation background is suggested.
2. Documentation of the whole conservation process during the course of the works is necessary, such as site progress photo, record drawings and all kinds of textual of other records shall be well-documented. This is important to record all the conservation history and is essential as a tool to understand the authenticity of the building fabric and help to identify between historic fabrics and new works. Progress photos shall be taken at least bi-weekly or other frequency that fit the site progress meeting and to be incorporated in the site report.

**9.5.3 After completion of the works**

**A Control of physical intervention**

1. Photographic and cartographic records shall be prepared after completion of the works.
2. Condition survey on the condition of the character defining elements and other significant elements after completion of the works shall be prepared.



3. The operator with the advice from conservation specialist shall prepare “**operation and maintenance manual**” and “**tenancy guidelines**” to provide guidance for the site operator and individual tenant to use the historic buildings and the site, to define clearly the areas which are under the central management and the areas under the tenants. Such manual shall clearly define the works which are allowed or not allowed inside the tenant units and at the common area.
4. The manual and guideline shall list out clearly the building fabrics which are not allowed to be altered or change, which shall include all the character defining elements as listed out in this report. This shall be in a format to be easily understandable, with photos and location clearly marked.
5. Any proposed physical intervention shall be based on this Conservation Management Plan and is vital to remember the two underlying principles of good heritage conservation practice – minimal intervention and reversibility, particularly to the character defining elements. This is important when deciding modification or alteration in the future to suit the new needs.

#### B Identify major and minor intervention

1. The manual and guideline shall clearly define future intervention works as large scale “major” intervention and “minor” intervention for on-going management.
2. Major interventions are those that would alter the significant building fabric and the character defining elements, including the external appearance, building scale, and the change of the building use.
3. Minor intervention can be considered for those that would alter the building fabric of low heritage values.
4. Intervention to elements with no heritage value is not considered to be heritage management activity, provided that the proposed works would not affect the integrity of the heritage place.
5. For large scale renovation works or works involving major intervention, the Conservation Management Plan shall be reviewed and updated, and consult conservation specialist and the Antiquities and Monument Office, to assess the impacts of the proposed works. All works shall be well-documented.
6. The frequency of review of the Conservation Management Plan shall be at least once a year or to be changed based on the changing conditions to be advised by conservation specialist.

## C Documentation for all works carried out in the site

All kinds of works including both major works and routine repair works shall be well-documented for on-going history, which is important to establish a clear record for the conservation history on repairs, conservation, restoration, development or other actions affecting the building and the site in the future.

### **9.5.4 Routine management and maintenance**

#### Formulate management and maintenance procedures and system

1. Establish a list of routine maintenance tasks for the frontline caretaker and workman, such as general cleaning works, check if any drainage is blocked, the conditions of the historic building elements, such as the rubble retaining walls and the trees.
2. The “operation and maintenance manual” and “tenancy guidelines” shall be made available to the frontline building management, site operation staff, technicians and workmen who are responsible for supervising or carrying out the routine maintenance or repair works, and to the tenants who are using the historic place.
3. The required information shall be summarized and documented in a simple and easy format.

### **9.5.5 Adoption, monitoring and review**

1. Constant review, update and revise of “operation and maintenance manual” and “tenancy guidelines” when the circumstances change to ensure management policies are effectively implemented in the future
2. The frequency of review of the “operation and maintenance manual” shall be at least once a year or to be changed based on the changing conditions to be advised by conservation specialist.

## **9.6 Suggestion on the content of “operation and maintenance Manual” and “tenancy guidelines”**

### **9.6.1 Care to the historic fabric**

1. Demarcate by floor plans to clearly indicate the area under management of main operator and the areas under tenants' own management.
2. “Dos and Don'ts list for the tenants inside their tenants units shall be prepared, which could be extracted from the conservation guidelines in this report: This could be included but not limited to the following:
  - Don't – enlarge existing openings or make new openings on the structural walls which is subject to approval;
  - Don't – change the building elevations by addition of permanent structures
3. The new signage at common areas and for each studio shall be controlled which may affect the building elevation. Signage guideline shall be prepared by the main operator to demarcate the area which allows individual design.

### **9.6.2 Public visiting**

As the site will be opened for the public, some management strategies shall be established to encourage the public to re-visit the site:


1. The activities, public events and exhibitions, etc shall be well organised and promoted.
2. The openings hour and visiting time by the public in particular for studios shall be agreed with the tenants before the tenancy starts.

## APPENDIX I – LIST OF POLICE QUARTERS IN HONG KONG (1950 – PRESENT)

### Police quarters built in the 1950s and 1970s.



Note:

1. Information of this table is for reference only. It may not reflect the exact and latest situation of all the police stations in Hong Kong. Further verification of information is recommended.
2. Information of this table is arranged chronologically in terms of construction year and alphabetically in terms of district of the police quarters.
3. Items marked with “(I)” represent the quarters as individual buildings, while items marked with “(A)” represent the quarters attached to respective police stations.

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Central (I)	Hollywood Road Police Married Quarters / 35 Aberdeen Street	1950-51	3	2000	/	Included two blocks housing 165 families. <sup>160</sup>	

<sup>160</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1950-51*, Hong Kong, Hong Kong Government Printer, 1951, p. 14.




District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Tsim Sha Tsui (I)	Canton Road Rank and File Married Quarters / At the junction of Canton Road and Austin Road	1950-53	/	1997	1997	Included three blocks housing 375 families, <sup>161</sup> a co-operative shop, medical clinic, recreation centre, children's playground and garages for police vehicles. <sup>162</sup>	
Pat Heung (A)	Pat Heung Police Station	1951-52	/	Unknown	Unknown	Containing barrack accommodations for 30 men, two flats for the officer-in-charge and one sub-inspector, normal police offices, garage accommodation and a drill yard. <sup>163</sup>	
Sha Tau Kok (A)	Sha Tau Kok Police Station	1951-52	/	Unknown	Unknown	Providing barrack accommodations with mess and recreation rooms for 74 rank and files, six non-commissioner officers, four sub-inspectors, an inspector and one female searcher. <sup>164</sup>	

<sup>161</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1950-51*, Hong Kong, Hong Kong Government Printer, 1951, p. 14.

<sup>162</sup> Director of Public Works, *Annual Departmental Report 1950-51*, Hong Kong, Hong Kong Government Press, 1951, p.4.

<sup>163</sup> Director of Public Works, *Annual Departmental Report 1951-52*, Hong Kong, Hong Kong Government Press, 1952, p. 5.

<sup>164</sup> Director of Public Works, *Annual Departmental Report 1951-52*, Hong Kong, Hong Kong Government Press, 1952, p. 5.


District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Central (A)	Government House Police Post	1952-53	Declared monument for Government House	Unknown	Unknown	Providing accommodations for 15 rank and files and one officer. <sup>165</sup>	
Sha Tau Kok (A)	Sha Tau Kok Village Police Post	1952-53	/	Unknown	Unknown	Including a recreation room and barrack accommodations for 16 rank and files. <sup>166</sup>	
Sham Shui Po (A)	Sham Shui Po Police Station	1953-54	Grade 2 for Sham Shui Po Police Station	/	/	Two new wings added to Shum Shui Po Police Station for providing additional barrack accommodations for 144 men and rooms for 7 single inspectors as well as further recreational facilities. <sup>167</sup>	
Central (I)	Victoria Prison Compound, Old Bailey Street	1954-55	Declared monument for Victoria Prison Compound	Unknown	Unknown	One of the cell blocks of Victoria Prison was used as temporary police quarters. These quarters were improved by the provision of a communal kitchen, an additional staircase and other minor alterations. <sup>168</sup>	

<sup>165</sup> Director of Public Works, *Annual Departmental Report 1952-53*, Hong Kong, Hong Kong Government Press, 1953, p. 5.

<sup>166</sup> Director of Public Works, *Annual Departmental Report 1952-53*, Hong Kong, Hong Kong Government Press, 1953, p. 5.

<sup>167</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1953-54*, Hong Kong, Hong Kong Government Printer, 1954, p. 17.



<sup>168</sup> Director of Public Works, *Annual Departmental Report 1954-55*, Hong Kong, Hong Kong Government Press, 1955, p. 13.

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Wan Chai (A)	Marine Police Harbour Station	1954-55	/	Unknown	Unknown	The Marine Station building contained the usual station offices, barrack accommodation, messing and recreational facilities for 24 Non-Commissioner Officers and 130 constables and rooms for 12 single Inspectors.  Married quarters for three inspectors were also provided in a block joined to the main building. <sup>169</sup>	
Yau Ma Tei (A)	Yau Ma Tei Police Station	1954-56	Grade 2 for Yau Ma Tei Police Station	/	/	An additional wing was constructed to accommodate 17 unmarried inspectorate officers and 160 unmarried rank and files. It contains the usual dining room, rest room and recreational facilities. <sup>170</sup>	
Lok Ma Chau (A)	Lok Ma Chau Police Station	1955-56	Grade 2 for Lok Ma Chau Police Station	Unknown	Unknown	A new single-storey building consisted of an additional barrack accommodation. <sup>171</sup>	

<sup>169</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1954-55*, Hong Kong, Hong Kong Government Printer, 1955, p. 17.

<sup>170</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1955-56*, Hong Kong, Hong Kong Government Printer, 1956, p. 30 and Director of Public Works, *Annual Departmental Report 1954-55*, Hong Kong, Hong Kong Government Press, 1955, p. 12.

<sup>171</sup> Director of Public Works, *Annual Departmental Report 1955-56*, Hong Kong, Hong Kong Government Press, 1956, p. 13.



District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Western (A)	Western Police Station Married Quarters / Western Police Station compound	1955-56	/	2006	/	Provided 104 disciplined services quarters for the married officers. <sup>172</sup>	
Mong Kok (A)	Kowloon Police Headquarters	1956-57	Grade 2 for Old Kowloon Police Headquarters	Unknown	Unknown	A barrack huts were built for 96 rank and file officers. <sup>173</sup>	
Wan Chai (I)	Arsenal Street Police Headquarters (where the present Wan Chai District Headquarters and Divisional Police Station is situated)	1956-1957	/	Mid-1980s	1987	Provided 300 rank and file married quarters. <sup>174</sup>	

<sup>172</sup> Audit Commission, *Chapter 8 of the Director of Audit*. Retrieved on 30 December 2010, Website: [http://www.aud.gov.hk/pdf\\_e/e51ch08.pdf](http://www.aud.gov.hk/pdf_e/e51ch08.pdf).

<sup>173</sup> Director of Public Works, *Annual Departmental Report 1956-57*, Hong Kong, Hong Kong Government Press, 1957, p. 10.

<sup>174</sup> Public Works Report, *Public Works Recurrent, Hong Kong*, Hong Kong, Hong Kong Government, 1958, p. 59.




District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Wan Chai (I)	Wan Chai Police Married Quarters / Wan Chai Police Station (or Eastern Police Station)	1956-57	Grade 2 for Wan Chai Police Station	2006	/	Appearing as a U-shaped five-storey building, accommodations for unmarried inspectorate officers and married quarters for housing 40 rank and file families were provided. <sup>175</sup>  The site was formerly the Indian Married Quarters completed in 1930. <sup>176</sup>	
Fanling (I)	Fan Garden Government Police Married Quarters / Jockey Club Road	1957	/	/	/	Comprising two five-storey blocks of rank and file married quarters providing 200 flats and barrack accommodations for 200 Pakistanis. Ancillary facilities include mess and recreation rooms. <sup>177</sup>	
Tsuen Wan (I)	Tsuen Wan Junior Police Officers' Married Quarters / New Territories South Operational Base	Around 1958	/	2002	2002	Provided accommodations for inspectors and rank and file officers.	

<sup>175</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1955-56*, Hong Kong, Hong Kong Government Printer, 1956, p. 30.

<sup>176</sup> See *Public Works, Administrative Reports for the year 1930 (1996)*. Retrieved 17 January 2011, from Hong Kong Government Reports Online (1853 - 1941) under the University of Hong Kong, Web Site: <http://sunzi1.lib.hku.hk/hkgro/view/a1930/751.pdf>, Q 59.

<sup>177</sup> Public Works Report, *Public Works Recurrent, Hong Kong*, Hong Kong, Hong Kong Government, 1955-56, p. 12.



District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Mui Wo (A)	Mui Wo Police Station	1958-59	/	Unknown	Unknown	Providing quarters for one married and one single inspector with barrack accommodations for 27 rank and files. <sup>178</sup>	
Cheung Sha Wan (I)	Cheung Sha Wan Police Rank and File Married Quarters / At the junction of Cheung Sha Wan Road and Tonkin Street	1959-64	/	2003	2007-08	Included five connected blocks housing 826 rank and file married quarters, a 24-classroom primary school for 1080 children, medical and dental clinics and a co-operative store. <sup>179</sup>	
Lantau Island (A)	Shek Pik Police Post	1959-60	/	Unknown	Unknown	Providing accommodations for one inspector and 12 rank and files in barracks. <sup>180</sup>	
Tates Cairn (A)	Tate's Cairn Police Post	1959-60	/	Unknown	Unknown	Providing barrack accommodations for 15 rank and files. <sup>181</sup>	

<sup>178</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1958-59*, Hong Kong, Hong Kong Government Printer, 1959, p. 10.

<sup>179</sup> *Ibid.*


<sup>180</sup> *Ibid.*

<sup>181</sup> *Ibid.*

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Tai Po (I)	Tai Po Junior Departmental Quarters	1960	/	/	/	Providing 45 flats for disciplined services and 46 flats for non-disciplined services. <sup>182</sup>	
Aberdeen (A)	Inspectorate Married Quarters / Hong Kong Police College (former Police Training School)	Probably around late 1950s to 1960s	/	/	/	Comprising four blocks.	
Aberdeen (A)	Wong Chuk Hang Police Rank and File Married Quarters / Hong Kong Police College (former Police Training School)	1960s	/	/	/	Comprising two eleven-storey connected blocks.	
Happy Valley (I)	Blue Pool Road	1960-61	Unknown	Unknown	Unknown	Providing 60 married quarters for inspectors. <sup>183</sup>	

<sup>182</sup> Legislative Council Panel on Housing, *Proposed Use of Surplus Home Ownership Scheme Flats for Reprovisioning Departmental Quarters for the Disciplined Services*. Retrieved on 12 January 2011, Website: [http://www.legco.gov.hk/yr08-09/english/sc/sc\\_lcm/report/documents/t7-e.pdf](http://www.legco.gov.hk/yr08-09/english/sc/sc_lcm/report/documents/t7-e.pdf).

<sup>183</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1960-61*, Hong Kong, Hong Kong Government Printer, 1961, p. 11.

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Tiu Keng Leng (A)	Rennie's Mill Police Post	1960-61	/	Unknown	Unknown	Providing accommodations for 1 Inspector and 22 rank and files. <sup>184</sup>	
Ho Man Tin (I)	Tin Kwong Road Police Rank and File Married Quarters / Tin Kwong Road	1960-62	/	Before 2005	2005	Provided 716 rank and file married quarters. <sup>185</sup> The quarters include a primary school for 900 children. <sup>186</sup>  Present site is now occupied by residential development Celestial Heights.	
Shek Kip Mei (A)	Shek Kip Mei Sub-Divisional Police Station	1961-62	/	Unknown	Unknown	Housing three married and eight single junior officers and have barrack accommodations for 125 rank and file officers. <sup>187</sup>	
Kowloon City (A)	Airport Station	1962-63	/	Unknown	Unknown	Provided accommodation for 73 officers <sup>188</sup>	

<sup>184</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1960-61*, Hong Kong, Hong Kong Government Printer, 1961, p. 11.



<sup>185</sup> *Ibid.*

<sup>186</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1962-63*, Hong Kong, Hong Kong Government Printer, 1963, p. 9.

<sup>187</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1961-62*, Hong Kong, Hong Kong Government Printer, 1962, p. 7.

<sup>188</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1962-63*, Hong Kong, Hong Kong Government Printer, 1963, p. 8.




District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Kowloon Tong (I)	Ede Road Government Quarters/ 3-5 Ede Road	1962-64	/	/	/	Provided 42 married accommodations for junior officers. <sup>189</sup>	
Aberdeen (A)	Aberdeen Sub-Divisional Station	1963-64	/	Unknown	Unknown	Provided barrack accommodations for 199 rank and files and accommodation for 4 single junior officers and 3 married junior officers. <sup>190</sup>	
Ho Man Tin (I)	Ho Man Tin Hill	1963-64	/	2006	Unknown	Provided 70 married accommodations for junior officers. <sup>191</sup>	
Ping Chau (A)	Ping Chau Police Post	1963-64	/	Unknown	Unknown	Providing barrack accommodations for 8 rank and files. <sup>192</sup>	

<sup>189</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1963-64*, Hong Kong, Hong Kong Government Printer, 1964, p. 13.

<sup>190</sup> *Ibid.*

<sup>191</sup> *Ibid.*

<sup>192</sup> *Ibid.*

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Pok Fu Lam (A)	Pok Fu Lam Sub-Divisional Station	1963-64	/	Unknown	Unknown	Providing barrack accommodations for 199 rank and files and accommodation for four single junior officers and three married junior officers. <sup>193</sup>	
Aberdeen (A)	Marine Operational Base, Aberdeen	1963-65	/	/		Provided barrack accommodation for 42 rank and files, 70 rank and files quarters and accommodations for seven married junior officers. <sup>194</sup>	
Kwun Tong (A)	Kwun Tong Divisional Station	1963-65	/	Unknown	Unknown	Providing barrack accommodations for 348 rank and files and accommodations for 10 single junior officers and 3 married junior officers. <sup>195</sup>	
Kwu Tung (A)	Beas Stables	1963-65	/	Unknown	Unknown	Comprising two married accommodations for junior officers. <sup>196</sup>	
Lamma Island (A)	Lamma Police Post	1963-65	/	Unknown	Unknown	Providing barrack accommodations for 8 rank and files. <sup>197</sup>	

<sup>193</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1963-64*, Hong Kong, Hong Kong Government Printer, 1964, p. 13.

<sup>194</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1964-65*, Hong Kong, Hong Kong Government Printer, 1965, p. 51.

<sup>195</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1963-64*, Hong Kong, Hong Kong Government Printer, 1964, p. 13.

<sup>196</sup> *Ibid.*

<sup>197</sup> *Ibid.*

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Mong Kok (A)	Mong Kok Divisional Station	1963-65	/	Unknown	Unknown	Providing barrack accommodations for 665 rank and files and accommodation for 24 single junior officers and three married junior officers. <sup>198</sup>	
Tai Lam (A)	Marine Operational Base, Tai Lam	1963-65	/	Unknown	Unknown	Providing barrack accommodations for 42 rank and files, 63 rank & file quarters and accommodation for seven married junior officers. <sup>199</sup>	
Tai Po (A)	Plover Cove Police Station	1963-65	/	Unknown	Unknown	Providing barrack accommodations for 27 rank and files and accommodation for 1 single junior officer and 1 married junior officers. <sup>200</sup>	
Tai Po Kau (A)	Marine Operational Base, Tai Po Kau	1963-65	/	Around 1992	Around 1992	Provided barrack accommodations for 21 rank and files and five accommodations for single junior officers. <sup>201</sup>	
Yuen Long (A)	Yuen Long Divisional Station	1963-65	/	Unknown	Unknown	Providing barrack accommodation for 348 rank and files and accommodations for seven single junior officers and three married junior officers. <sup>202</sup>	

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<sup>198</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1963-64*, Hong Kong, Hong Kong Government Printer, 1964, p. 13.

<sup>199</sup> *Ibid.*

<sup>200</sup> *Ibid.*

<sup>201</sup> *Ibid.*

<sup>202</sup> *Ibid.*


District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
(A)	Police Training Contingent Depot	1963-65		Unknown		Providing barrack accommodations for 416 rank and files and accommodations for 34 single junior officers and two married junior officers. <sup>203</sup>	
North Point (I)	Tanner Road Police Married Quarters / Tanner Road	1964		Around 2006		Comprised seven 11-storey blocks and one 6-storey block providing 669 rank and files married quarters. Ancillary facilities included a 30-classroom primary school, a medical clinic and several co-operative stores. <sup>204</sup>	
Tai Lam Chung (I)	Tai Lam Chung Police Married Quarters / Castle Peak Road – Tai Lam	1965		Mid-2000s		Provided 63 married quarters. <sup>205</sup>	

<sup>203</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1963-64*, Hong Kong, Hong Kong Government Printer, 1964, p. 13.

<sup>204</sup> Director of Public Works, *Annual Departmental Report 1960-61*, Hong Kong, Hong Kong Government Press, 1961, p. 13.

<sup>205</sup> Xianggang jinwuchu 香港警務處 [Hong Kong Police Force].. Retrieved on 3 January 2011, Website: [http://www.soobb.com/Destination\\_Wiki\\_45625\\_5.html](http://www.soobb.com/Destination_Wiki_45625_5.html).





District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Tai Lam Chung (I)	Tai Lam Marine Police Base Inspectors Quarters / Castle Peak Road – Tai Lam	1965-66	/	/	/	Providing accommodation for eight inspectorate and 63 rank and file quarters. <sup>206</sup>	
Kennedy Town (I)	Kennedy Town Police Married Quarters / 14-18 Ka Wai Man Road	1966	/	2002	Block A was demolished in 2010	Comprised three 12-storey blocks with 686 married quarters. <sup>207</sup> Ancillary facilities included a 30-classroom primary school in a separate block of six storeys, four shops, a guard room and barracks on the ground floor of one of the blocks. <sup>208</sup>	
Sha Tin (A)	Sha Tin Police Station	1966-67	/	Unknown	Unknown	Provided accommodations for 22 rank and files with recreational room and toilet facilities. <sup>209</sup>	

<sup>206</sup> Director of Public Works, *Annual Departmental Report 1965-66*, Hong Kong, Hong Kong Government Press, 1966, p. 17.

<sup>207</sup> *New JPO Quarters Projects*. Retrieved on 7 January 2011, from Issue 631 of Offbeat, the newspaper of the Hong Kong Police Force, Website: <http://www.police.gov.hk/offbeat/631/inbrief.html>.




<sup>208</sup> *Police Quarters – Police Quarters Hong Kongs, Reference File HKRS70-1-183* from Hong Kong Public Records Office, Hong Kong SAR Government.

<sup>209</sup> Director of Public Works, *Annual Departmental Report 1966-67*, Hong Kong, Hong Kong Government Press, 1967, p. 19.

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Ho Man Tin (I)	Prince Margaret Road	1967	/	Unknown	Unknown	Comprised three 11-storey blocks providing 70 married accommodations for inspectors. <sup>210</sup>	
Mid-Levels (I)	25 Park Road Government Quarters / 25 Park Road	1967	/	/	/	Comprised two 12-storey blocks providing 48 quarters for inspectors. Ancillary facilities included children's play areas, car parks and caretakers' quarters. <sup>211</sup>	

<sup>210</sup> Hong Kong Police, *Annual Report by the Commissioner of Police 1963-64*, Hong Kong, Hong Kong Government Printer, 1964, p. 13.


<sup>211</sup> *Police Quarters – Police Quarters Hong Kongs*, Reference File HKRS70-1-183 from Hong Kong Public Records Office, Hong Kong SAR Government.

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Wong Tai Sin (I)	Wong Tai Sin Police Married Quarters / 3 Chun Yan Street	1967	/	2002	2007	Comprised four 12-storey blocks providing 791 married quarters with separate kitchens, toilets and verandahs. Ancillary facilities included four co-operative shops and a government polyclinic. <sup>212</sup>	
Yuen Long (I)	Au Tau Departmental Quarters / Yau Shin Street, Au Tau	1968	/	2006	Unknown	Comprised six blocks providing 205 married quarters for disciplines services and 139 quarters for non-disciplined services. <sup>213</sup>	
Causeway Bay (I)	Cloud View Road Police Quarters / 35-37 Cloud View Road	1969	/	Before 2002	Unknown	Comprised two 12-storey blocks providing 48 married accommodations for junior officers. Ancillary facilities included a children's playground, car parks and caretakers' quarters. <sup>214</sup>	

<sup>212</sup> *Police Married Quarters*, Reference File HKRS70-1-452-104 from Hong Kong Public Records Office, Hong Kong SAR Government.



<sup>213</sup> Legislative Council Panel on Housing, *Proposed Use of Surplus Home Ownership Scheme Flats for Reprovisioning Departmental Quarters for the Disciplined Services*. Retrieved on 12 January 2011, Website: [http://www.legco.gov.hk/yr08-09/english/sc/sc\\_lcm/report/documents/t7-e.pdf](http://www.legco.gov.hk/yr08-09/english/sc/sc_lcm/report/documents/t7-e.pdf).

<sup>214</sup> *Police Quarters – Police Quarters Hong Kong*, Reference File HKRS70-1-1-183 from Hong Kong Public Records Office, Hong Kong SAR Government.

District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Central (I)	Old Bailey Street Junior Police Officer Married Quarters / 17A Old Bailey Street	1970s	/	/	(a)	Comprising one block.	
Kwai Chung (I)	Kwai Chung Police Married Quarters / 997 Kwai Chung Road	1978	/	Mid-2000s	2007	Comprised four 20-storey blocks providing 819 rank and files married quarters. Ancillary facilities included co-operative shops, a dental clinic as well as a polyclinic. <sup>215</sup>	

<sup>215</sup> *Police Quarters – Police Quarters – H.K. – NC+DIB, Reference File HKRS70-7-159-1* from Hong Kong Public Records Office, Hong Kong SAR Government.



District	Designation / Location	Construction Year	Grading	Vacated Year	Year of Demolition	Quarters	Image
Ho Man Tin (I)	Ho Man Tin Police Married Quarters / 81 Chung Hau Street	1979	/	Mid-2000s	2008	Provided 470 rank and files married quarters. <sup>216</sup>	
Sha Tin (I)	Sha Tin Police Married Quarters / 3 Fung Shun Street	1979	/	Mid-2000s	2007	Comprised two blocks providing 380 rank and files married quarters. <sup>217</sup>	

<sup>216</sup> Legislative Council Panel on Housing, *Proposed Use of Surplus Home Ownership Scheme Flats for Reprovisioning Departmental Quarters for the Disciplined Services*. Retrieved on 12 January 2011, Website: [http://www.legco.gov.hk/yr08-09/english/sc/sc\\_lcm/report/documents/t7-e.pdf](http://www.legco.gov.hk/yr08-09/english/sc/sc_lcm/report/documents/t7-e.pdf).

<sup>217</sup> Legislative Council Panel on Housing, *Proposed Use of Surplus Home Ownership Scheme Flats for Reprovisioning Departmental Quarters for the Disciplined Services*. Retrieved on 12 January 2011, Website: [http://www.legco.gov.hk/yr08-09/english/sc/sc\\_lcm/report/documents/t7-e.pdf](http://www.legco.gov.hk/yr08-09/english/sc/sc_lcm/report/documents/t7-e.pdf).



Police quarters built after the 1980s.



Note:

Information of this table is for reference only. It may not reflect the exact and latest situation of all the police stations in Hong Kong. Further verification of information is recommended.

Information of this table is arranged chronologically in terms of construction year and alphabetically in terms of district of the police quarters.




Items marked with “(I)” represent the quarters as individual buildings, items marked with “(A)” represent the quarters attached to respective police stations.

District	Designation / Location	Construction Year	Grading	Quarters	Image
Chai Wan (I)	Chai Wan Police Married Quarters / 18 Tsui Wan Street	Unknown	/	Comprising two blocks.	
Kwun Tong (I)	Shun Lee Disciplined Services Quarters / 32 Lee On Road	2000	/	Comprising 8 blocks.	

District	Designation / Locatioin	Construction Year	Grading	Quarters	Image
Lai King (I)	Lai King Disciplined Services Quarters / 18 Lai Chi Ling Road, Lai King	2001	(b)	Comprising three 38-storey blocks providing more than 380 units to the Police Force. Ancillary facilities include car parks, club house, jogging tracks, children's playground and basketball courts. <sup>218</sup>	
Ngau Chi Wan (I)	Fung Shing Street Disciplined Services Quarters / 55 Fung Shing Street, Ngau Chi Wan	Unknown	(c)	Comprising three blocks.	



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<sup>218</sup> *Chuji jingwu ren yuan sushe tiaolian jihua* 初級警務人員宿舍調遷計劃 [Transfer of quarters of the junior police officers]. Retrieved on 12 January 2011, from Issue 714 of Offbeat, the newspaper of the Hong Kong Police Force, Website: <http://www.police.gov.hk/offbeat/732/chi/p03.htm>.



District	Designation / Location	Construction Year	Grading	Quarters	Image
Sau Mau Ping (I)	Sau Mau Ping Disciplined Services Quarters / 1 Wo Hong Path, Sau Mau Ping	2002	(d)	Comprising two 36 and 37-storey blocks with the provision of 584 living units, of which 494 units are provided for the Police Force. <sup>219</sup>	
Shek Kip Mei (I)	Shek Kip Mei Staff Quarters / 9 Nam Shan Chuen Road	Unknown	(e)	Unknown	
Sheung Shui (I)	Sheung Shui Police Married Quarters / 5 Po Wing Road	Unknown	(f)	Comprising three blocks.	

<sup>219</sup> *Shenqing sushe yugao* 申請宿舍預告 [Preview of the application of quarters]. Retrieved on 12 January 2011, from Issue 732 of Offbeat, the newspaper of the Hong Kong Police Force, Website: <http://www.police.gov.hk/offbeat/732/chi/p03.htm>.



District	Designation / Location	Construction Year	Grading	Quarters	Image
Tai Kok Tsui (I)	West Kowloon Disciplined Services Quarters / 22 Fuk Lee Street	2002	(g)	Comprising two 37-storey blocks with the provision of 540 living units, of which 439 units are provided for the Police Force. <sup>220</sup>	
Tsing Yi (I)	Tsing Yi Police Married Quarters / 15 Tsing Yi Heung Sze Wui Road	Unknown	(h)	Comprising two blocks.	

<sup>220</sup> *Shenqing sushe yugao* 申請宿舍預告 [Preview of the application of quarters]. Retrieved on 12 January 2011, from Issue 732 of Offbeat, the newspaper of the Hong Kong Police Force, Website: <http://www.police.gov.hk/offbeat/732/chi/p03.htm>.

District	Designation / Location	Construction Year	Grading	Quarters	Image
Tuen Mun (I)	Tuen Mun Wu Hong Police Quarters / 8 Wu Hong Street	2010		Comprising two blocks providing 336 quarters units. Ancillary facilities include a clubhouse, common recreational facilities and parking spaces. <sup>221</sup>	
Yuen Long (I)	Yuen Long Junior Police Officers Married Quarters / 150 Kau Yuk Road	Unknown		Comprising one block.	

<sup>221</sup> *New Quarters Ready Early Next Year*. Retrieved on 5 January 2011, from Issue 900 of Offbeat, the newspaper of the Hong Kong Police Force, Website: <http://www.police.gov.hk/offbeat/900/eng/>.

## **APPENDIX II**

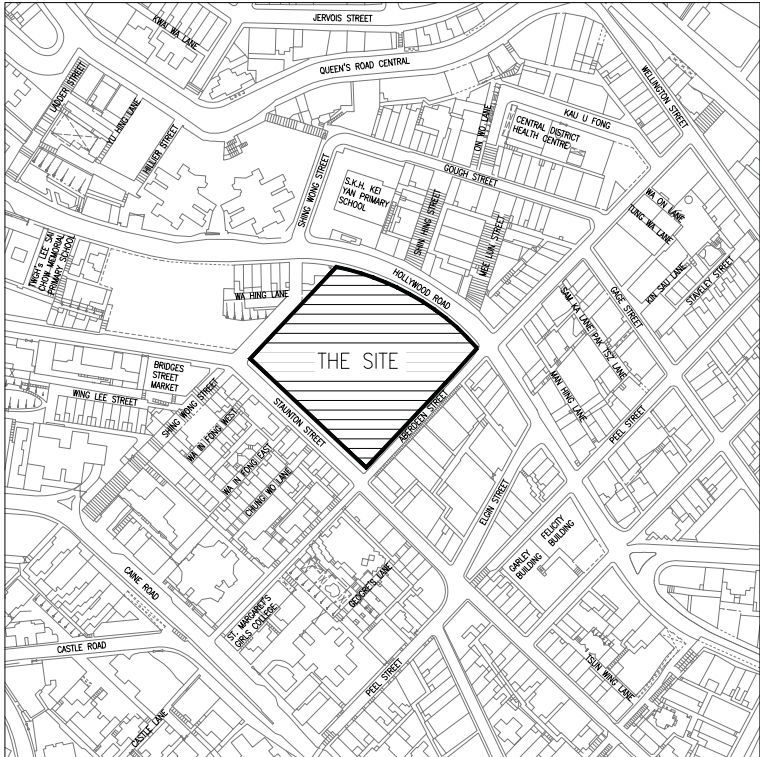
### **EXISTING RECORD DRAWINGS**

List of Architectural Record Drawings

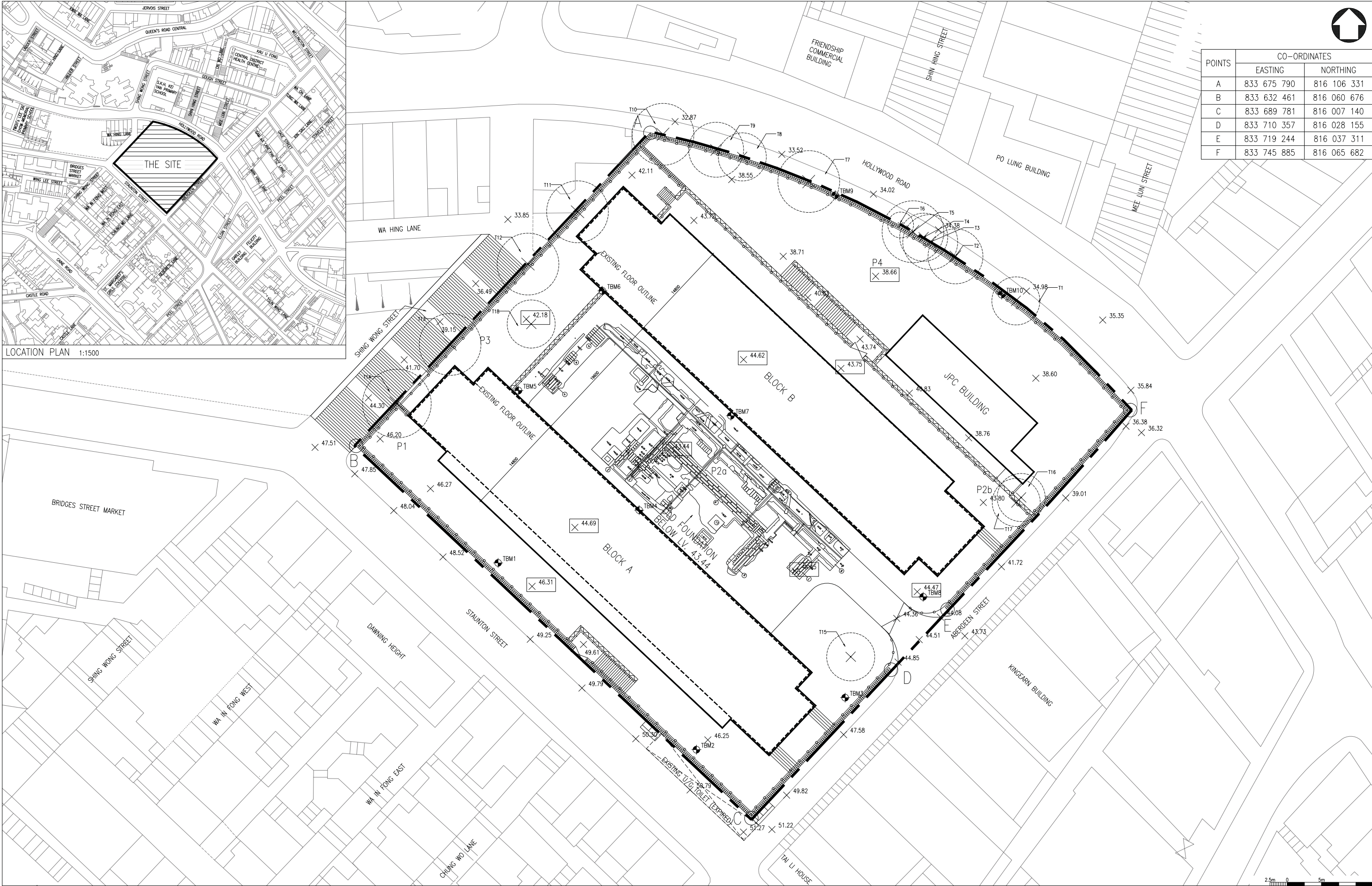
Drawing No.	Drawing Title	Drawing Date/Drawing Received Date
AB/7955/HE/GP001	Site Plan (Heritage Elements)	18 February 2011
AB/7955/XA002	Lower Terrace Floor Plan – Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA003	Ground Floor Plan - – Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA004	First Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA005	Second Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA006	Third Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA007	Fourth Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA008	Fifth Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA009	Sixth Floor Plan - Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA010	Seventh Floor Plan – Block A & Roof Plan – Block B (Existing & Demolition)	19 December 2010
AB/7955/XA011	Roof Plan – Block A & Upper Roof Plan – Block B (Existing & Demolition)	19 December 2010
AB/7955/XA012	Upper Roof Plan – Block A (Existing & Demolition)	19 December 2010
AB/7955/XA013	South West Elevation – Block A (Existing & Demolition)	19 December 2010
AB/7955/XA014	North West Elevation – Block A and Block B (Existing & Demolition)	19 December 2010
AB/7955/XA015	North East Elevation – Block B (Existing & Demolition)	19 December 2010
AB/7955/XA016	South East Elevation – Blocks A and B (Existing & Demolition)	19 December 2010
AB/7955/XA017	North East Elevation – Block A (Existing & Demolition)	19 December 2010
AB/7955/XA018	South East Elevation (Existing & Demolition)	19 December 2010
AB/7955/XA019	Section (Existing & Demolition)	19 December 2010

Drawing No.	Drawing Title	Drawing Date/Drawing Received Date
AB/7955/HE/GP002	Elevation F1 & F2	18 February 2011
AB/7955/HE/GP003	Elevation F3 & F4	18 February 2011
AB/7955/HE/GP004	Elevation F5 & F6	18 February 2011
AB/7955/HE/GP005	Elevation F7	18 February 2011
AB/7955/HE/GP006	Schedule of Preserved Items	18 February 2011





LOCATION PLAN 1:1500



POINTS	CO-ORDINATES	
	EASTING	NORTHING
A	833 675 790	816 106 331
B	833 632 461	816 060 676
C	833 689 781	816 007 140
D	833 710 357	816 028 155
E	833 719 244	816 037 311
F	833 745 885	816 065 682

NOTES

LEGEND

- SITE BOUNDARY LINE
- EXISTING RETAINING WALL W/ SOLID FENCE WALL & METAL CHAIN LINK FENCING ON TOP
- EXISTING RETAINING WALL W/ METAL CHAIN LINK FENCING ON TOP
- EXISTING SOLID FENCE WALL W/ METAL CHAIN LINK FENCING ON TOP
- EXISTING RETAINING WALL W/ METAL BALUSTRADE ON TOP
- EXISTING METAL GATE
- EXISTING LEVEL
- TREE NO.
- EXISTING TREE (REFER TO TREE SURVEY REPORT)

KEY PLAN

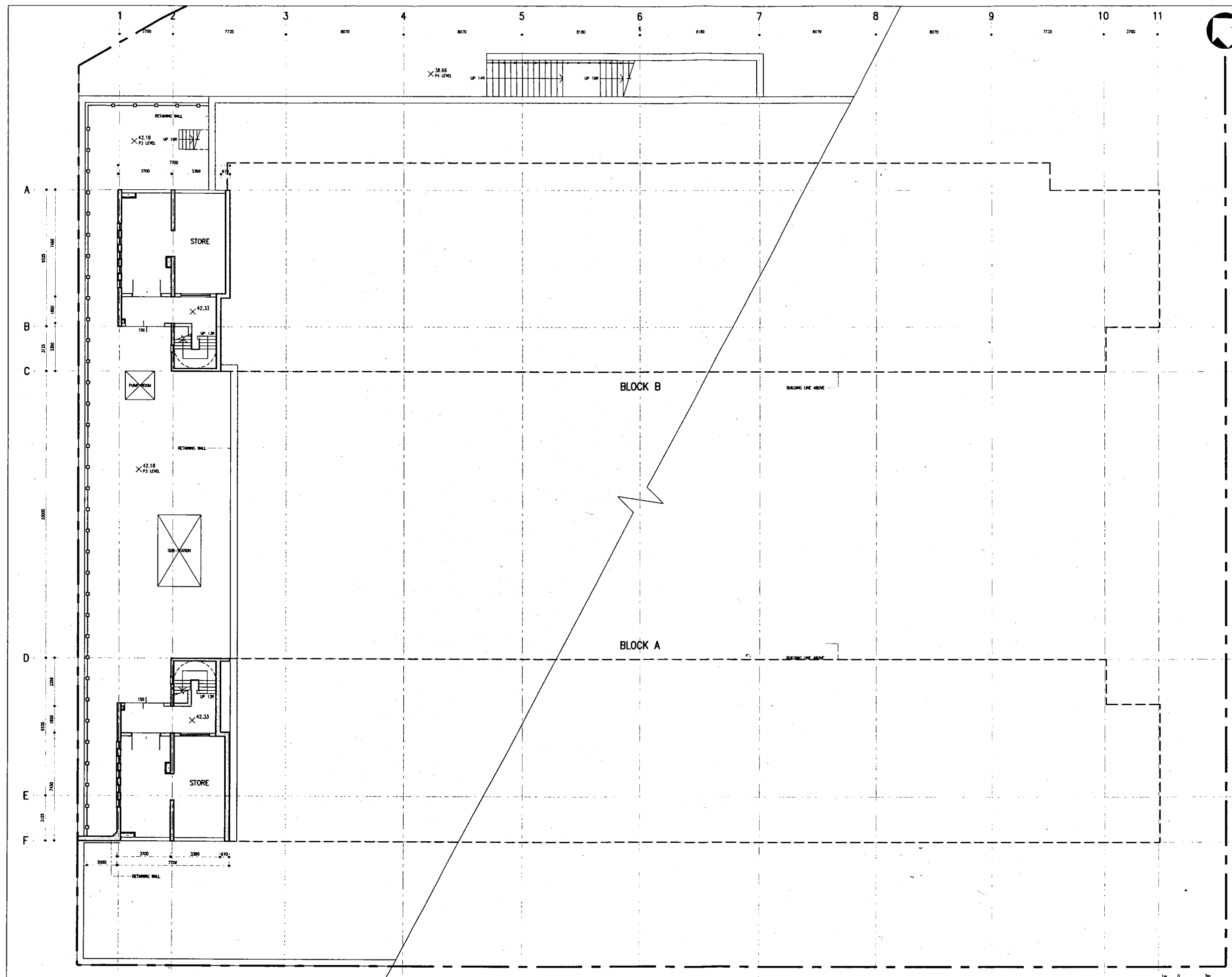
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APPROVED	C.A.	H.K. LI	11.2010
	S.A.	Y.Y. CHEUNG	11.2010
	P.A.	W.L. TSANG	11.2010
designed			11.2010
drawn		H.M. TSANG	11.2010
checked		C.C. CHO	11.2010

PROJECT TITLE	TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK
contract no.	
file no.	
project no.	104 ZX

DRAWING TITLE	SITE PLAN (HERITAGE ELEMENTS)
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drawing no.	AB/7955/HE/GP001

OFFICE	ARCHITECTURAL BRANCH
	ARCHITECTURAL SERVICES DEPARTMENT

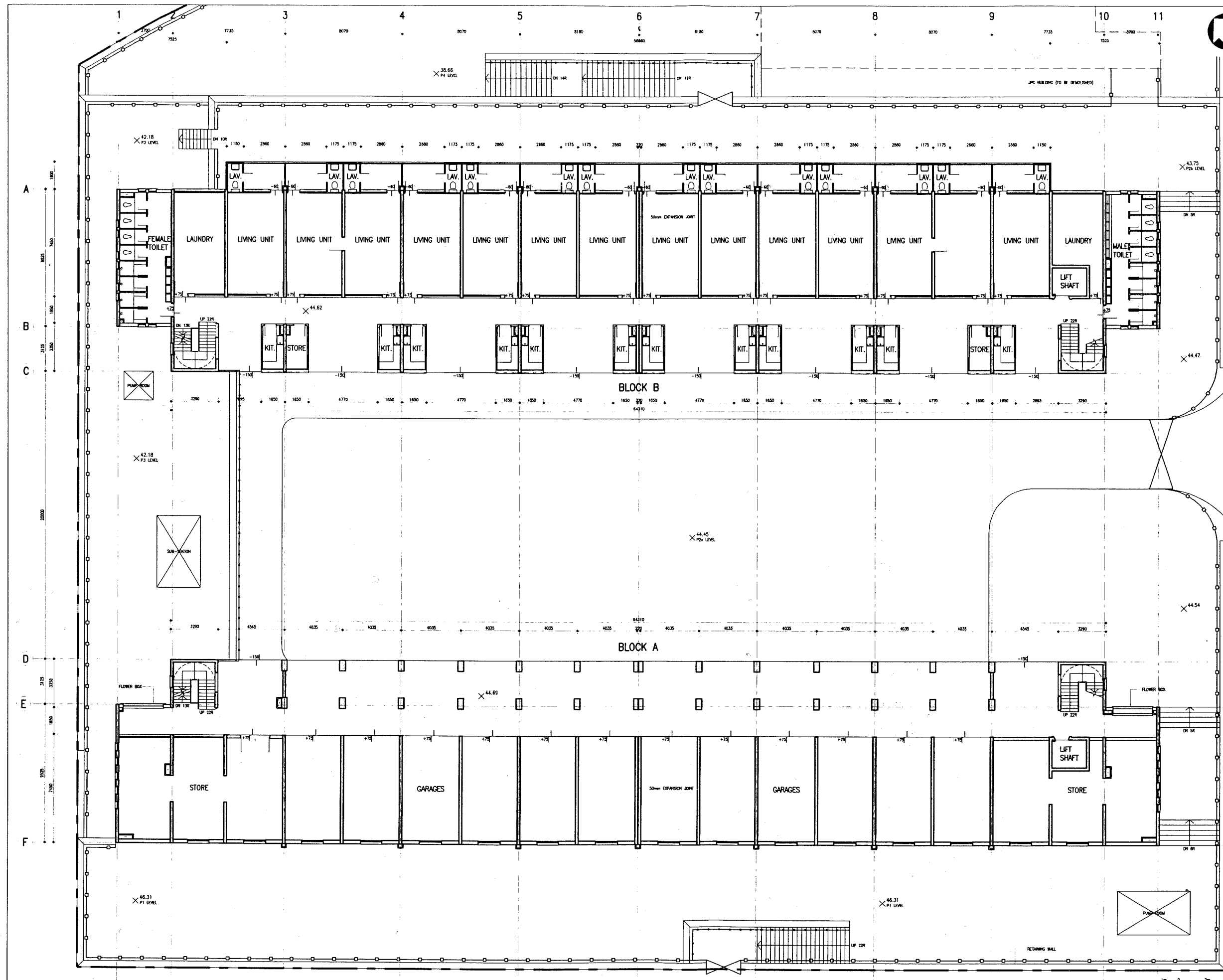


**NOTES:**

**LEGENDS:**

- SITE BOUNDARY LINE
- EXISTING RETAINING WALL & FENCE  
DETAILS REFER TO SITE PLAN DRG.
- EXISTING RETAINING WALL & BALUSTRADE  
DETAILS REFER TO SITE PLAN DRG.
- X 37.64 EXISTING LEVEL
- ◇ EXISTING METAL GATE
- STRUCTURAL WALL
- RC WALL
- RC PERIMETER WALL
- BLOCK WALL
- WALL W/ GLAZING (TALL HEIGHT)

no.	date	description	initial
<b>REVISION</b>			
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CHU	
approved Chief Architect Senior Architect Project Architect W.L. TSANG, A/CH signed date			
contract no.			
file no.			
project no.			
contract <b>TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK</b>			
drawing title <b>LOWER TERRACE FLOOR PLAN - BLOCK A &amp; B</b> <b>(EXISTING &amp; DEMOLITION)</b>			
drawing no.		scale	
AB/7955/XA002		1:100	
office			
ARCHITECTURAL BRANCH			
<b>ARCHITECTURAL SERVICES DEPARTMENT</b>			



- NOTES:
- LEGENDS
- SITE BOUNDARY LINE
  - EXISTING RETAINING WALL & FENCE  
DETAILS REF TO SITE PLAN (SIC)
  - EXISTING RETAINING WALL & GULLY/STRAKE  
DETAILS REF TO SITE PLAN (SIC)
  - × 37.64 EXISTING LEVEL
  - EXISTING METAL GATE
  - STRUCTURAL WALL
  - RC WALL
  - RC PERIMETER WALL
  - BLOCK WALL
  - WALL W/ GLAZING (FULL HEIGHT)

no.	date	description	initial
REVISION			
designed		name	date
drawn		P.M. HO	
checked		C.C. CHO	

approved  
Chief Architect  
Senior Architect  
Project Architect

contract no.

file no.

project no.

contract  
TRANSFORMATION OF THE  
FORMER POLICE MARIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

drawing title  
GROUND FLOOR PLAN -  
BLOCK A & B

(EXISTING & DEMOLITION)

drawing no.  
AB/7955/XA003

office  
ARCHITECTURAL BRANCH

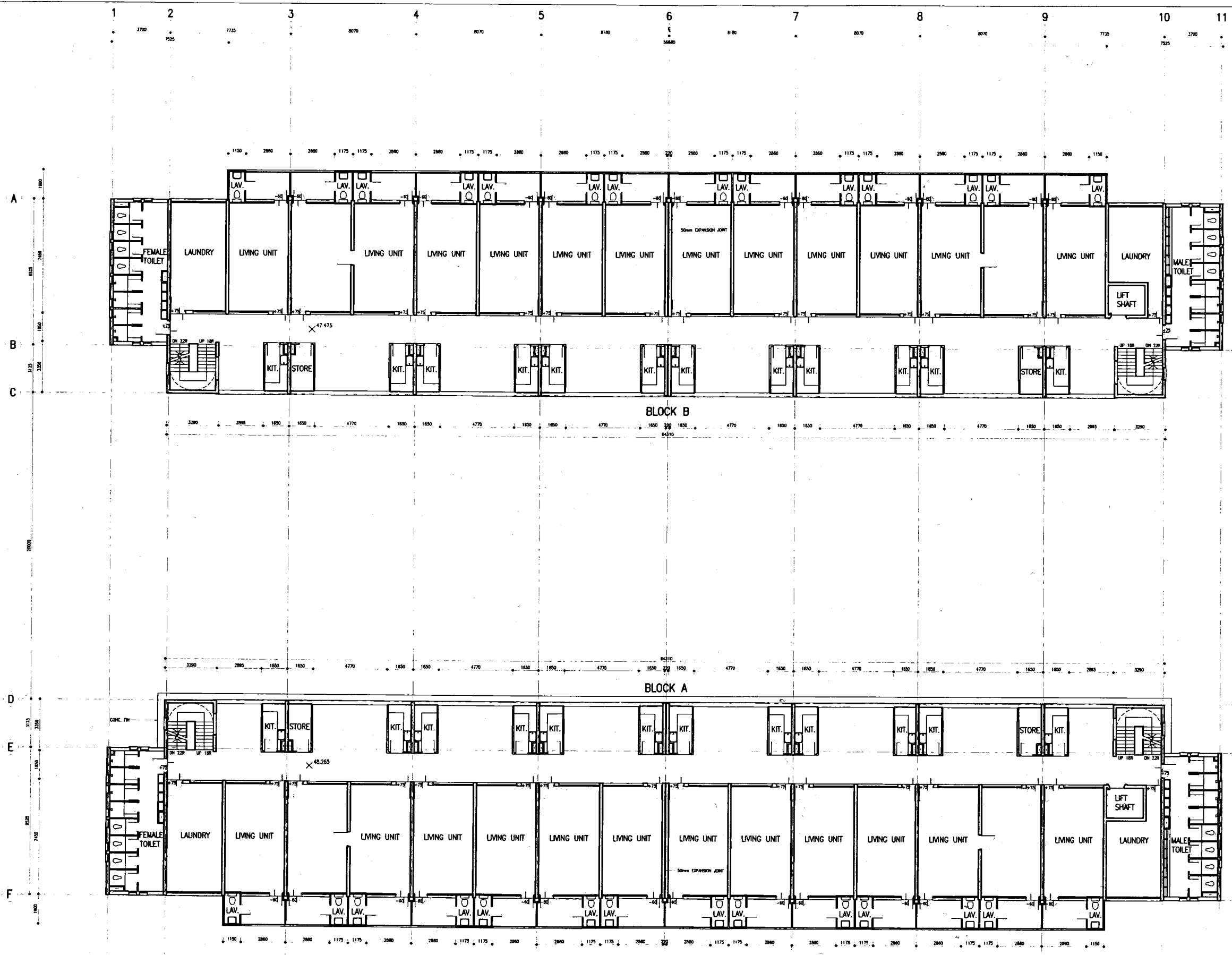
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SERVICES  
DEPARTMENT



NOTES:

LEGENDS

37.64	EXISTING LEVEL
---	STRUCTURAL WALL
---	RC WALL
---	RC PARTIAL WALL
---	BLOCK WALL
---	WALL W/ GLAZING (FULL HEIGHT)



no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CHU	

approved  
Chief Architect  
Senior Architect  
Project Architect  
W.L. TSANG, A/208  
signature date

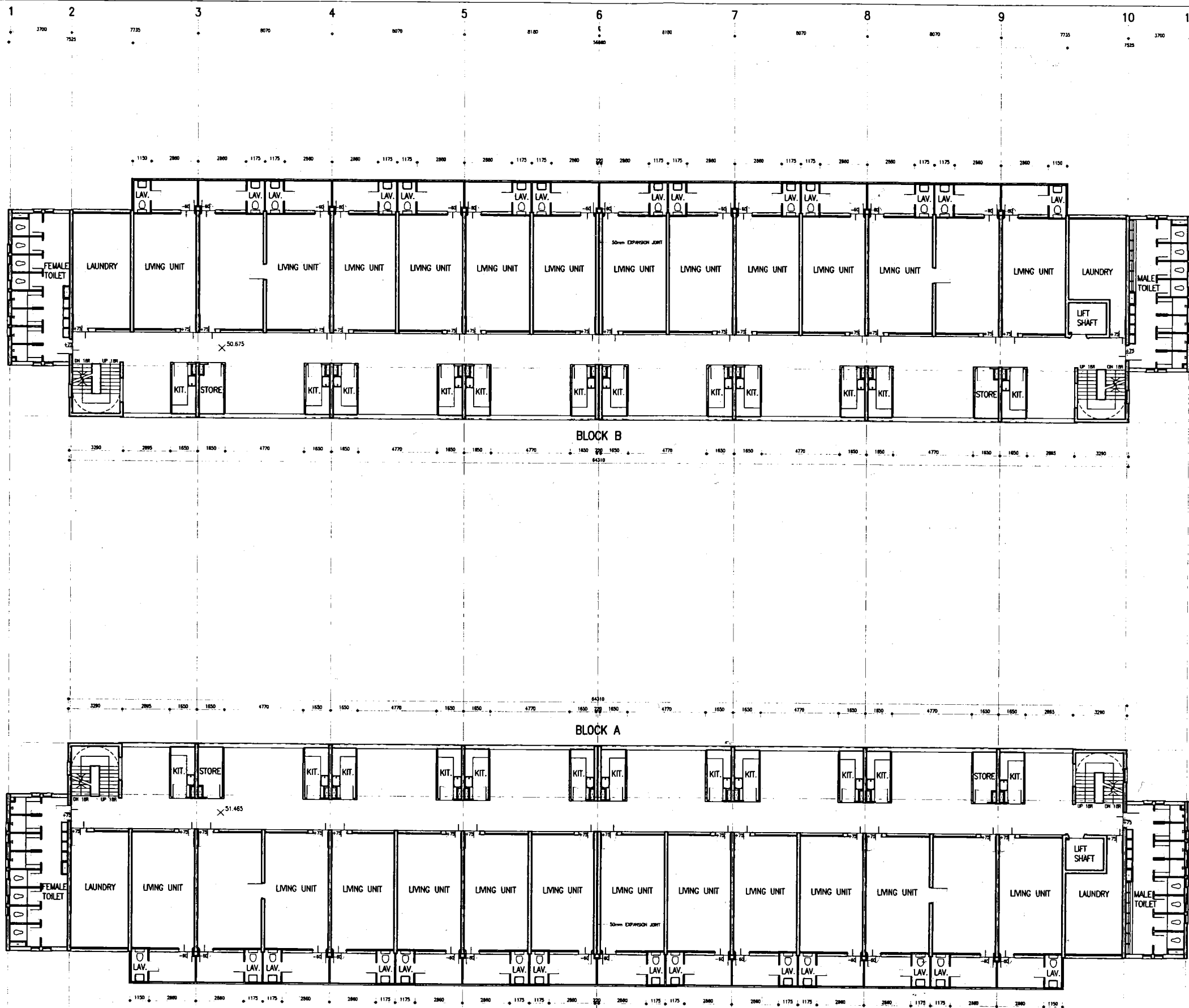
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TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

drawing title  
FIRST FLOOR PLAN -  
BLOCK A & B  
(EXISTING & DEMOLITION)

drawing no.  
AB/7955/XA004  
scale  
1:100

office  
ARCHITECTURAL BRANCH  
ARCHITECTURAL  
SERVICES  
DEPARTMENT



NOTES

LEGENDS

- 37.64 EXISTING LEVEL
- STRUCTURAL WALL
- PC WALL
- PC PARTIAL WALL
- BLOCK WALL
- WALL W/ GLAZING (FULL HEIGHT)

no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		F.M. HO	
checked		C.E. CHO	

approved  
Chief Architect  
Senior Architect  
Project Architect  
W.L. TSANG, A/208  
signed  
date

contract no.

file no.

project no.

TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

SECOND FLOOR PLAN -  
BLOCK A & B

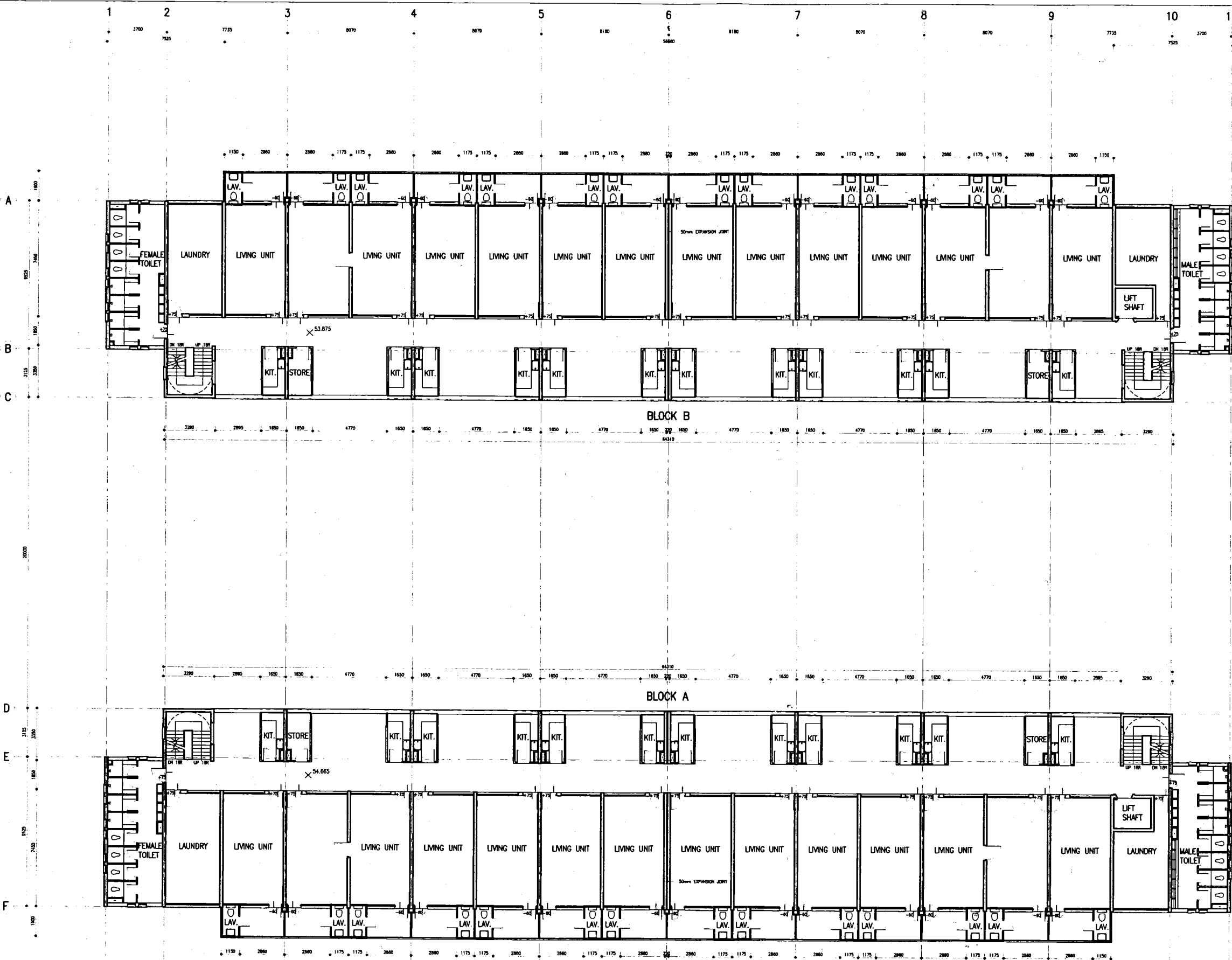
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drawing no.  
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scale  
1:100

ARCHITECTURAL BRANCH







- NOTES:
- LEGENDS
- 37.64 EXISTING LEVEL
  - STRUCTURAL WALL
  - PC WALL
  - PC PARTIAL WALL
  - BLOCK WALL
  - WALL W/ GLAZING (FULL HEIGHT)

no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CHU	
approved			
Chief Architect			
Senior Architect			
Project Architect		W.L. TSANG, A/200	

contract no.

file no.

project no.

contract

TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK

drawing title

THIRD FLOOR PLAN - BLOCK A & B

(EXISTING & DEMOLITION)

drawing no.

AB/7955/XA006

scale

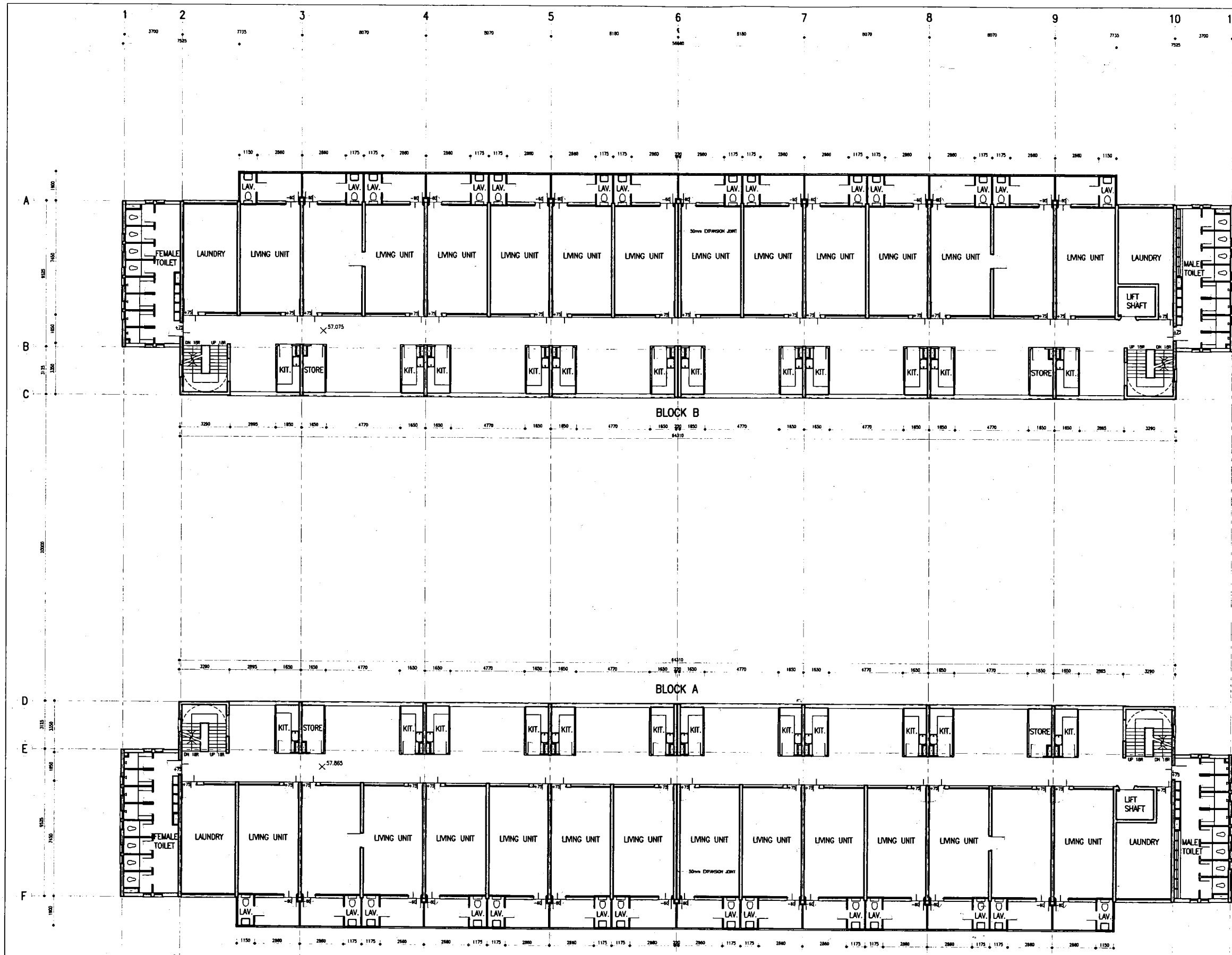
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office

ARCHITECTURAL BRANCH



ARCHITECTURAL SERVICES DEPARTMENT



- NOTES:
- LEGENDS
- × 37.64 EXISTING LEVEL
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  - ===== RC WALL
  - ===== RC PARTIAL WALL
  - ===== BLOCK WALL
  - ===== WALL W/ GLAZING (TALL HEIGHT)

no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CHO	

approved  
Chief Architect  
Senior Architect  
Project Architect

contract no.  
file no.  
project no.

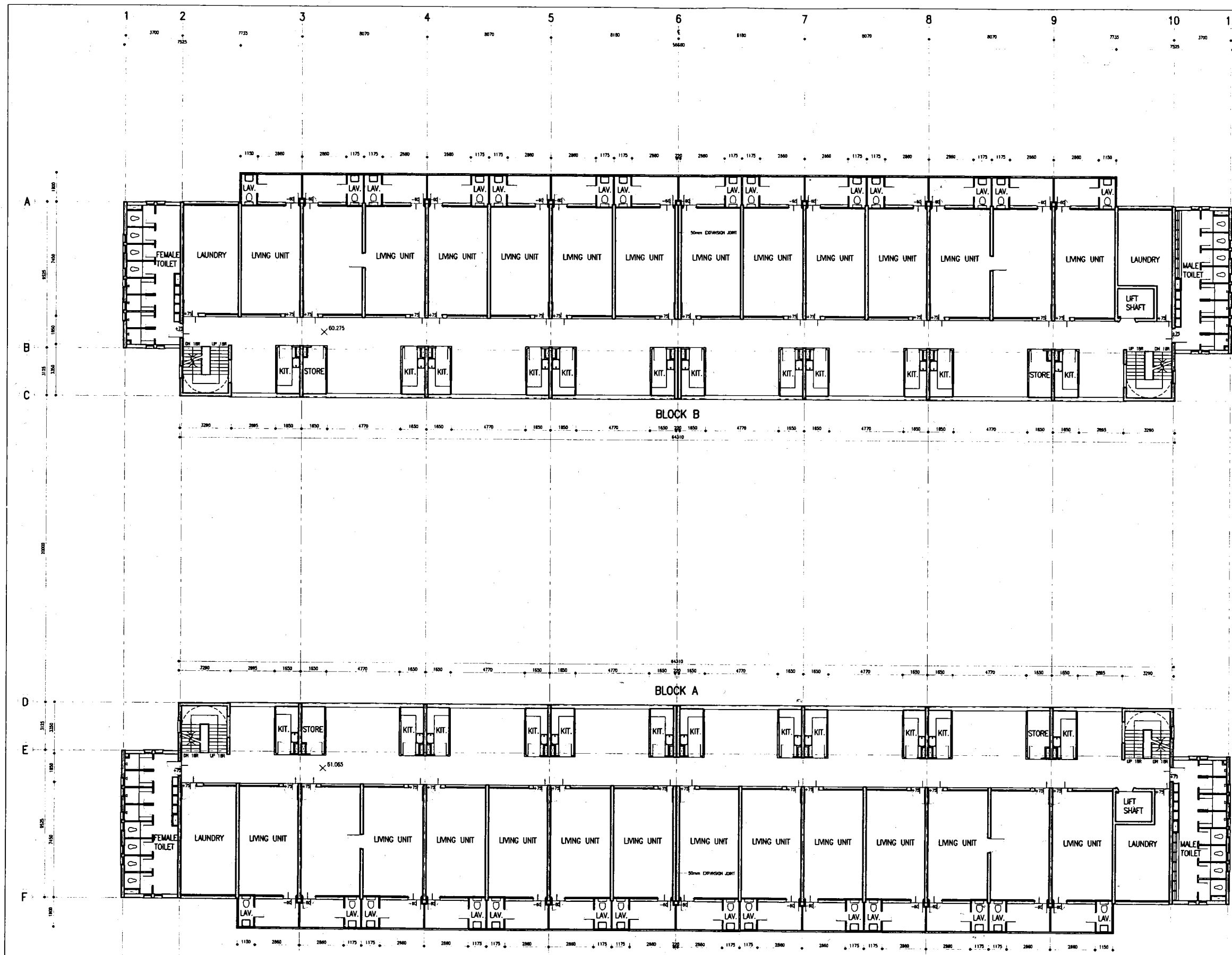
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TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

drawing title  
FOURTH FLOOR PLAN -  
BLOCK A & B  
(EXISTING & DEMOLITION)

drawing no.  
AB/7955/XA007

office  
ARCHITECTURAL BRANCH





- NOTES
- LEGENDS
- × 37.64 EXISTING LEVEL
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  - ===== RC WALL
  - ===== RC PARTIAL WALL
  - ===== BLOCK WALL
  - ===== WALL W/ GLAZING (FULL HEIGHT)

no.	date	description	initial
REVISION			
1		name	date
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CHO	

approved  
Chief Architect

Senior Architect

Project Architect

W.L. TSANG, A/208  
Signed

date

contract no.

file no.

project no.


TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

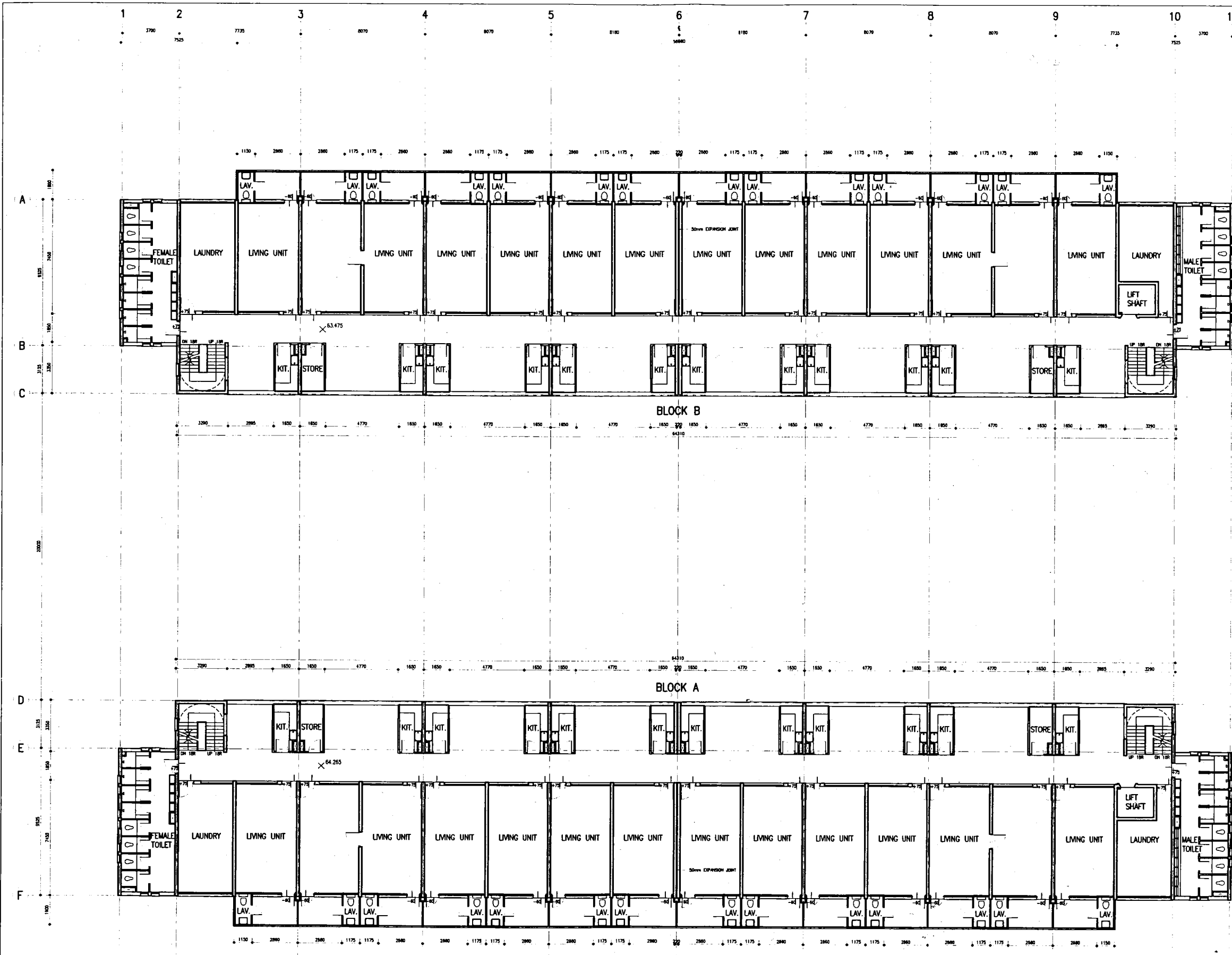
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FIFTH FLOOR PLAN -  
BLOCK A & B  
(EXISTING & DEMOLITION)

drawing no.  
AB/7955/XA008

scale  
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office  
**ARCHITECTURAL BRANCH**

 **ARCHITECTURAL  
SERVICES  
DEPARTMENT**



NOTES

LEGENDS

37.64 EXISTING LEVEL

STRUCTURAL WALL

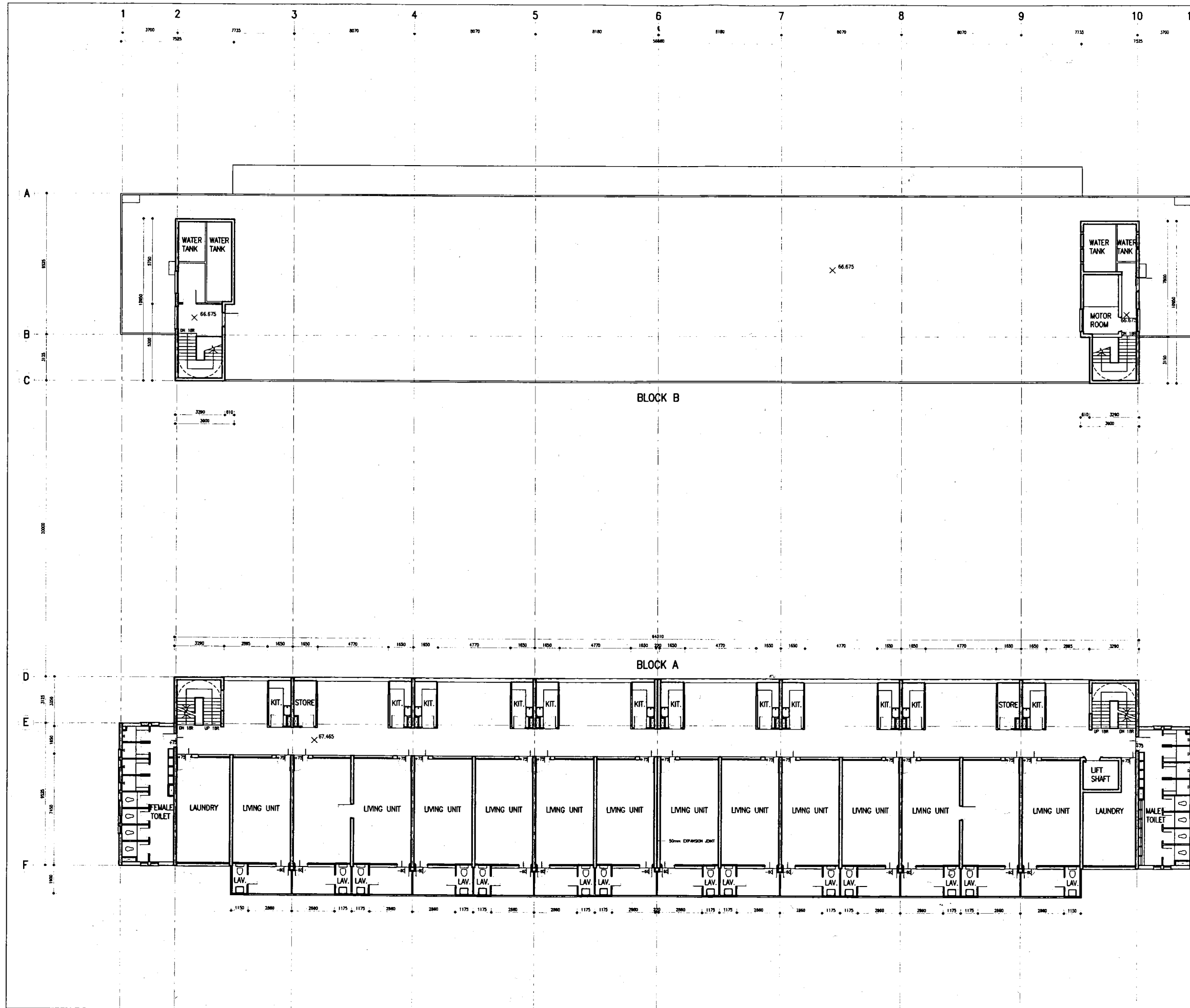
RC WALL

RC PARTIAL WALL

BLOCK WALL

WALL W/ GLAZING (FULL HEIGHT)

no.	date	description	initial
REVISION			
designed		W.L. TSING	
drawn		P.J. HO	
checked		C.C. CHO	
approved Chief Architect Senior Architect Project Architect W.L. TSING, A/208 signed date			
contract no.			
file no.			
project no.			
contract TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK			
drawing title SIXTH FLOOR PLAN - BLOCK A & B (EXISTING & DEMOLITION)			
drawing no.			scale
AB/7955/XA009			1:100
office			
ARCHITECTURAL BRANCH			
ARCHITECTURAL SERVICES DEPARTMENT			



**NOTES:**

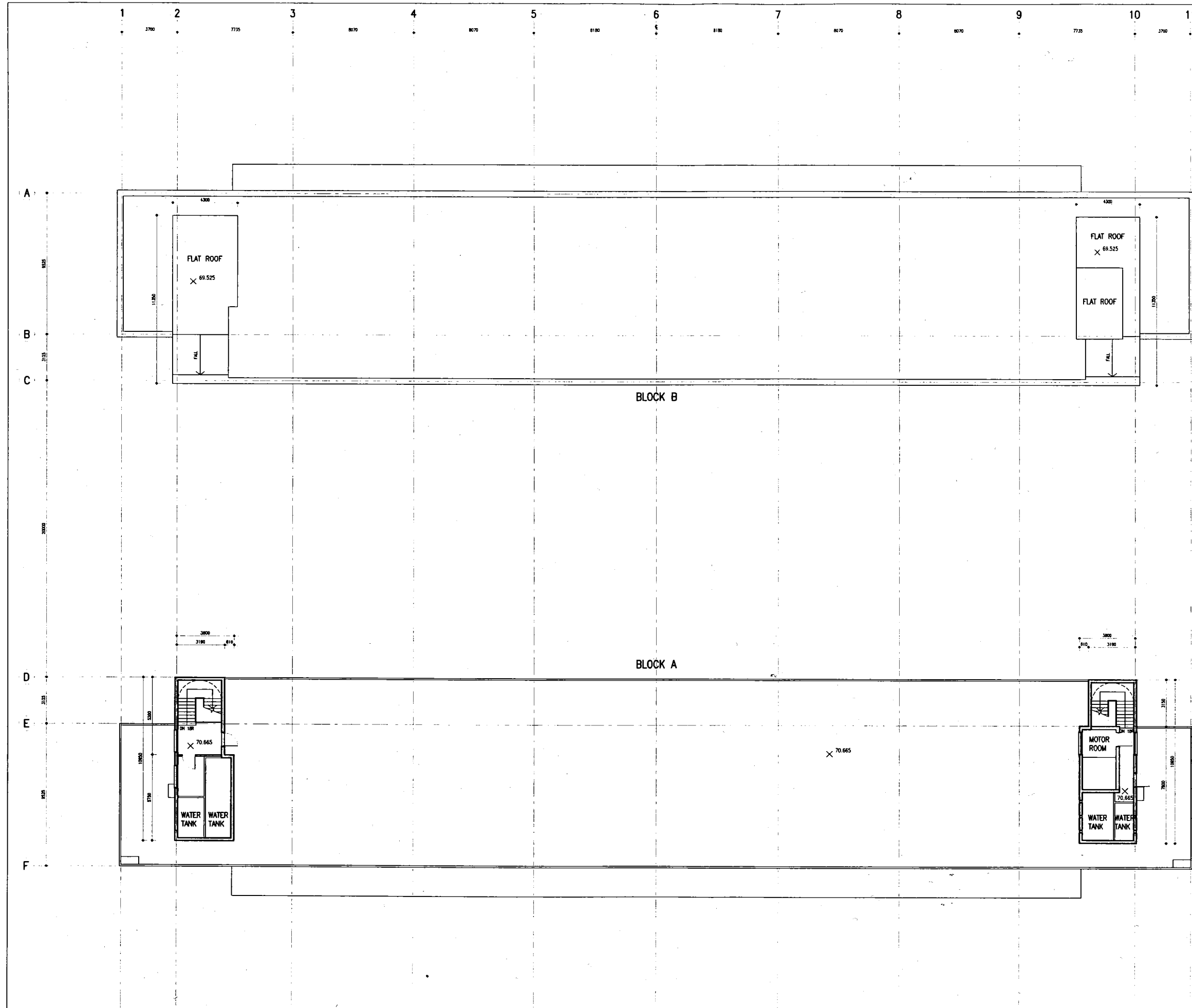
**LEGENDS:**

- ✕ 37.64 EXISTING LEVEL
- ===== STRUCTURAL WALL
- ===== RC WALL
- ===== RC PARTIAL WALL
- ===== BLOCK WALL
- ===== WALL W/ GLAZING (TALL HEIGHT)

no.	date	description	initial
<b>REVISION</b>			
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CHU	
approved		Chief Architect	
Senior Architect			
Project Architect		W.L. TSANG, A/208	
contract no.			
file no.			
project no.			
<b>TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK</b>			
<b>SEVENTH FLOOR PLAN - BLOCK A &amp; ROOF PLAN - BLOCK B (EXISTING &amp; DEMOLITION)</b>			
drawing no.	AB/7955/XA010		scale 1:100
<b>ARCHITECTURAL BRANCH</b>			
<b>ARCHITECTURAL SERVICES DEPARTMENT</b>			

AB Div. 2 B1 1000 x 707





NOTES

LEGENDS

X 37.64	EXISTING LEVEL
=====	STRUCTURAL WALL
=====	RC WALL
=====	RC PARAPET WALL
=====	BLOCK WALL
=====	WALL W/ CLADDING (FULL HEIGHT)

no.	date	description	initial
REVISION			
designed		name	date
drawn		P.L. HO	
checked		C.C. CHO	
approved			
Chief Architect			
Senior Architect			
Project Architect		B.L. TSANG, A/SEN	date
contract no.			
file no.			
project no.			

contract

**TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK**

drawing title

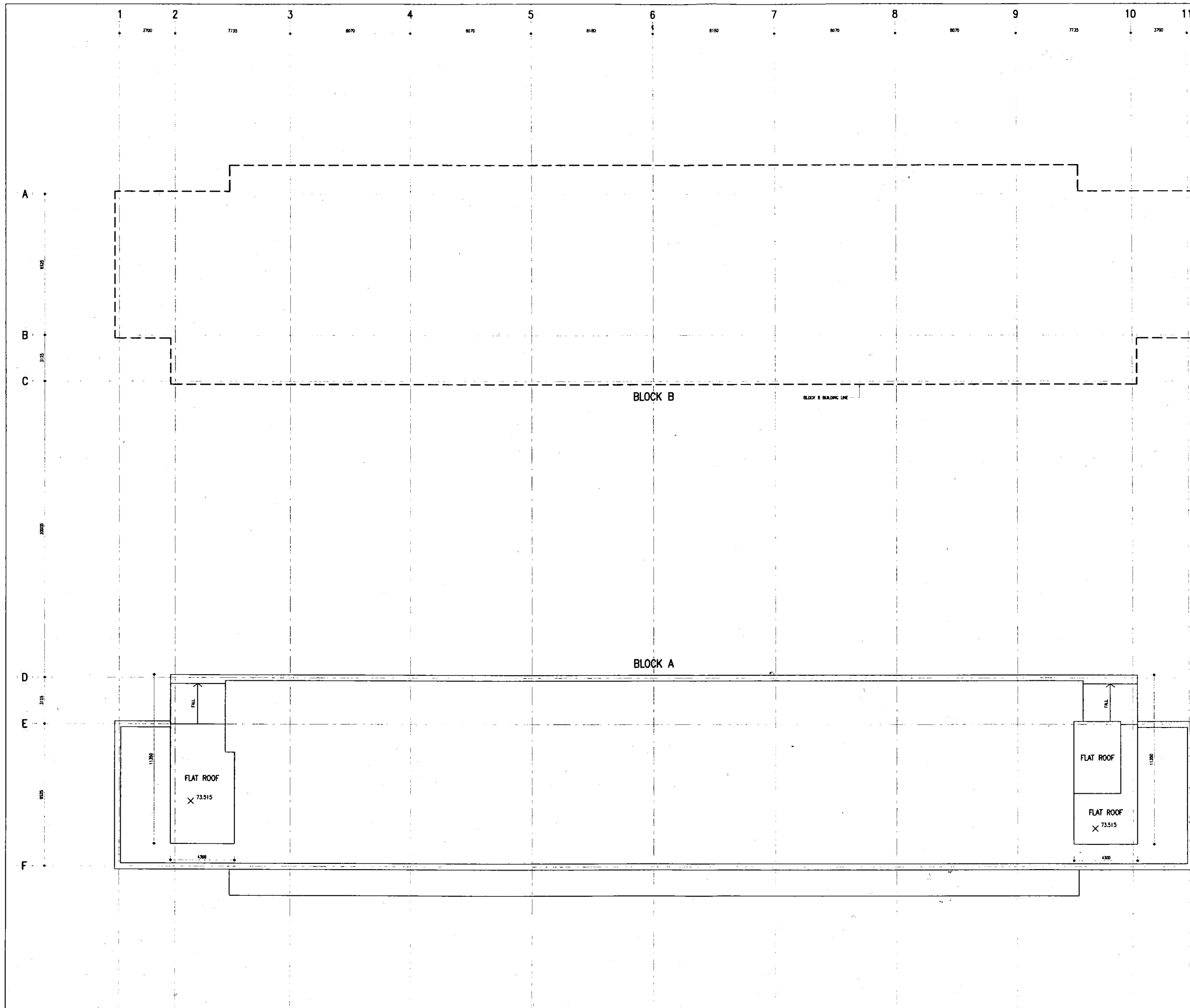
**ROOF PLAN - BLOCK A & UPPER ROOF PLAN - BLOCK B (EXISTING & DEMOLITION)**

drawing no.	scale
AB/7955/XA011	1:100

office

**ARCHITECTURAL BRANCH**

**ARCHITECTURAL SERVICES DEPARTMENT**



NOTES

LEGENDS

✕ 37.64 EXISTING LEVEL

===== STRUCTURAL WALL

===== RC WALL

===== RC PARAPET WALL

===== BLOCK WALL

===== WALL W/ GLAZING (FULL HEIGHT)

no.	date	description	initial
REVISION			
		name	date
designed		W.L. TSUNG	
drawn		P.J.E. HO	
checked		C.E. CHO	
approved			
Chief Architect			
Senior Architect			
Project Architect			
W.L. TSUNG, A/200			
signed			
date			
contract no.			
file no.			
project no.			

contract

TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK

drawing title

UPPER ROOF PLAN - BLOCK A

(EXISTING & DEMOLITION)

drawing no.

AB/7955/XA012

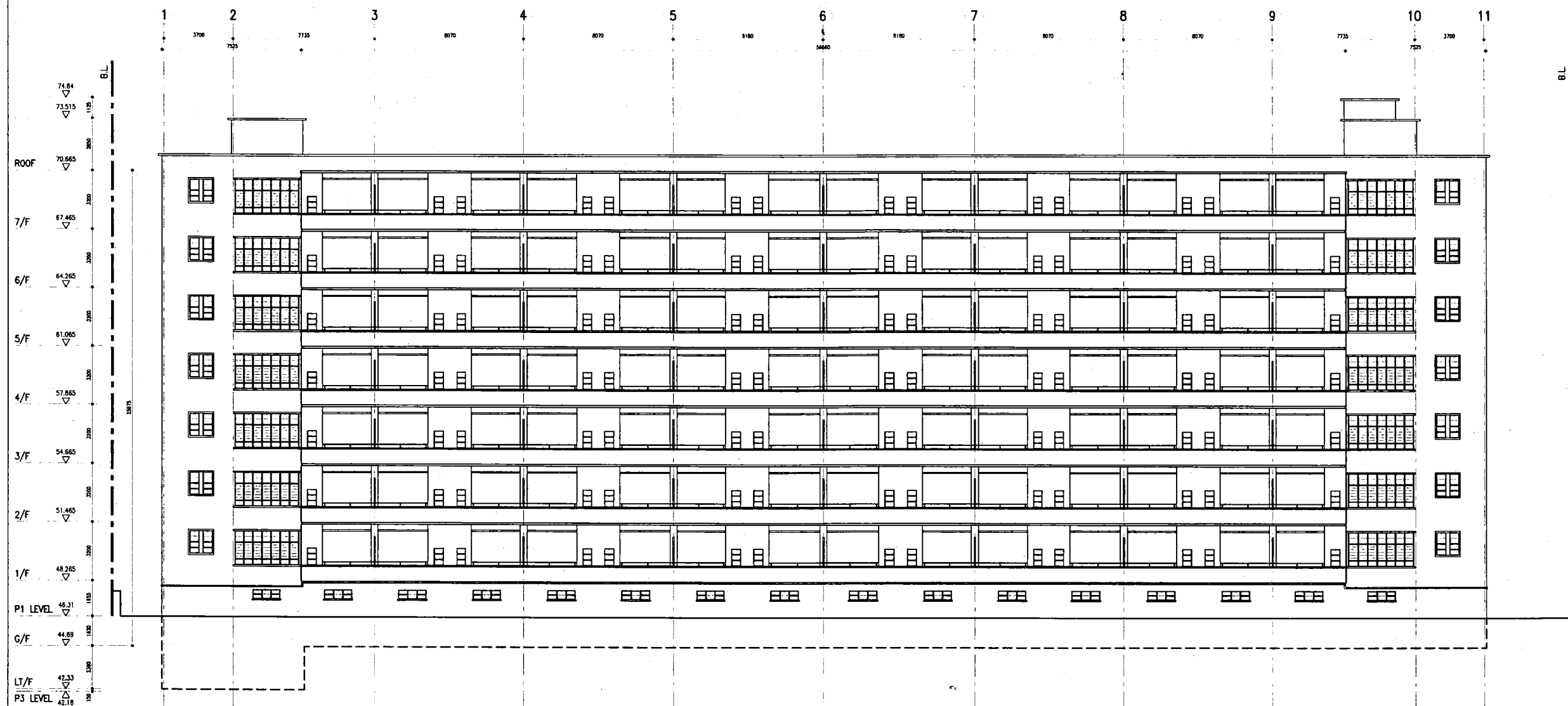
scale

1:300

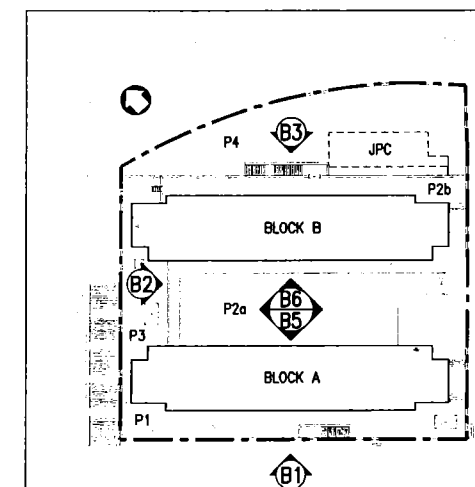
office

ARCHITECTURAL BRANCH





SOUTH WEST ELEVATION - BLOCK A  
ELEVATION B1



KEY PLAN

NOTES

no.	date	description	initial
1		DESIGNED	
2		DRAWN	
3		CHECKED	

approved	Chief Architect	
Senior Architect		
Project Architect		

contract no.	
file no.	
project no.	

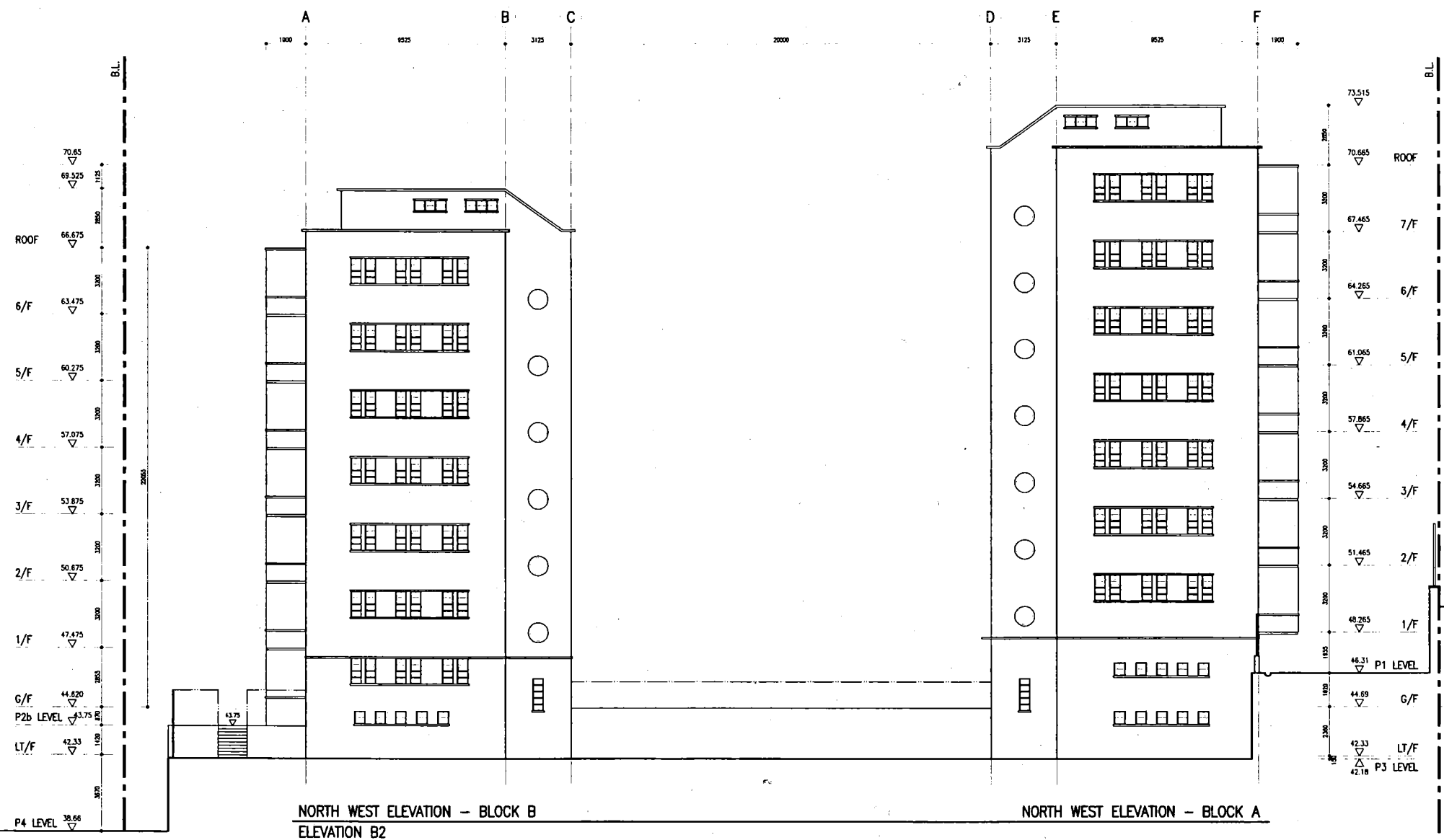
TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

SOUTH WEST ELEVATION -  
BLOCK A  
(EXISTING & DEMOLITION)

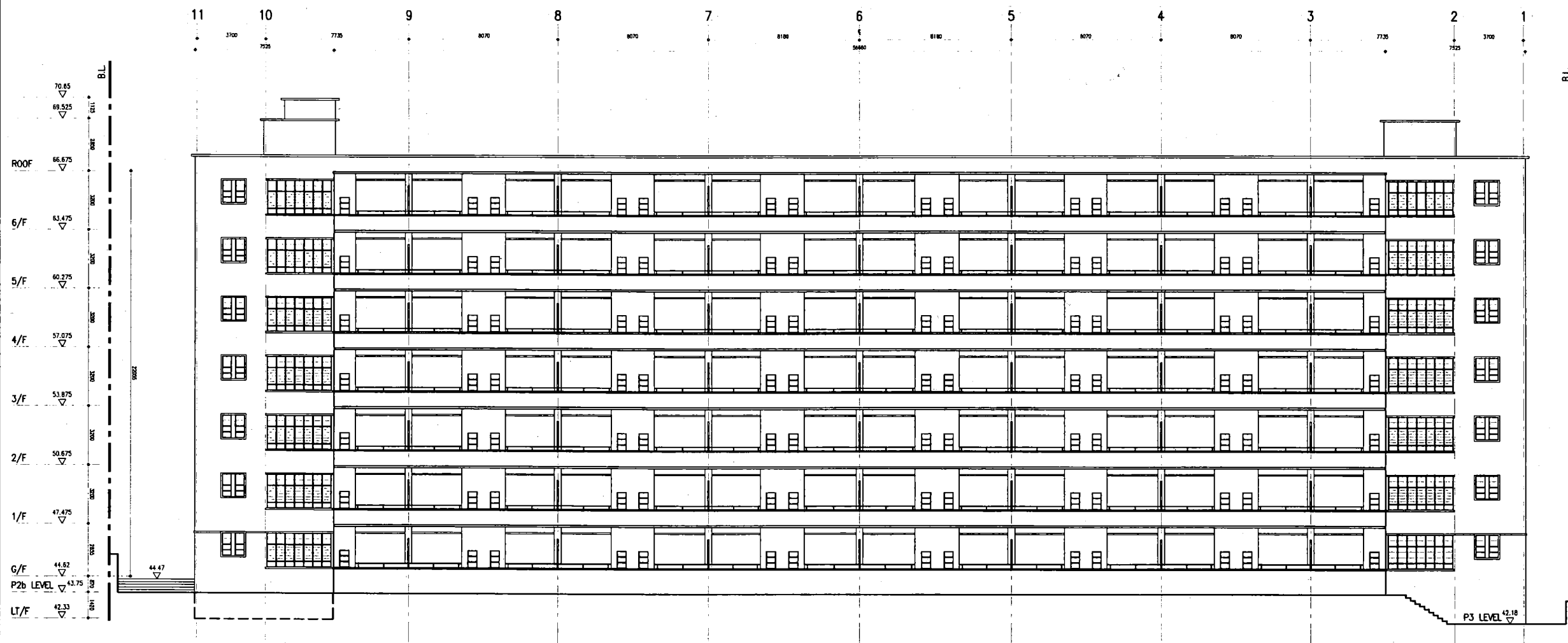
drawing no.	AB/7955/XA013
scale	1:100

ARCHITECTURAL BRANCH

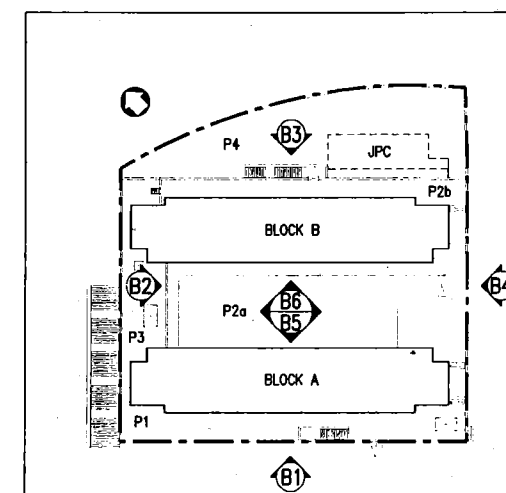




no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		P.M. HO	
checked		C.C. CH	
approved			
Chief Architect			
Senior Architect			
Project Architect		W.L. TSANG, A/208	
contract no.			
file no.			
project no.			
TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK			
drawing title			
NORTH WEST ELEVATION - BLOCK A & BLOCK B (EXISTING & DEMOLITION)			
drawing no.		scale	
AB/7955/XA014		1:100	
office			
ARCHITECTURAL BRANCH			
ARCHITECTURAL SERVICES DEPARTMENT			



NORTH EAST ELEVATION - BLOCK B  
ELEVATION B3



KEY PLAN

no.	date	description	initial
REVISION			
designed		name	date
drawn		W.L. TSANG	
checked		P.H. HO	
approved		C.C. CHO	
Chief Architect			
Senior Architect			
Project Architect		W.L. TSANG, A/208	date
contract no.			
file no.			
project no.			

TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

drawing title  
NORTH EAST ELEVATION -  
BLOCK B

(EXISTING & DEMOLITION)

drawing no.  
AB/7955/XA015

office  
ARCHITECTURAL BRANCH

ARCHITECTURAL  
SERVICES  
DEPARTMENT



NOTES:

no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		P.A.L. HO	
checked		C.C. CHO	
approved			
Chief Architect			
Senior Architect			
Project Architect		W.L. TSANG, A/208	
signed			

contract no.	
file no.	
project no.	

TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

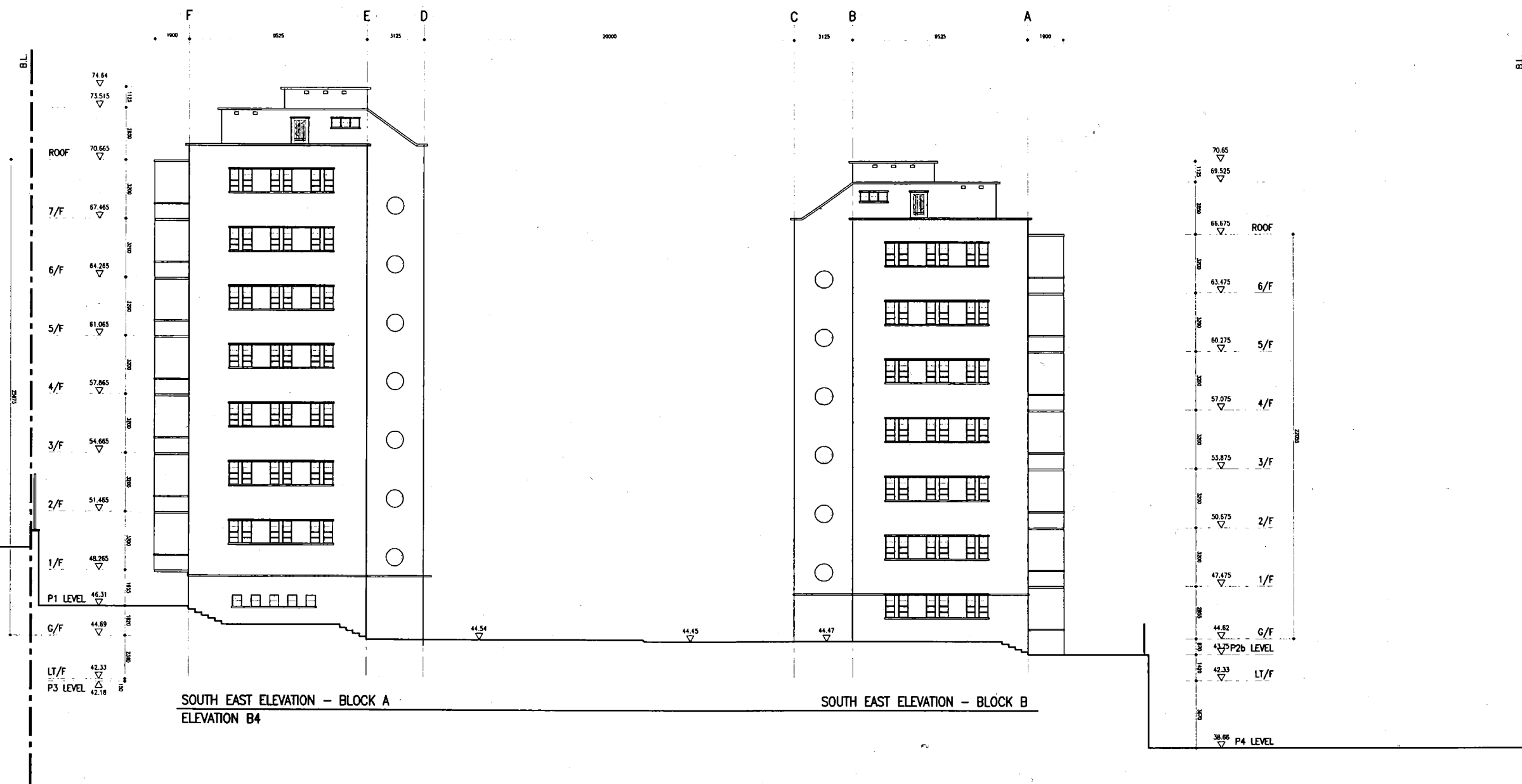
drawing title  
**SOUTH EAST ELEVATION -  
BLOCK A & B**  
(EXISTING & DEMOLITION)

drawing no.	scale
AB/7955/XA016	1:100

office  
**ARCHITECTURAL BRANCH**

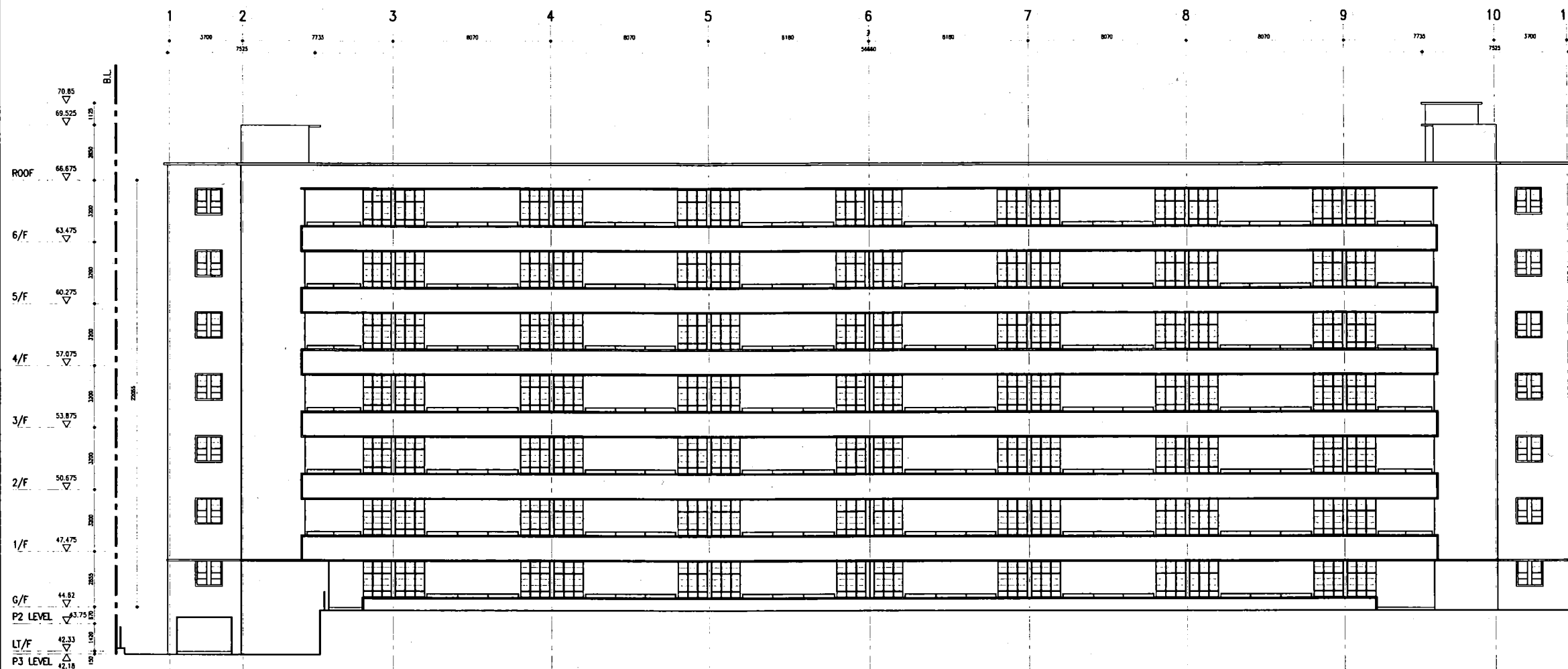
**ARCHITECTURAL  
SERVICES  
DEPARTMENT**

AB Div. 2 B1 1000 x 707

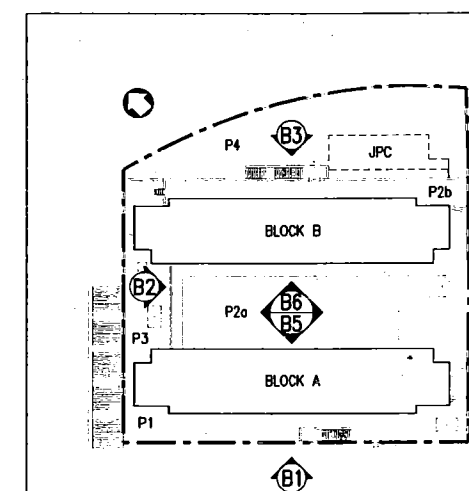


KEY PLAN





SOUTH WEST ELEVATION - BLOCK B  
ELEVATION B6



KEY PLAN

NOTES:

no.	date	description	initial
REVISION			
designed		W.L. TSANG	
drawn		P.A.L. HO	
checked		C.C. CHOI	
approved		Chief Architect	
Senior Architect			
Project Architect		W.L. TSANG, A/200	
signed			

contract no.  
file no.  
project no.

TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

drawing title  
SOUTH WEST ELEVATION -  
BLOCK B

(EXISTING & DEMOLITION)

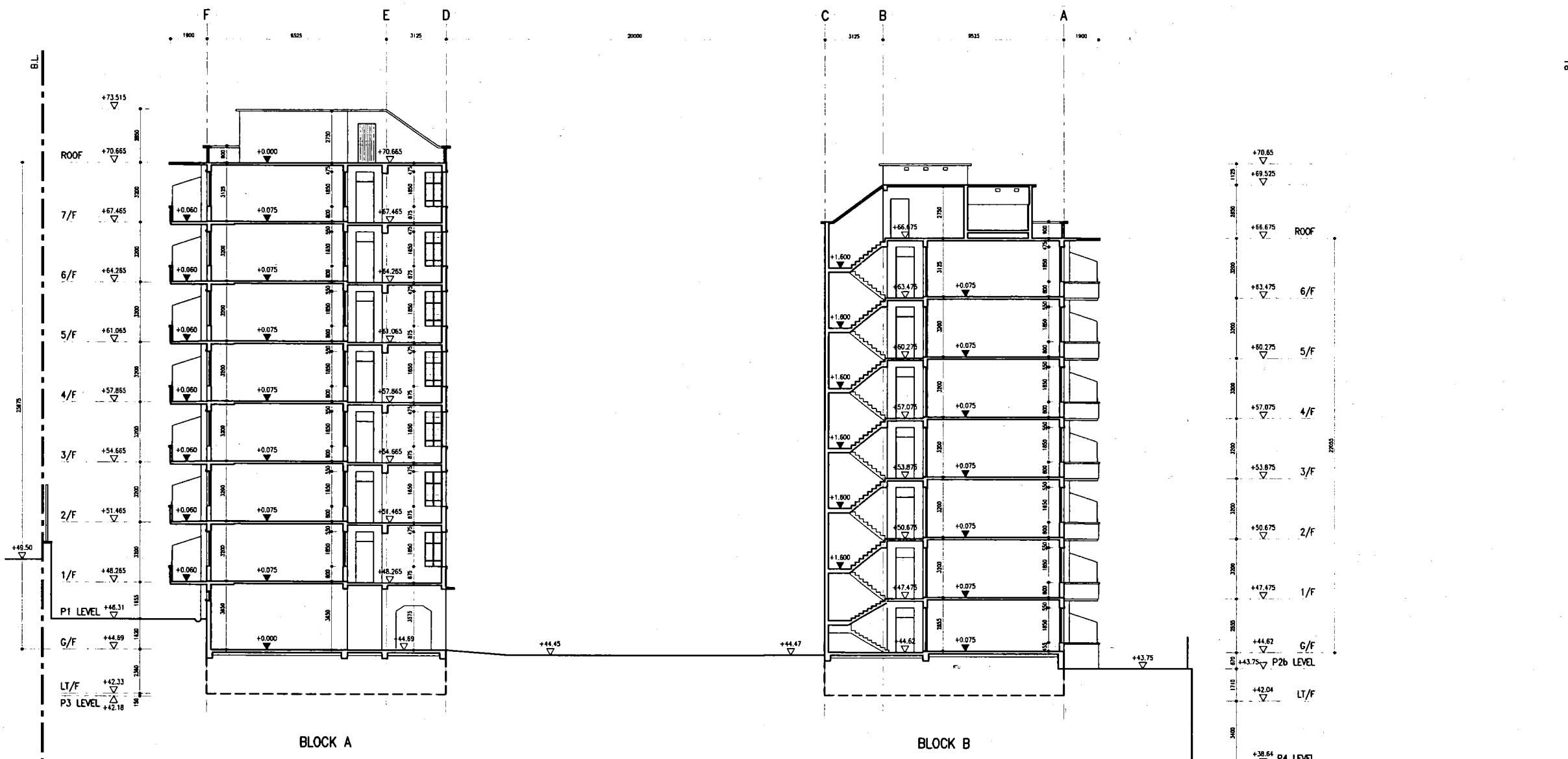
drawing no.  
AB/7955/XA018

office  
ARCHITECTURAL BRANCH

ARCHITECTURAL  
SERVICES  
DEPARTMENT

AB Div. 2 B1 1000 x 707

NOTES:  
LEGENDS:  
SITE BOUNDARY LINE  
LEVEL  
RELATIVE LEVEL  
LEVEL  
ABSOLUTE LEVEL



no.	date	description	initial
REVISION			
designed		name	date
drawn		P.J. HO	
checked		C.C. CHO	

approved		
Chief Architect		
Senior Architect		
Project Architect		

contract no.	
file no.	
project no.	

TRANSFORMATION OF THE  
FORMER POLICE MARRIED  
QUARTERS SITE ON HOLLYWOOD  
ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

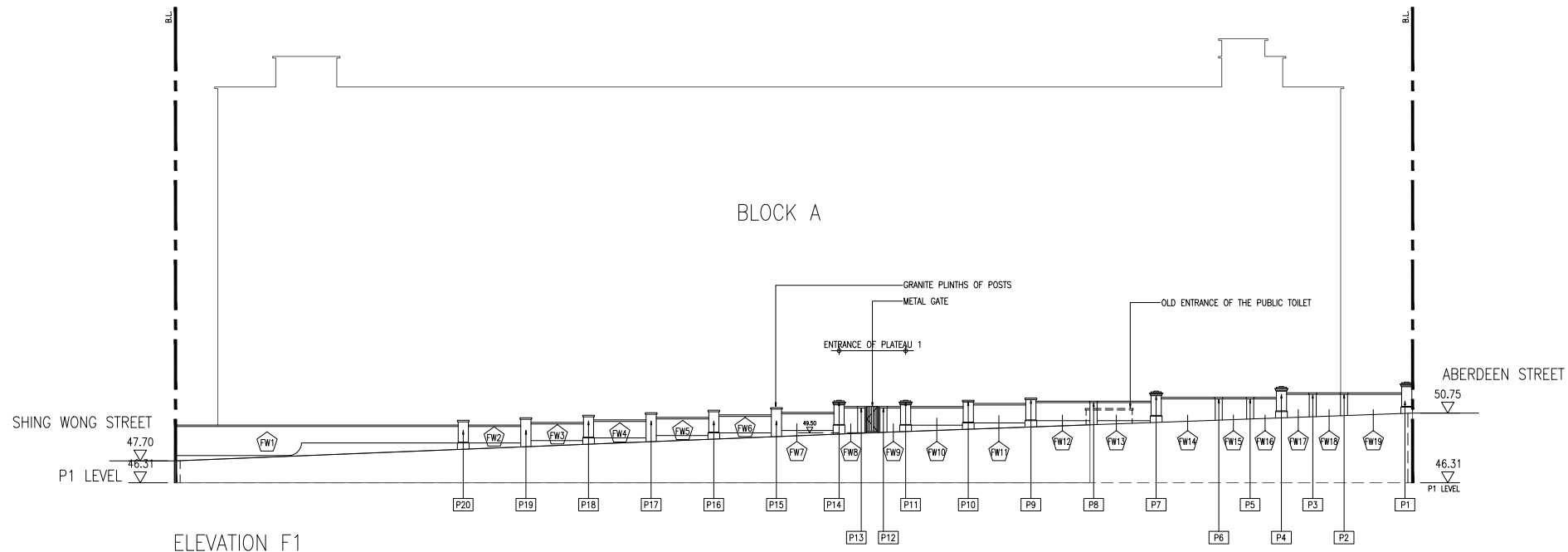
drawing title  
SECTION  
(EXISTING & DEMOLITION)

drawing no.	scale
AB/7955/XA019	1:100

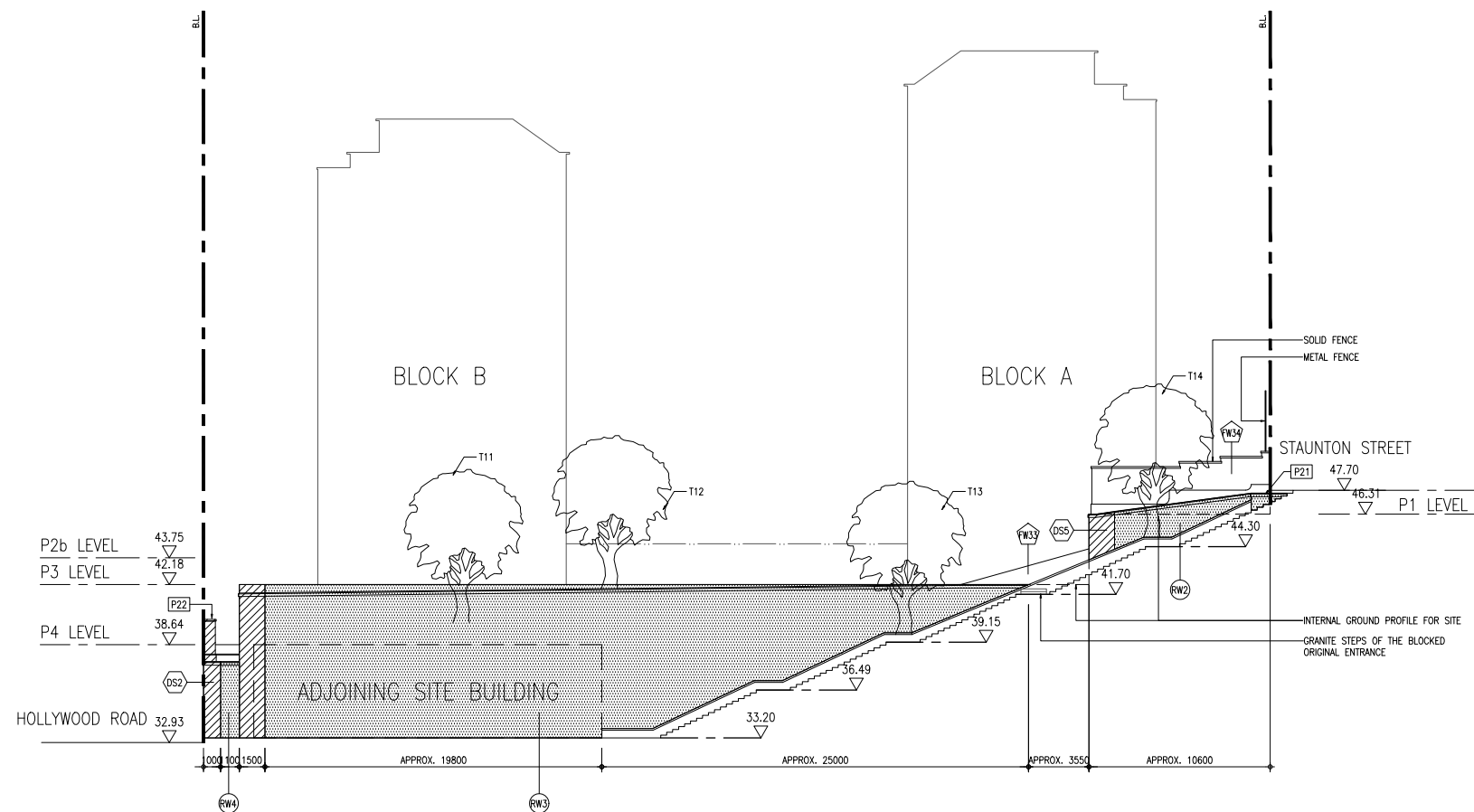
office  
ARCHITECTURAL BRANCH



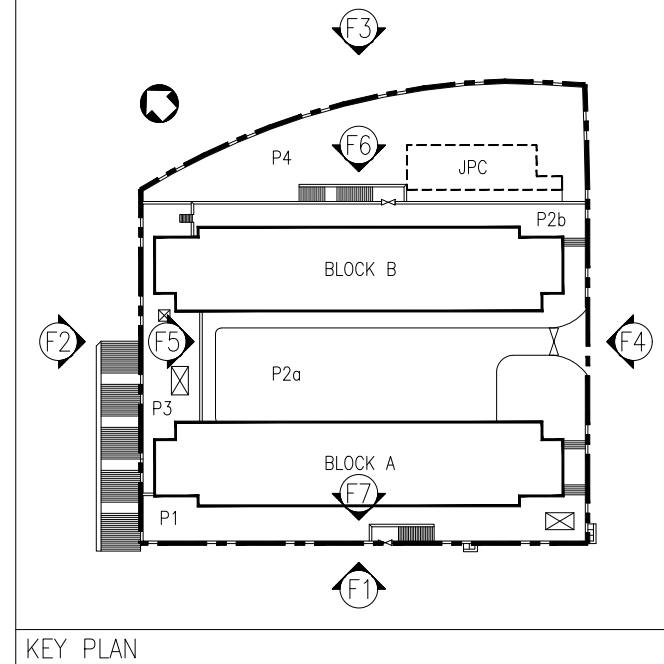
ARCHITECTURAL  
SERVICES  
DEPARTMENT



ELEVATION F1

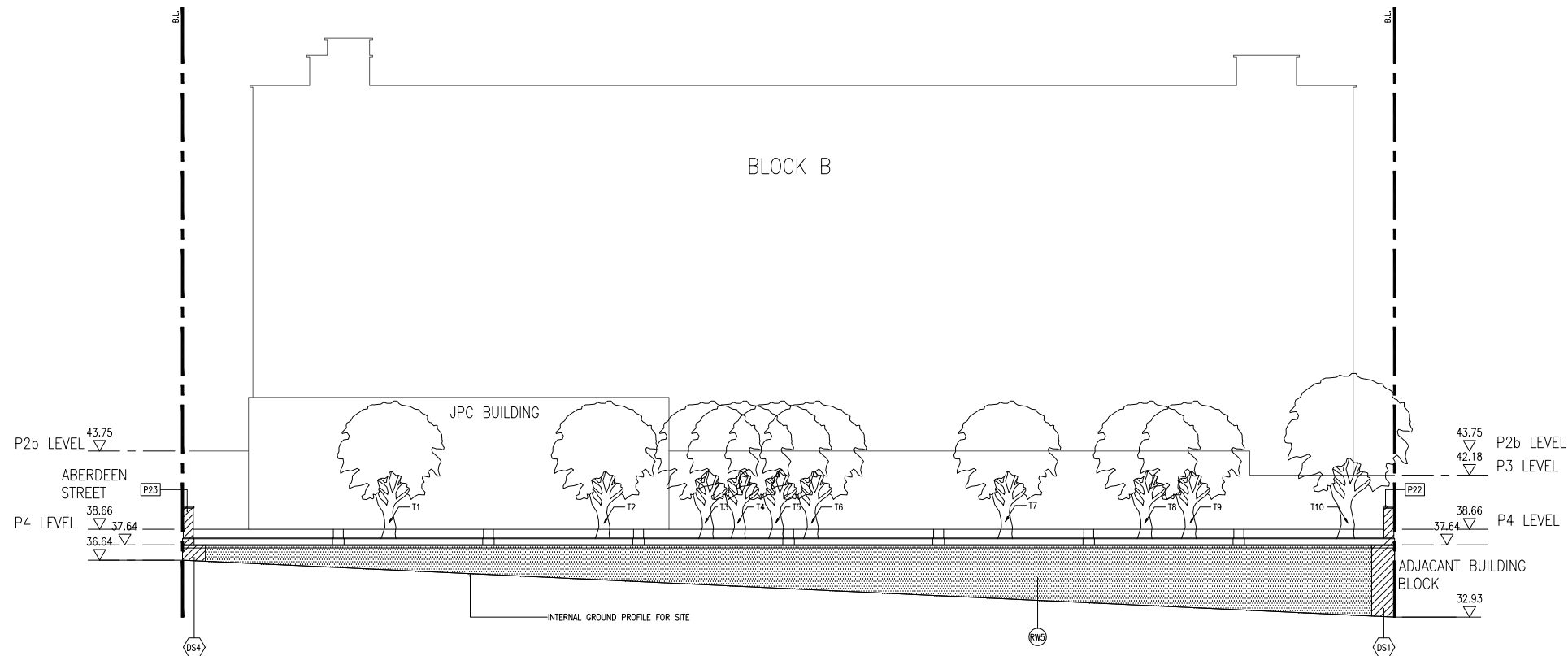


ELEVATION F2

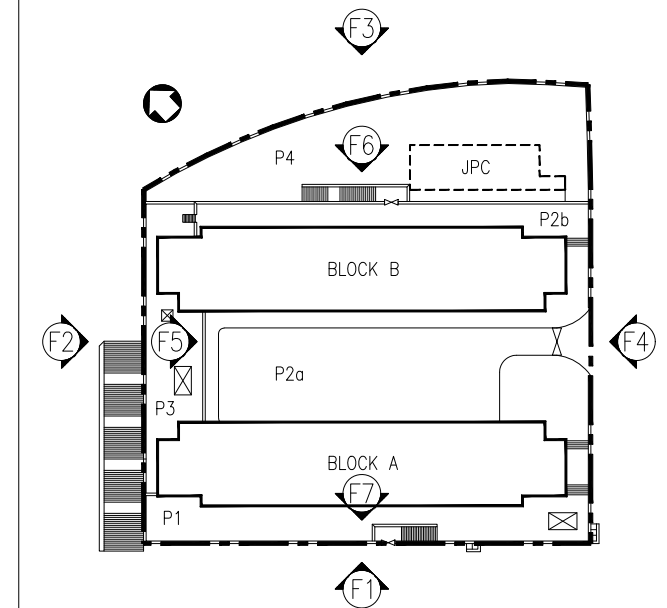


NOTES	LEGEND			KEY PLAN			REVISION			APPROVED			PROJECT TITLE			DRAWING TITLE			OFFICE		
	<div><div><div></div></div></div>			<div><div></div></div>			<div><div></div></div>			<div><div></div></div>			<div><div></div></div>			<div><div></div></div>			<div><div></div></div>		
	SITE BOUNDARY LINE			METAL FENCE			no.			date			date			ELEVATION F1 & F2					
	<div><div></div></div>			<div><div></div></div>			description			initial			C.A.			Ho-kin LI					
	RETAINING WALL MARK			EXISTING TREE TO BE PRESERVED (REFER TO TREE SURVEY REPORT)			S.A.			S.Y.Y. CHEUNG			12.2010			TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK					
	<div><div></div></div>			<div><div></div></div>			P.A.			W.W.L. TSANG			12.2010								
	DRESSED CORNER STONES						designed			12.2010			contract no.			scale 1:200					
	<div><div></div></div>						drawn			P.M. HO			12.2010			file no.					
	EXISTING LEVEL						checked			C.C. CHO			12.2010			project no. 104 ZX			drawing no. AB/7955/HE/GP002		
																			ARCHITECTURAL BRANCH		
																		<div><div></div></div> ARCHITECTURAL SERVICES DEPARTMENT			

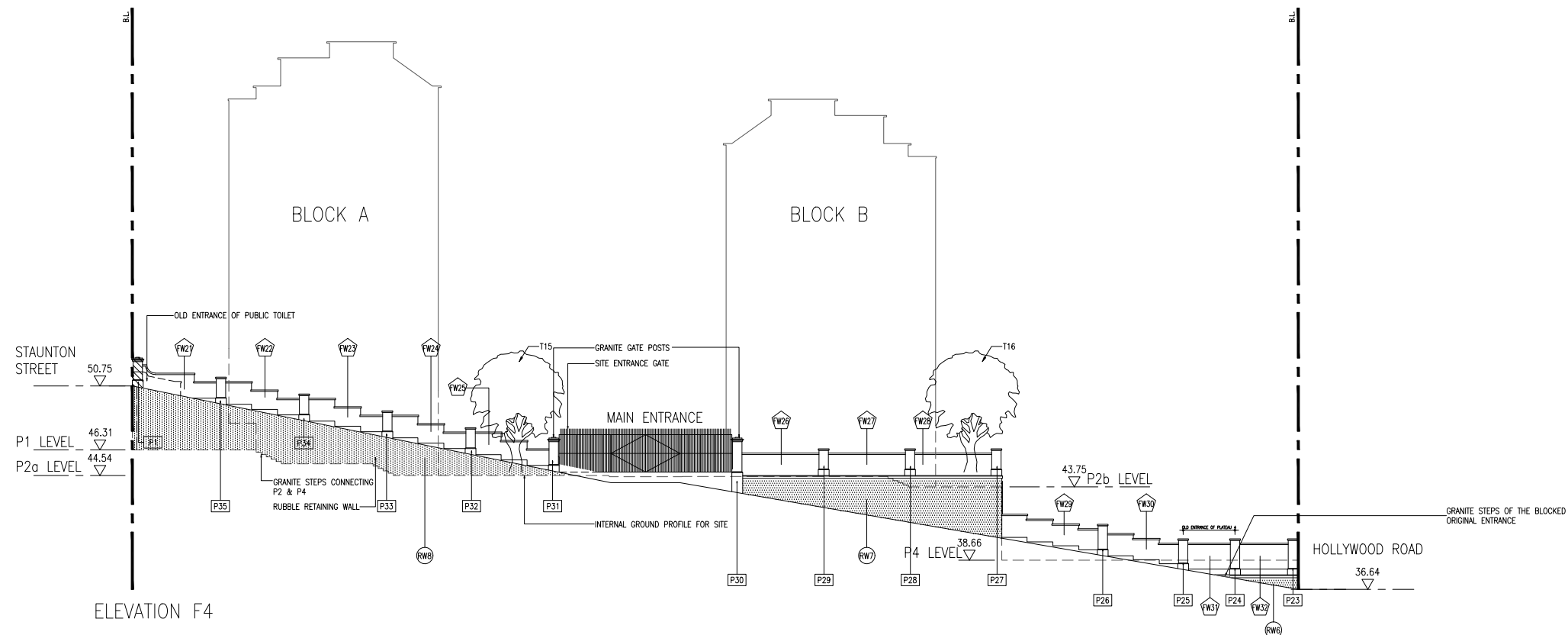




ELEVATION F3



KEY PLAN



ELEVATION F4

NOTES

LEGEND			
	SITE BOUNDARY LINE		METAL FENCE
	GRANITE POST & PLINTH OF BOUNDARY WALL		RETAINING WALL MARK
	RUBBLE RETAINING WALL		TREE NO. EXISTING TREE TO BE PRESERVED (REFER TO TREE SURVEY REPORT)
	DRESSED CORNER STONES		
	EXISTING LEVEL		

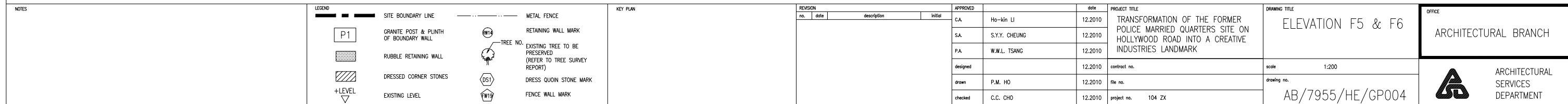
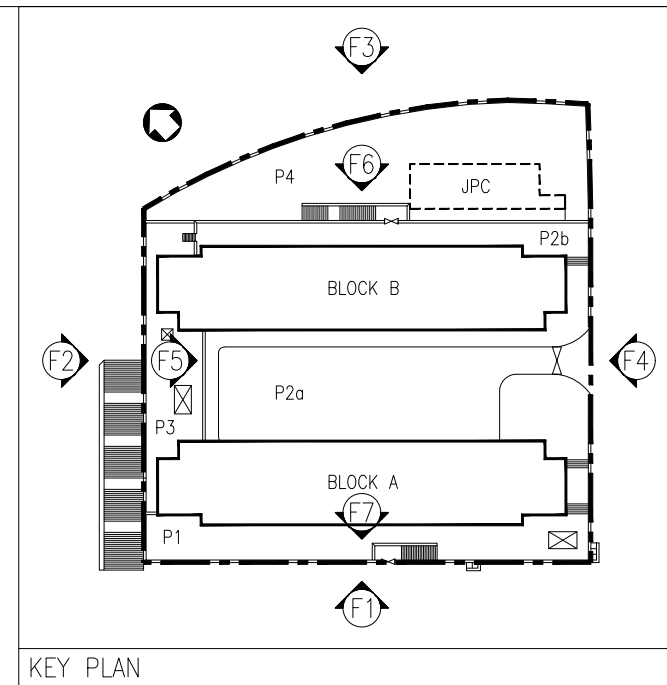
KEY PLAN

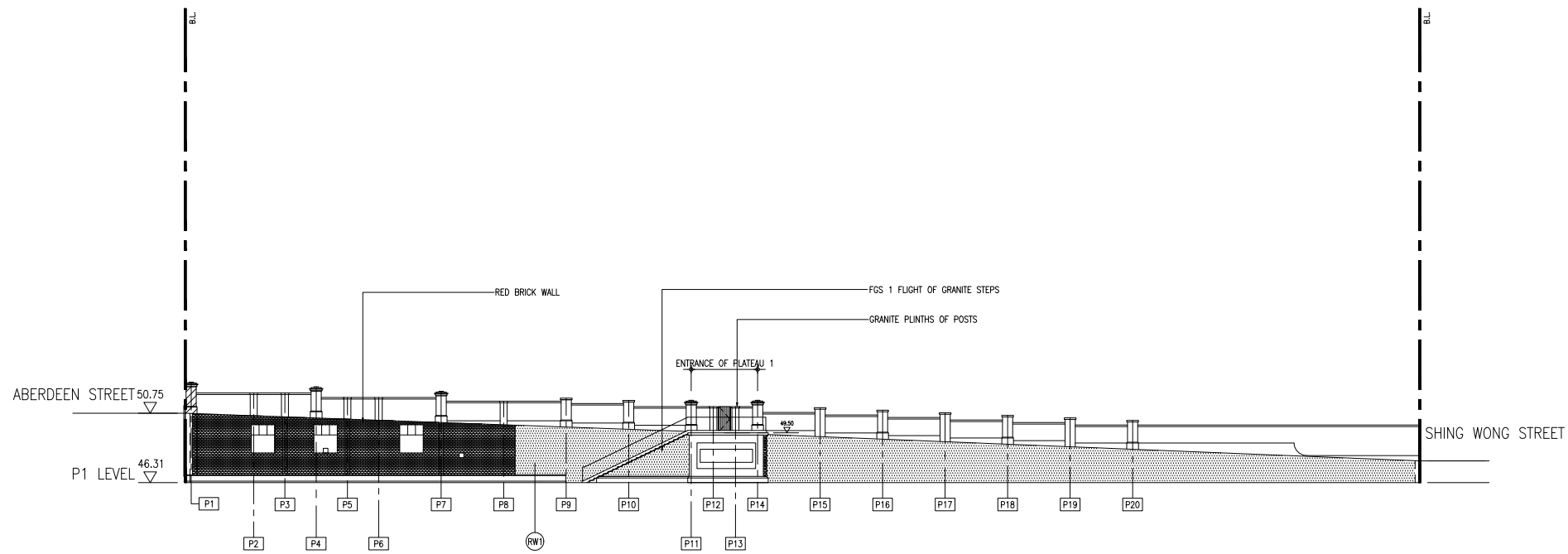
REVISION	no.	date	description	initial

APPROVED	date	PROJECT TITLE
C.A.	12.2010	TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK
S.A.	12.2010	
P.A.	12.2010	
designed	12.2010	contract no.
drawn	12.2010	file no.
checked	12.2010	project no. 104 ZX

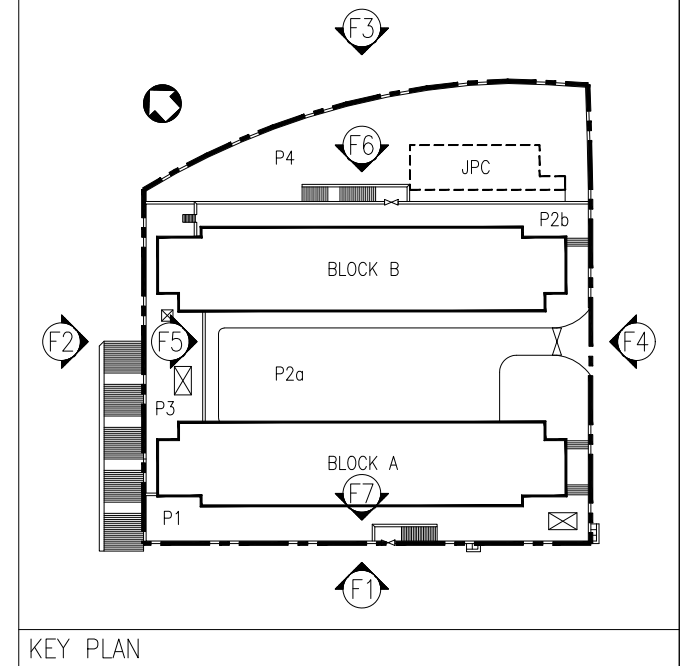
DRAWING TITLE	scale
ELEVATION F3 & F4	1:200
AB/7955/HE/GP003	

OFFICE	ARCHITECTURAL BRANCH
	ARCHITECTURAL SERVICES DEPARTMENT






ELEVATION F7



NOTES	<div>LEGEND</div> <div><div><div>P1</div><div>GRANITE POST &amp; PLINTH OF BOUNDARY WALL</div></div><div><div></div><div>RUBBLE RETAINING WALL</div></div><div><div></div><div>DRESSED CORNER STONES</div></div><div><div>+LEVEL</div><div>EXISTING LEVEL</div></div></div> <div><div></div><div>SITE BOUNDARY LINE</div></div> <div><div></div><div>METAL FENCE</div></div> <div><div>TREE NO.</div><div>EXISTING TREE TO BE PRESERVED (REFER TO TREE SURVEY REPORT)</div></div> <div><div></div><div>RETAINING WALL MARK</div></div>	KEY PLAN	REVISION			APPROVED	date	PROJECT TITLE	DRAWING TITLE	OFFICE
			no.	date	description					
						C.A.	Ho-kin LI	12.2010	ELEVATION F7	ARCHITECTURAL BRANCH
						S.A.	S.Y.Y. CHEUNG	12.2010		
						P.A.	W.W.L. TSANG	12.2010		
						designed		12.2010		
						drawn	P.M. HO	12.2010	scale 1:200	ARCHITECTURAL SERVICES DEPARTMENT
						checked	C.C. CHO	12.2010		
								contract no.	drawing no.	AB/7955/HE/GP005
								file no.		
								project no. 104 ZX		

SCHEDULE OF PRESERVED ITEMS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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ITEMS	CODE	LOCATION								TREATMENTS	REMARK	ITEMS	CODE	LOCATION								TREATMENTS	REMARK	ITEMS	CODE	LOCATION								TREATMENTS	REMARK																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
		FACING STAUNTON STREET	FACING SHING WONG STREET	FACING HOLLYWOOD ROAD	FACING ABERDEEN STREET	ADJONING 1ST PLATEAU	ADJONING 2ND PLATEAU	ADJONING 3RD PLATEAU	ADJONING 4TH PLATEAU					FACING STAUNTON STREET	FACING SHING WONG STREET	FACING HOLLYWOOD ROAD	FACING ABERDEEN STREET	ADJONING 1ST PLATEAU	ADJONING 2ND PLATEAU	ADJONING 3RD PLATEAU	ADJONING 4TH PLATEAU					FACING STAUNTON STREET	FACING SHING WONG STREET	FACING HOLLYWOOD ROAD	FACING ABERDEEN STREET	ADJONING 1ST PLATEAU	ADJONING 2ND PLATEAU	ADJONING 3RD PLATEAU	ADJONING 4TH PLATEAU																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												

NOTES	LEGEND	KEY PLAN	REVISION			APPROVED			PROJECT TITLE			DRAWING TITLE			OFFICE			
			no.	date	description	initial	C.A.	Ho-kin LI	12.2010	TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK			SCHEDULE OF PRESERVED ITEMS			ARCHITECTURAL BRANCH		
							S.A.	S.Y.Y. CHEUNG	12.2010									
							P.A.	W.W.L. TSANG	12.2010									
							designed		12.2010	contract no.			scale 1:200					
							drawn	P.M. HO	12.2010	file no.			AB/7955/HE/GP006					
							checked	C.C. CHO	12.2010	project no. 104 ZX								
															 ARCHITECTURAL SERVICES DEPARTMENT			

## **APPENDIX III**

### **HIA DRAWINGS**



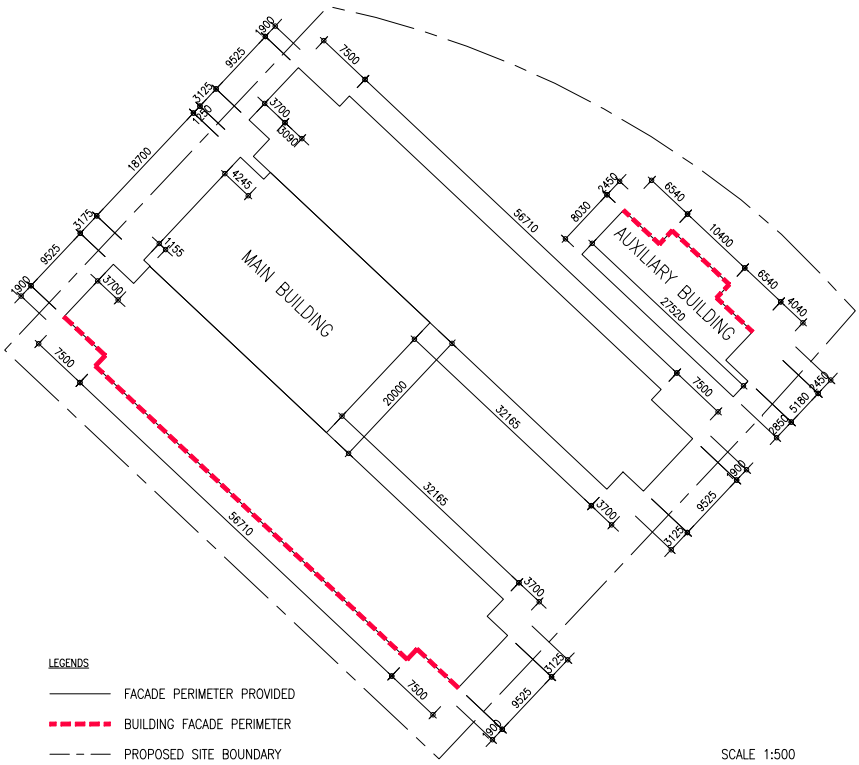
List of HIA Drawings

Drawing No.	Drawing Title	Drawing Date/Drawing Received Date
AB/7955/SCCU/GP002a	Site Plan	18 February 2011
AB/7955/SCCU/GP003a	Lower Terrace Plan	18 February 2011
AB/7955/SCCU/GP004a	Ground Floor Plan	18 February 2011
AB/7955/SCCU/GP005a	First Floor Plan	18 February 2011
AB/7955/SCCU/GP006a	Second Floor Plan	18 February 2011
AB/7955/SCCU/GP007a	Third Floor Plan	18 February 2011
AB/7955/SCCU/GP008a	Fourth Floor Plan	18 February 2011
AB/7955/SCCU/GP009a	Fifth Floor Plan	18 February 2011
AB/7955/SCCU/GP010a	Sixth Floor Plan	14 March 2011
AB/7955/SCCU/GP011a	Seventh Floor Plan	14 March 2011
AB/7955/SCCU/GP012a	Roof Plan	14 March 2011
AB/7955/SCCU/GP013a	Upper Roof Plan	18 February 2011
AB/7955/SCCU/GP014a	Elevation B1 & B3	14 March 2011
AB/7955/SCCU/GP015a	Elevation B2 & B4	28 February 2011
AB/7955/SCCU/GP016a	Section A-A, B-B & C-C	28 February 2011
AB/7955/EX/GP033	Section (Grid 7-8)	14 March 2011

POINTS	CO-ORDINATES	
	EASTING	NORTHING
A	833 675 790	816 106 331
B	833 632 461	816 060 676
C	833 689 781	816 007 140
D	833 710 357	816 028 155
E	833 719 244	816 037 311
F	833 745 885	816 065 682



CALCULATION OF FACADE PERIMETER OF BUILDING REACHED BY E.V.A.



E.V.A. PLAN FOR CALCULATION OF PERCENTAGE OF MAJOR FACADE OF MAIN BUILDING SERVED BY E.V.A.

TOTAL LENGTH OF ALL PERIMETER WALL OF BUILDING:  
20000 + 32165 + 3125 + 3700 + 9525 + 7500 + 1900 + 56710 + 1900 + 7500 + 9525  
+ 3700 + 3175 + 1155 + 18700 + 4245 + 1250 + 3090 + 3125 + 3700 + 9525 + 7500  
+ 1900 + 56710 + 1900 + 7500 + 9525 + 3700 + 3125 + 32165 = 329240

TOTAL LENGTH OF THE FACADE OF BUILDING TO BE SERVED BY THE E.V.A.:  
7500 + 1900 + 56710 + 1900 + 7500 = 75510

PERCENTAGE OF PERIMETER WALL OF BUILDING SERVED BY THE E.V.A.:  
( 75510 / 329240 ) x 100% = 22.935 < 25%

E.V.A. PLAN FOR CALCULATION OF PERCENTAGE OF MAJOR FACADE OF AUXILIARY BUILDING SERVED BY E.V.A.

TOTAL LENGTH OF ALL PERIMETER WALL OF BUILDING:  
2850 + 4040 + 5180 + 6540 + 2450 + 10400 + 2450 + 6540 + 8030 + 27520 = 76000

TOTAL LENGTH OF THE FACADE OF BUILDING TO BE SERVED BY THE E.V.A.:  
6540 + 2450 + 10400 + 2450 + 6540 = 28380

PERCENTAGE OF PERIMETER WALL OF BUILDING SERVED BY THE E.V.A.:  
( 28380 / 76000 ) x 100% = 37.342 > 25%

NOTES

LEGEND

---

SITE BOUNDARY LINE

×

37.64

EXISTING LEVEL

∞

ENTRANCE GATE

← PED-1

PEDESTRIAN ENTRANCE

← VEH-1

VEHICULAR ENTRANCE

KEY PLAN

2.5m

0

5m

REVISION

no.	date	description	initial
a	01.2011	GENERAL REVISION	

APPROVED

C.A.	H.K. LI	08.2010
S.A.	SA/23	08.2010
P.A.	W.L. TSANG	08.2010
designed		08.2010
drawn	H.M. TSANG	08.2010
checked	C.C. CHO	08.2010

PROJECT TITLE

TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK

contract no.

file no.

project no.

104 ZX

DRAWING TITLE

SITE PLAN

(SCCU SUBMISSION)

scale

1:250

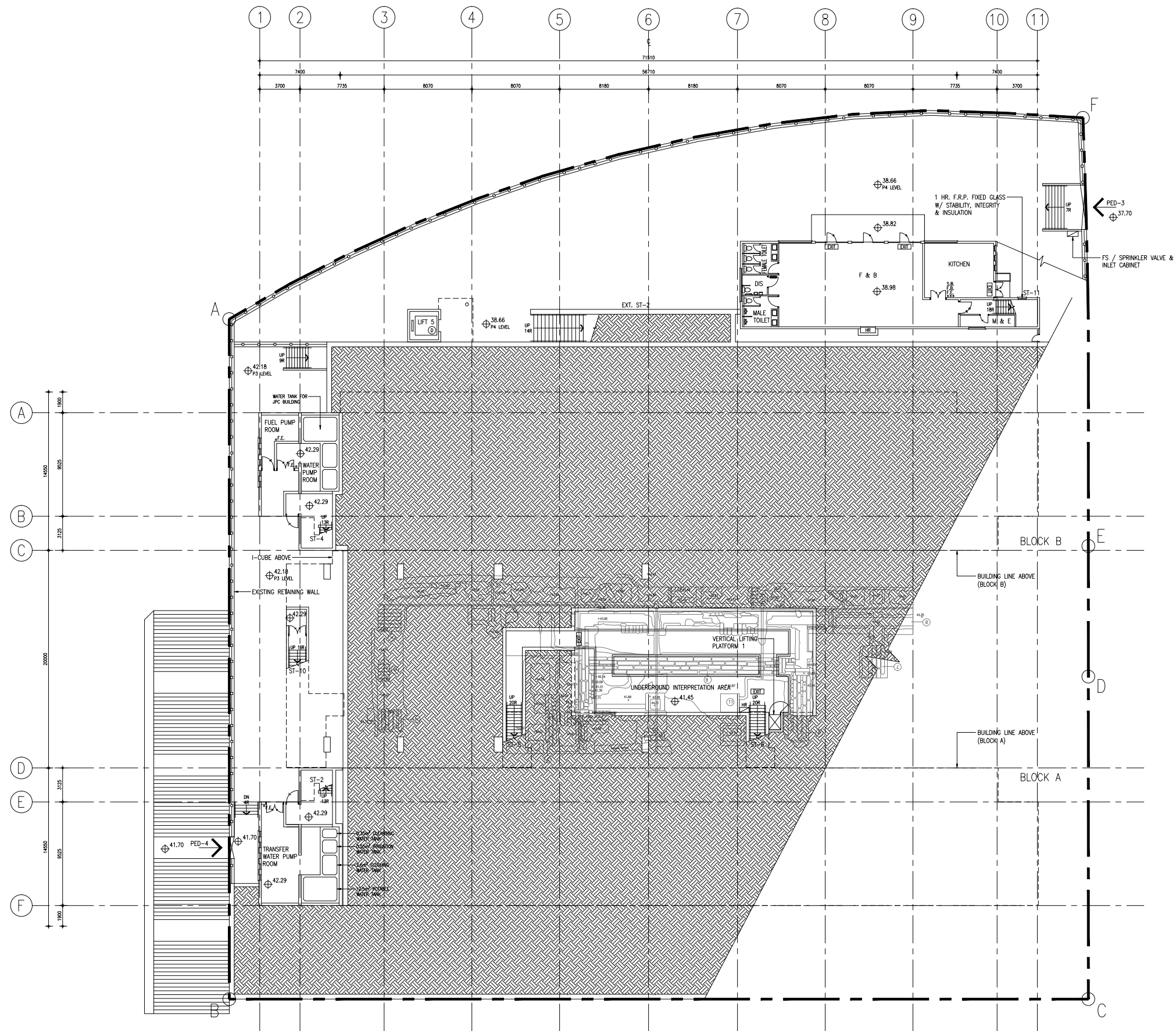
drawing no.

AB/7955/SCCU/GP002a

OFFICE

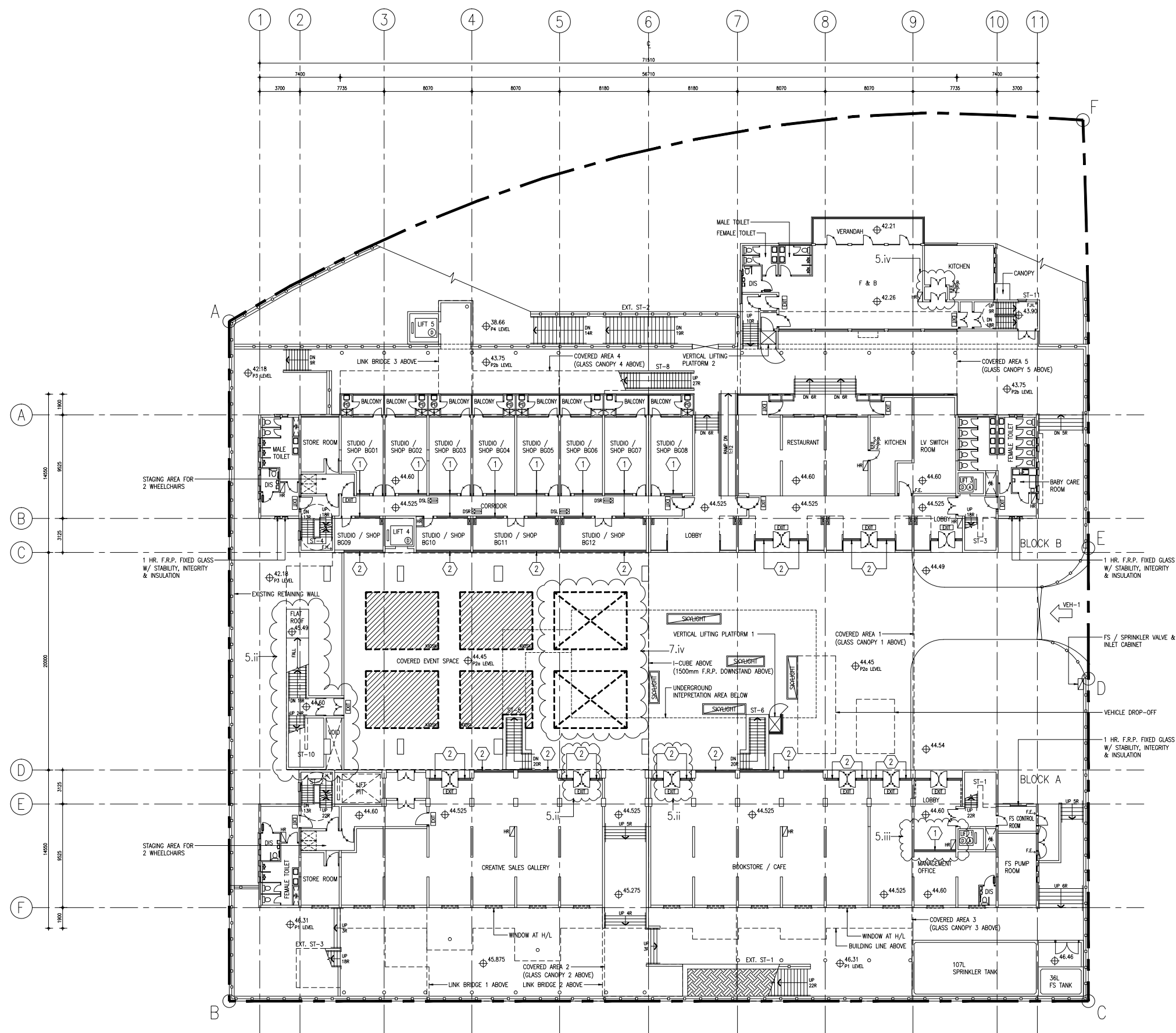
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ARCHITECTURAL SERVICES DEPARTMENT

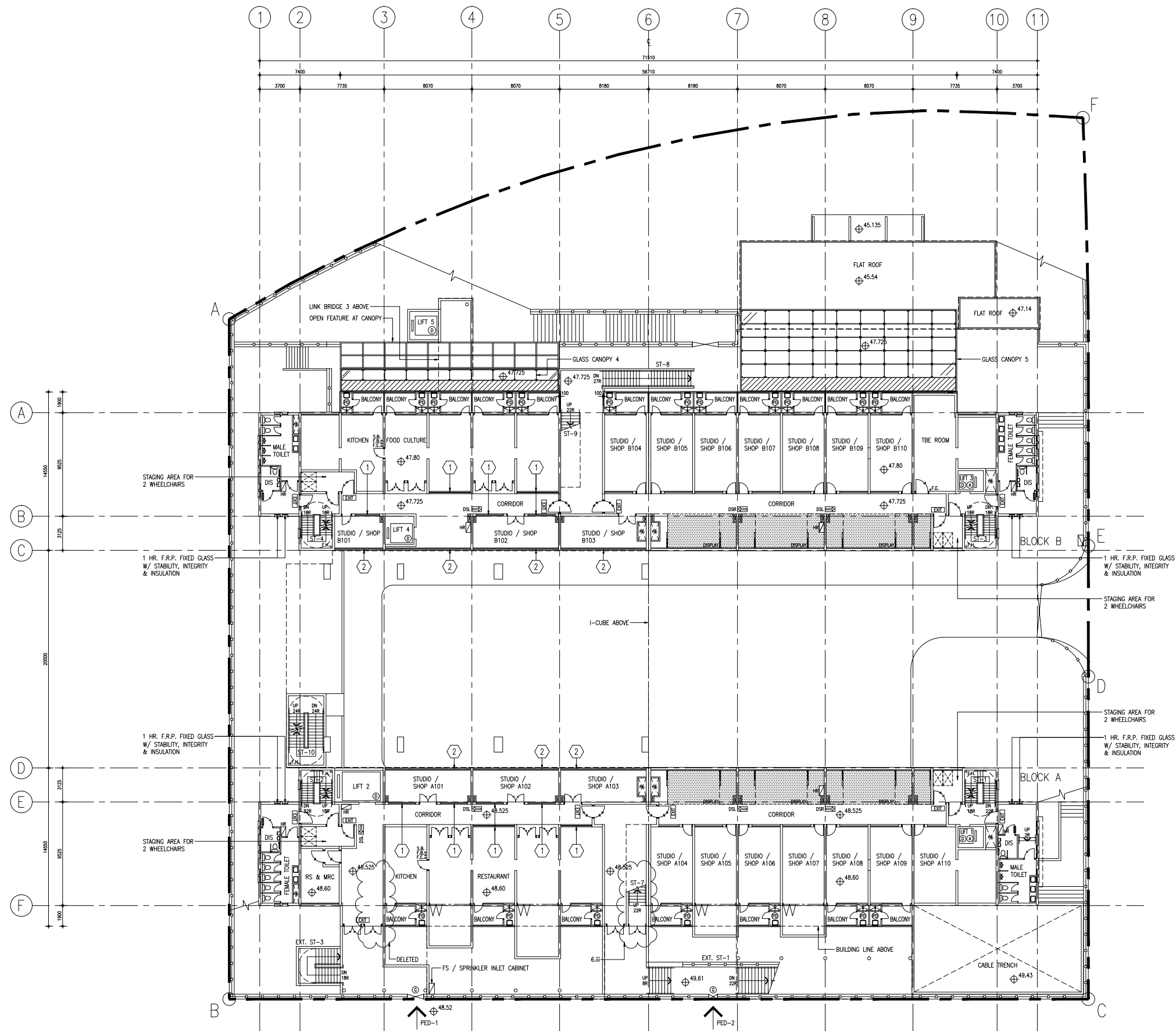


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PED-1 PEDESTRIAN ENTRANCE



1 841 x 594



NOTES

LEGEND

- SITE BOUNDARY LINE
- FENCE / RAILING
- 42.04 STRUCTURAL FLOOR LEVEL
- ENTRANCE GATE
- SHOWCASE / DISPLAY AREA
- PED-1 PEDESTRIAN ENTRANCE
- 1 1 HR. F.R.P. FIXED GLASS
- 2 2 HR. F.R.P. FIXED GLASS
- PD PIPE DUCT (1 HR. F.R.P.) WITH ACCESS PANEL (0.5 HR. F.R.P.)

KEY PLAN

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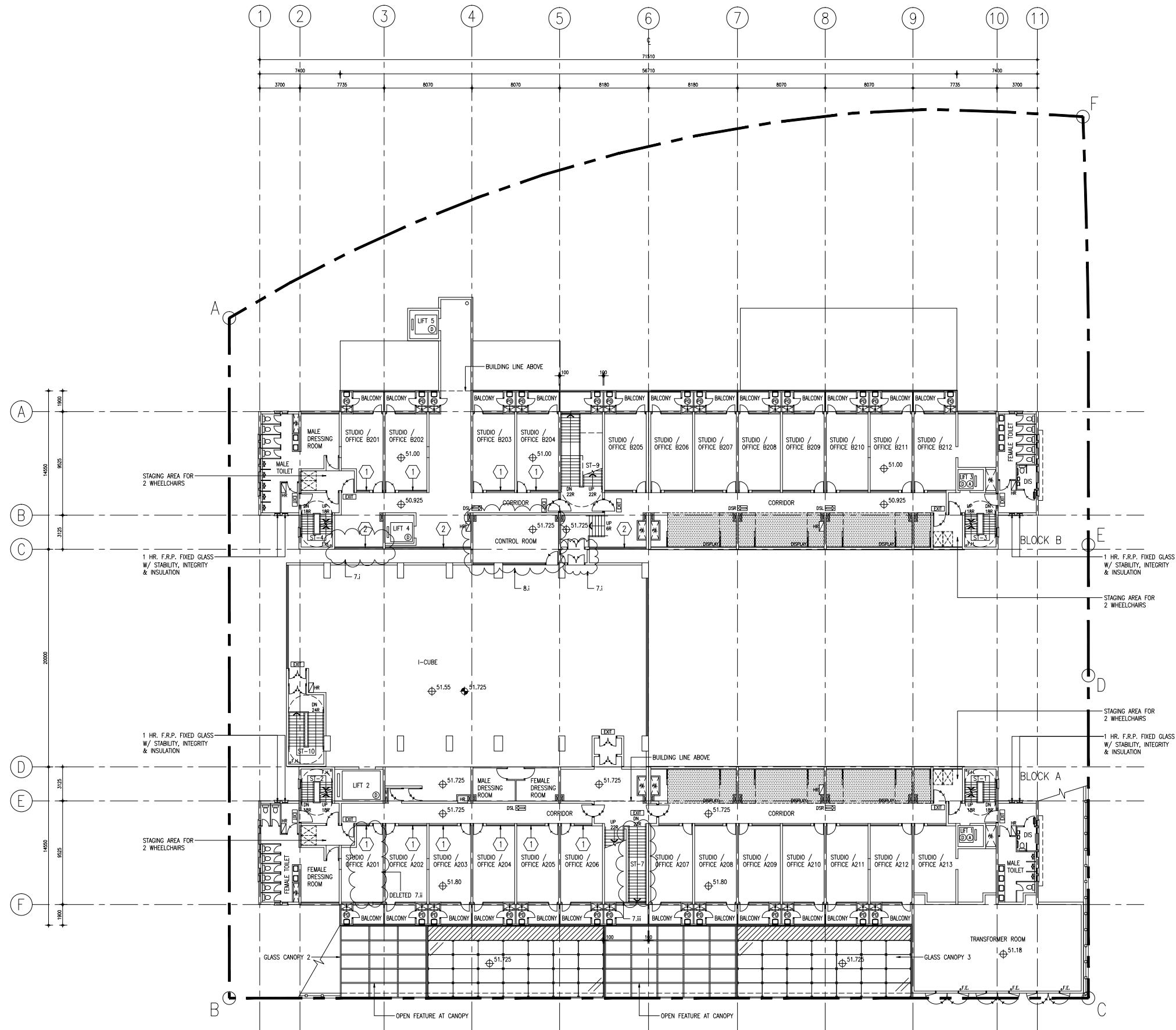
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designed	08.2010
drawn	08.2010
checked	08.2010

PROJECT TITLE	contract no.	scale
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drawing no.	file no.	project no.
AB/7955/SCCU/GP005a		104 ZX

DRAWING TITLE	scale
FIRST FLOOR PLAN	1:200
(SCCU SUBMISSION)	

OFFICE	ARCHITECTURAL SERVICES DEPARTMENT
ARCHITECTURAL BRANCH	





NOTES

LEGEND

- SITE BOUNDARY LINE
- FENCE / RAILING
- 42.04 STRUCTURAL FLOOR LEVEL
- SHOWCASE / DISPLAY AREA
- PIPE DUCT (1 HR. F.R.P.) WITH ACCESS PANEL (0.5 HR. F.R.P.)
- 1 1 HR. F.R.P. FIXED GLASS
- 2 2 HR. F.R.P. FIXED GLASS

KEY PLAN

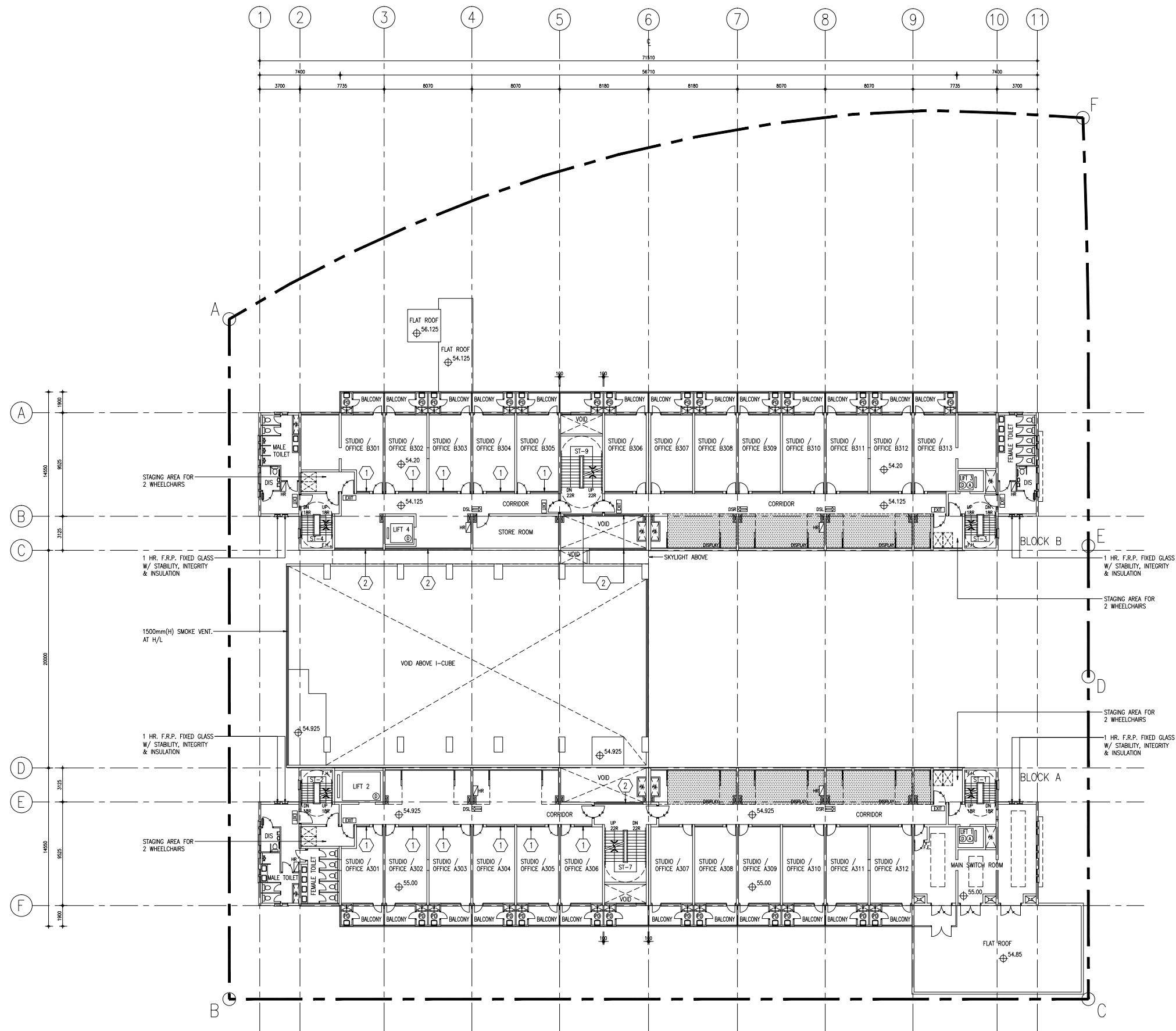
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S.A.	08.2010
P.A.	08.2010
designed	08.2010
drawn	08.2010
checked	08.2010

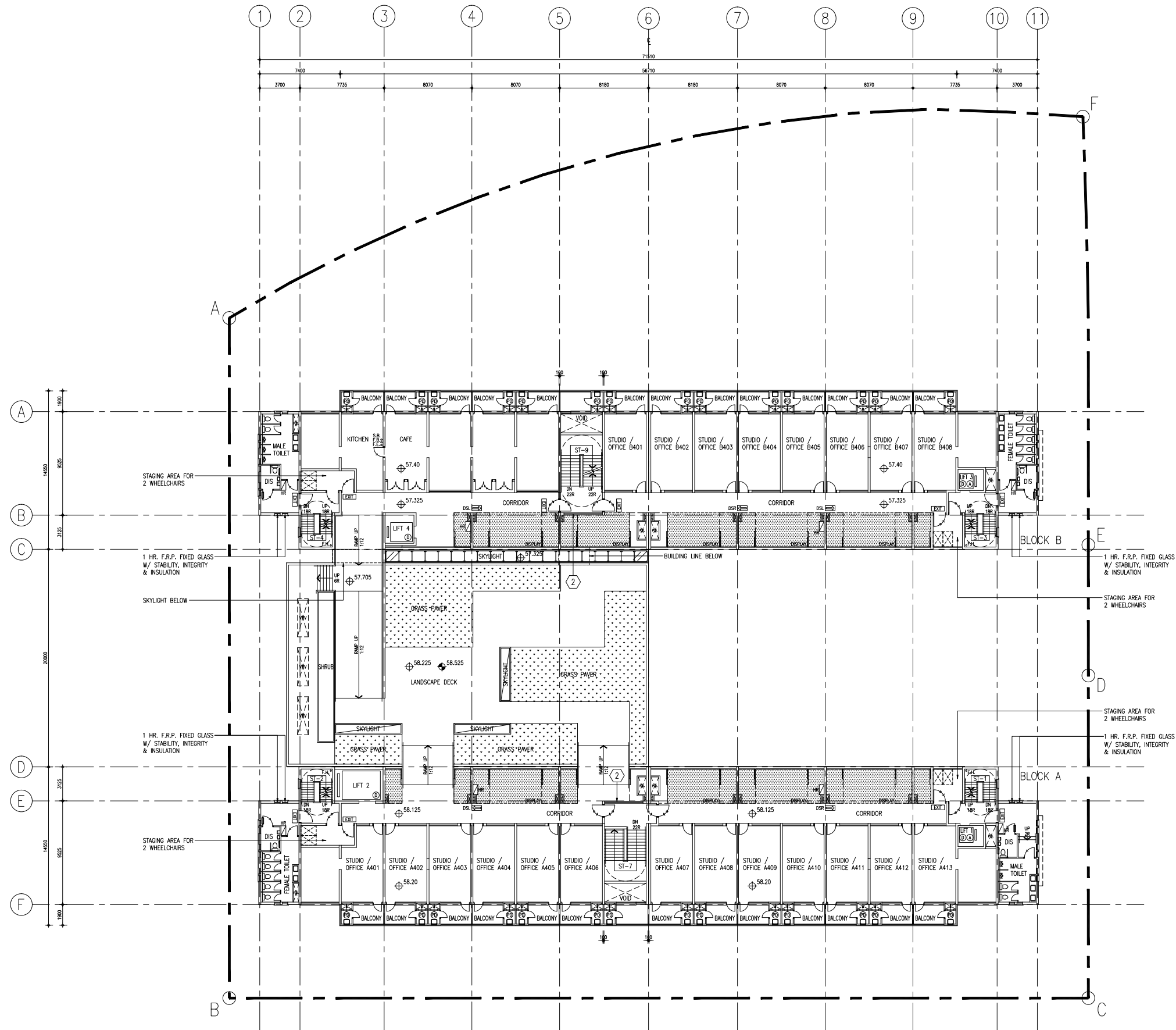
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DRAWING TITLE	scale
SECOND FLOOR PLAN	1:200
(SCCU SUBMISSION)	
AB/7955/SCCU/GP006a	

OFFICE	ARCHITECTURAL SERVICES DEPARTMENT
ARCHITECTURAL BRANCH	

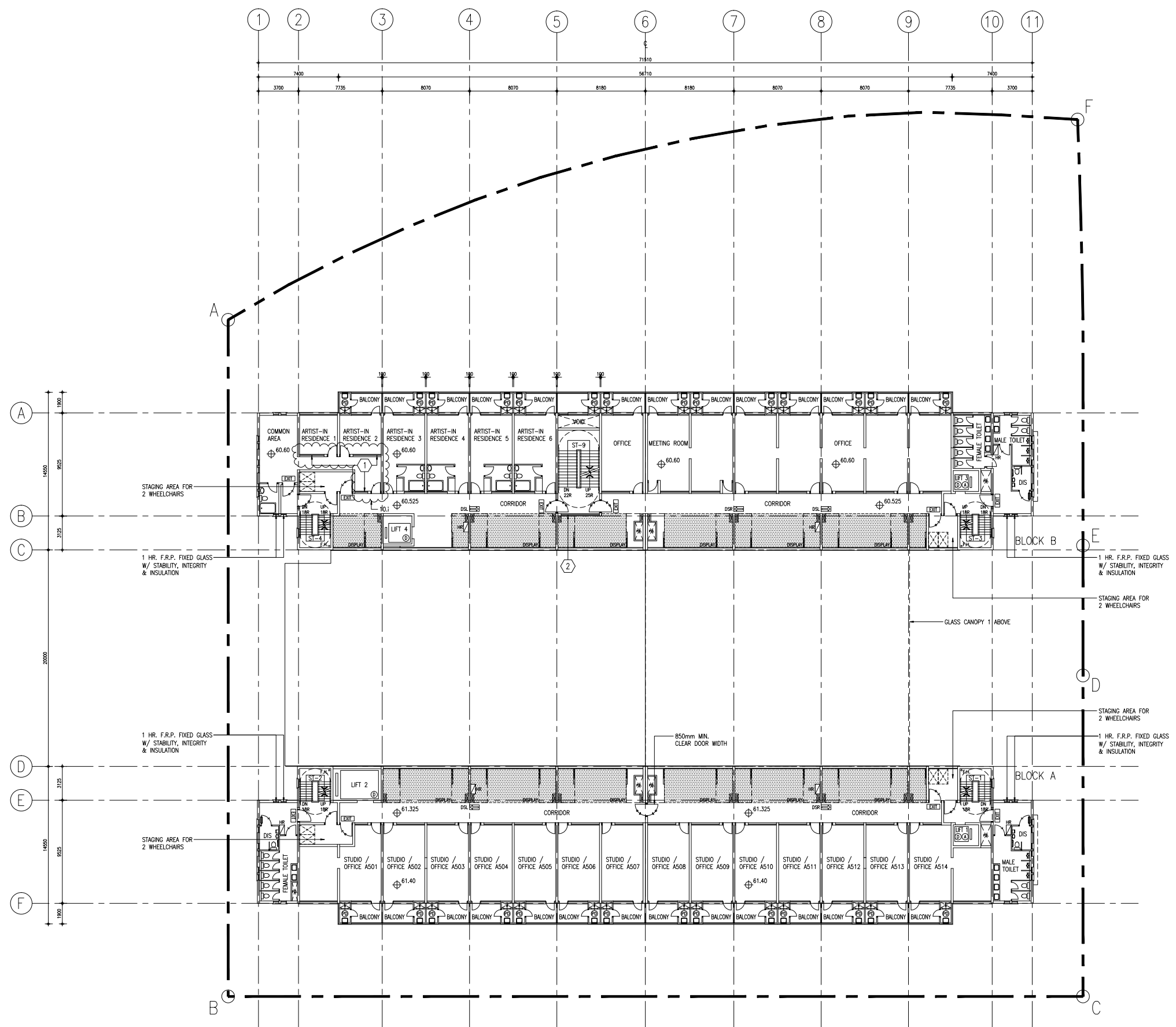


1 841 x 594



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LEGEND

- SITE BOUNDARY LINE
- 42.04 STRUCTURAL FLOOR LEVEL
- SHOWCASE / DISPLAY AREA
- PD PIPE DUCT (1 HR. F.R.P.) WITH ACCESS PANEL (0.5 HR. F.R.P.)

KEY PLAN

- 1 1 HR. F.R.P. FIXED GLASS
- 2 2 HR. F.R.P. FIXED GLASS

REVISION		APPROVED	date
no.	description	initial	
01	GENERAL REVISION		

APPROVED		date
no.	description	
C.A.	H.K. LI	08.2010
S.A.	SA/23	08.2010
P.A.	W.L. TSANG	08.2010
designed		08.2010
drawn	H.M. TSANG	08.2010
checked	C.C. CHO	08.2010

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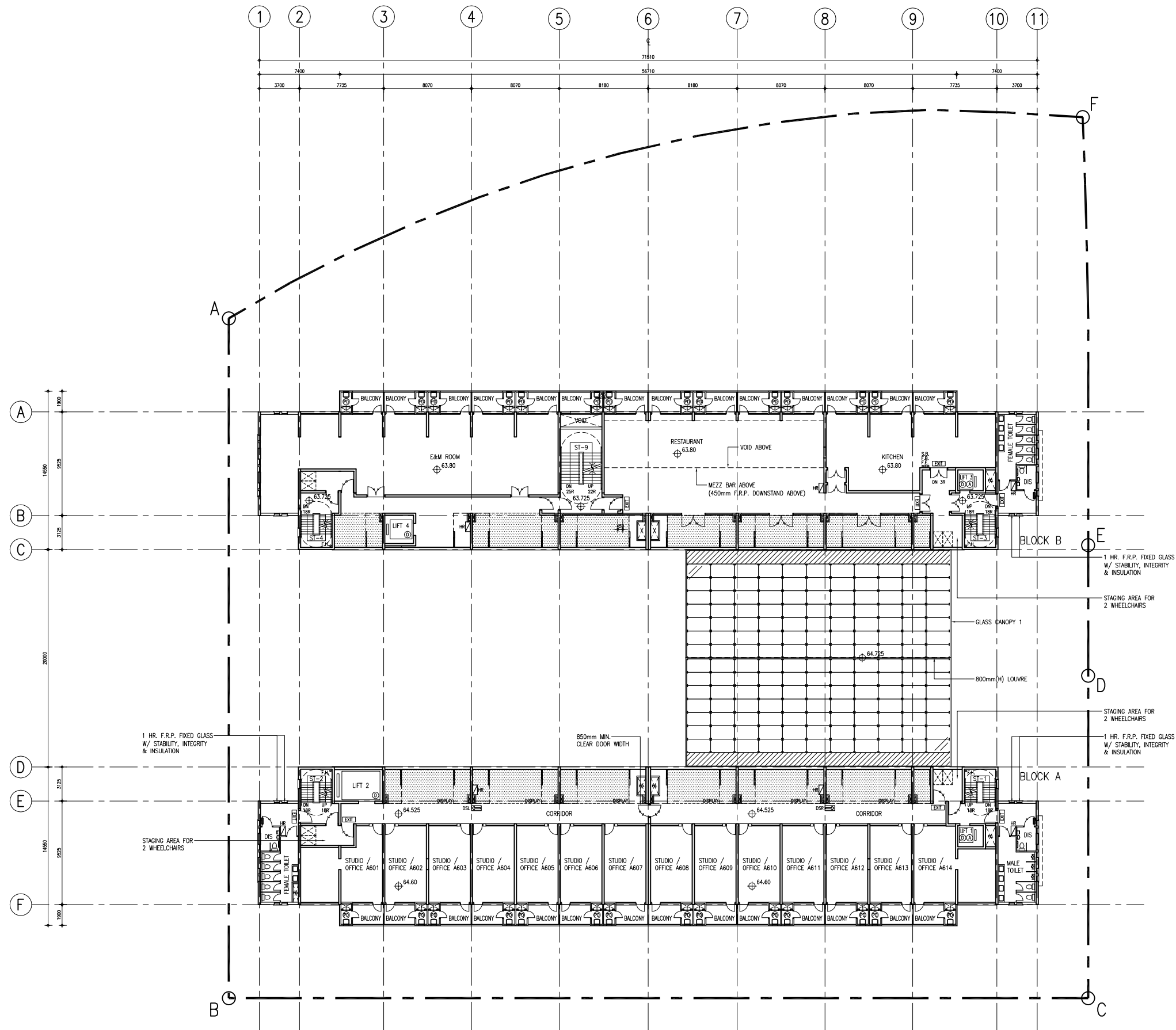
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(SCCU SUBMISSION)		
AB/7955/SCCU/GP009a		

OFFICE

ARCHITECTURAL BRANCH

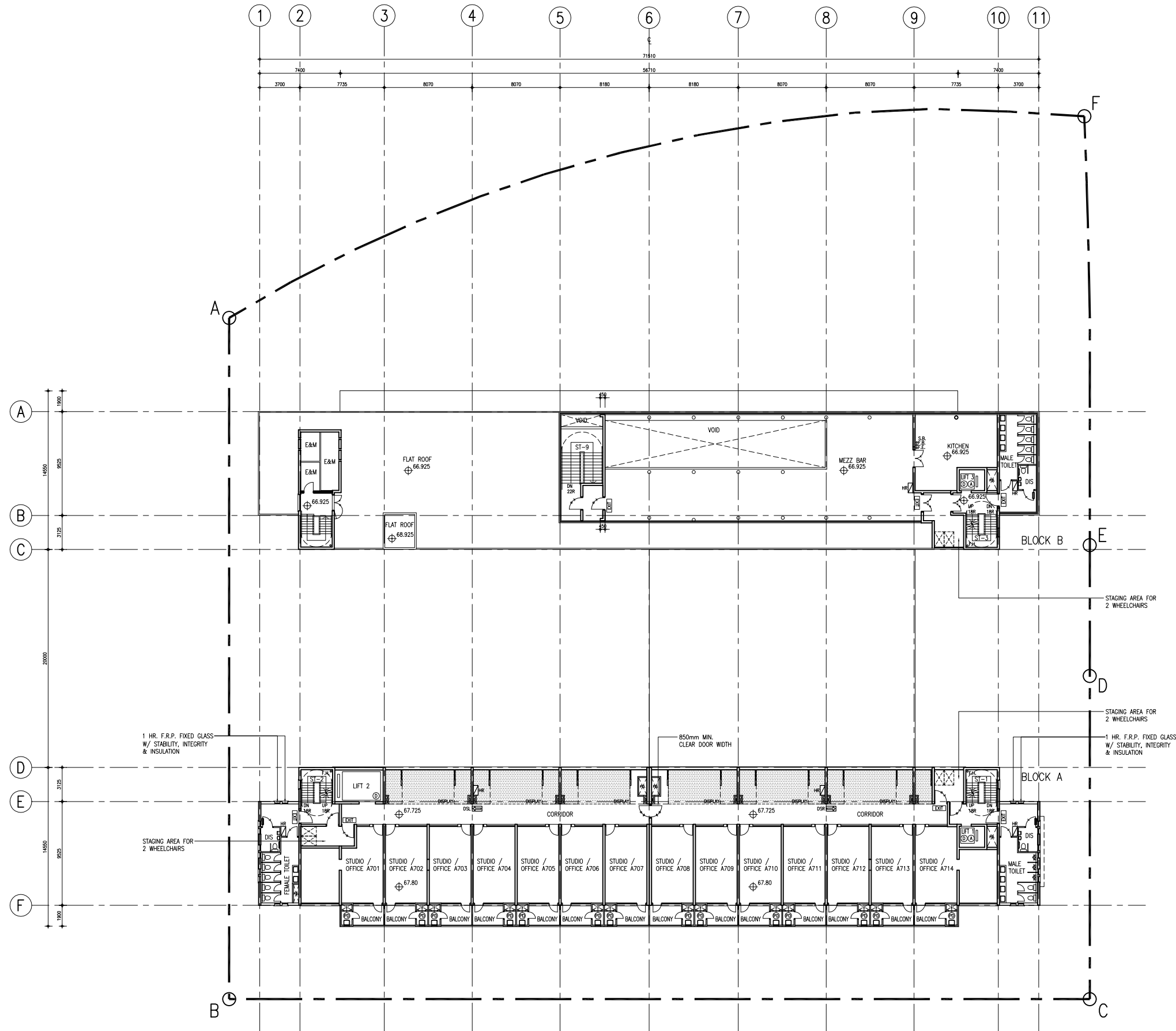
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2m 0 4m



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	P.A.	W.L. TSANG	08.2010																																										
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	drawn	H.M. TSANG	08.2010																																										
	checked	C.C. CHO	08.2010																																										
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			project no. 104 ZX		AB/7955/SCCU/GP010a																																								





NOTES

42.04

display

PD

SITE BOUNDARY LINE

STRUCTURAL FLOOR LEVEL

SHOWCASE / DISPLAY AREA

PIPE DUCT (1 HR. F.R.P.) WITH ACCESS PANEL (0.5 HR. F.R.P.)

KEY PLAN

REVISION

no.

date

description

initial

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01.2011

GENERAL REVISION

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C.A.

H.K. LI

08.2010

S.A.

SA/23

08.2010

P.A.

W.L. TSANG

08.2010

designed

08.2010

drawn

H.M. TSANG

08.2010

checked

C.C. CHO

08.2010

PROJECT TITLE

TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK

contract no.

scale

1:200

drawing no.

AB/7955/SCCU/GP011a

file no.

project no.

104 ZX

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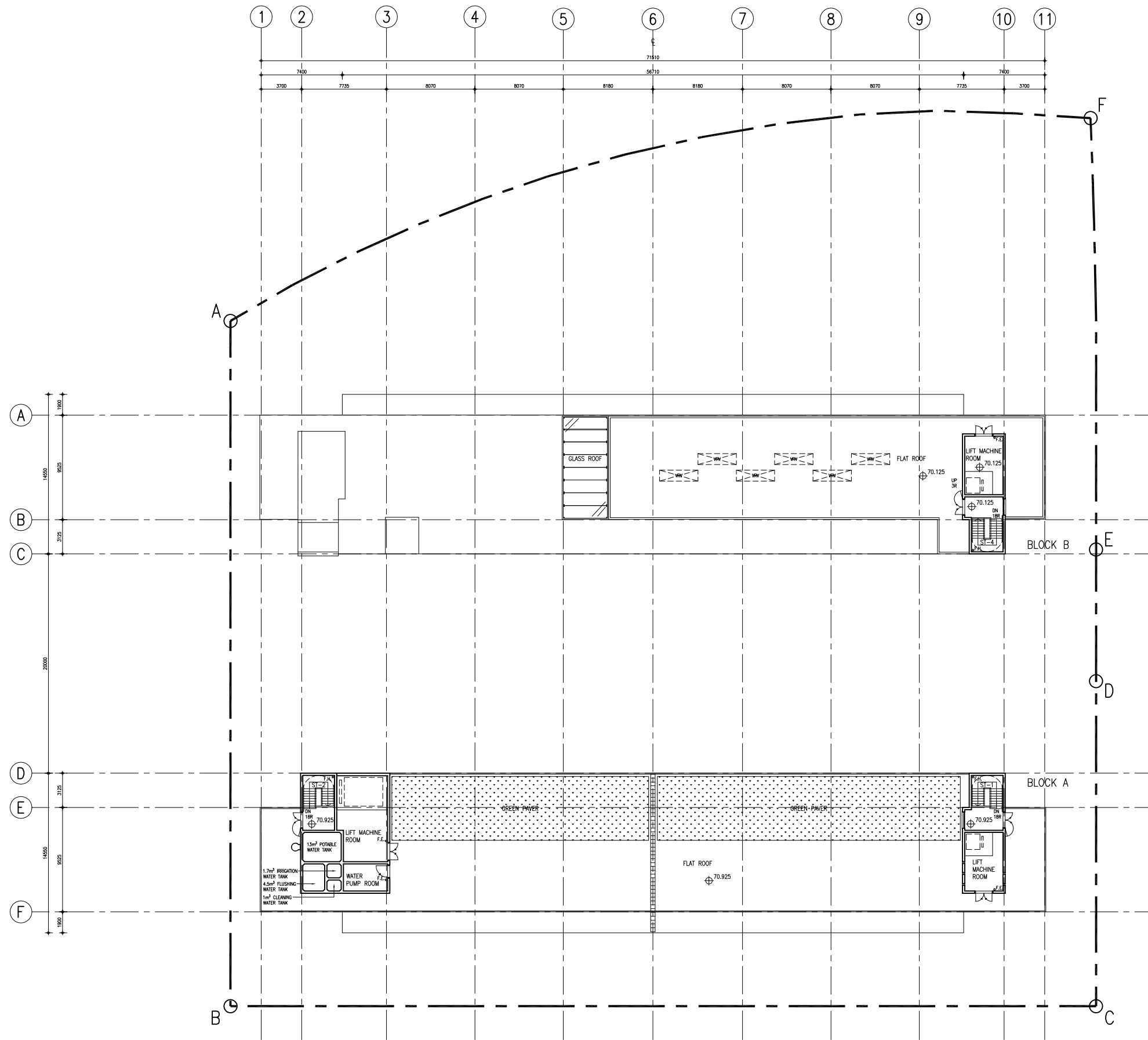
SEVENTH FLOOR PLAN

(SCCU SUBMISSION)

OFFICE

ARCHITECTURAL BRANCH

ARCHITECTURAL SERVICES DEPARTMENT



NOTES

LEGEND

--- SITE BOUNDARY LINE  
⊕ 42.04 STRUCTURAL FLOOR LEVEL

KEY PLAN

REVISION

no.	date	description	initial
a	01.2011	GENERAL REVISION	

APPROVED

C.A.	H.K. LI	08.2010
S.A.	SA/23	08.2010
P.A.	W.L. TSANG	08.2010
designed		08.2010
drawn	H.M. TSANG	08.2010
checked	C.C. CHO	08.2010

date

PROJECT TITLE	TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK
contract no.	
file no.	
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DRAWING TITLE

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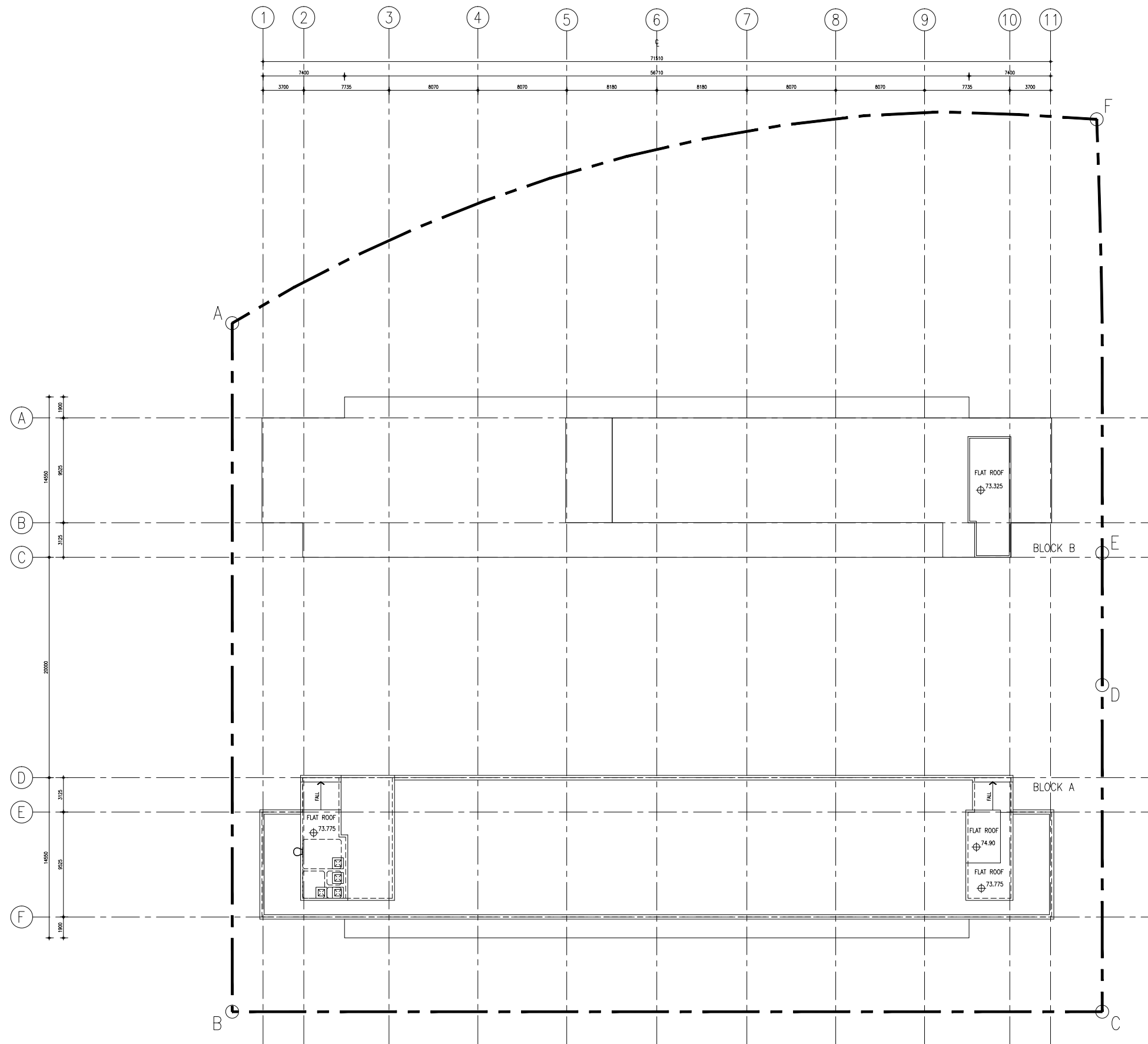
OFFICE

ARCHITECTURAL BRANCH



ARCHITECTURAL  
SERVICES  
DEPARTMENT

2m 0 4m



NOTES

LEGEND

--- SITE BOUNDARY LINE  
+42.04 STRUCTURAL FLOOR LEVEL

KEY PLAN

REVISION

no.	date	description	initial
01	2011	GENERAL REVISION	

APPROVED

C.A.	H.K. LI	08.2010
S.A.	SA/23	08.2010
P.A.	W.L. TSANG	08.2010
designed		08.2010
drawn	H.M. TSANG	08.2010
checked	C.C. CHO	08.2010

date

PROJECT TITLE

TRANSFORMATION OF THE FORMER  
POLICE MARRIED QUARTERS SITE ON  
HOLLYWOOD ROAD INTO A CREATIVE  
INDUSTRIES LANDMARK

DRAWING TITLE

UPPER ROOF PLAN  
(SCCU SUBMISSION)

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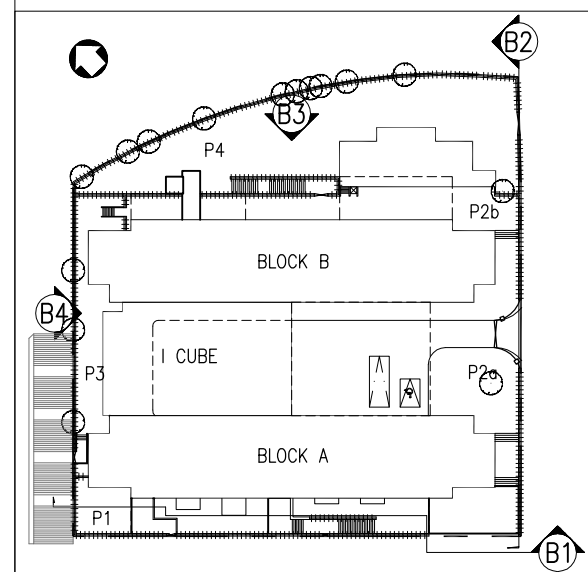
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ARCHITECTURAL BRANCH



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SERVICES  
DEPARTMENT



NOTES	

LEGEND	
	SITE BOUNDARY LINE
	STRUCTURAL FLOOR LEVEL

KEY PLAN	

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a	01.2011	GENERAL REVISION	

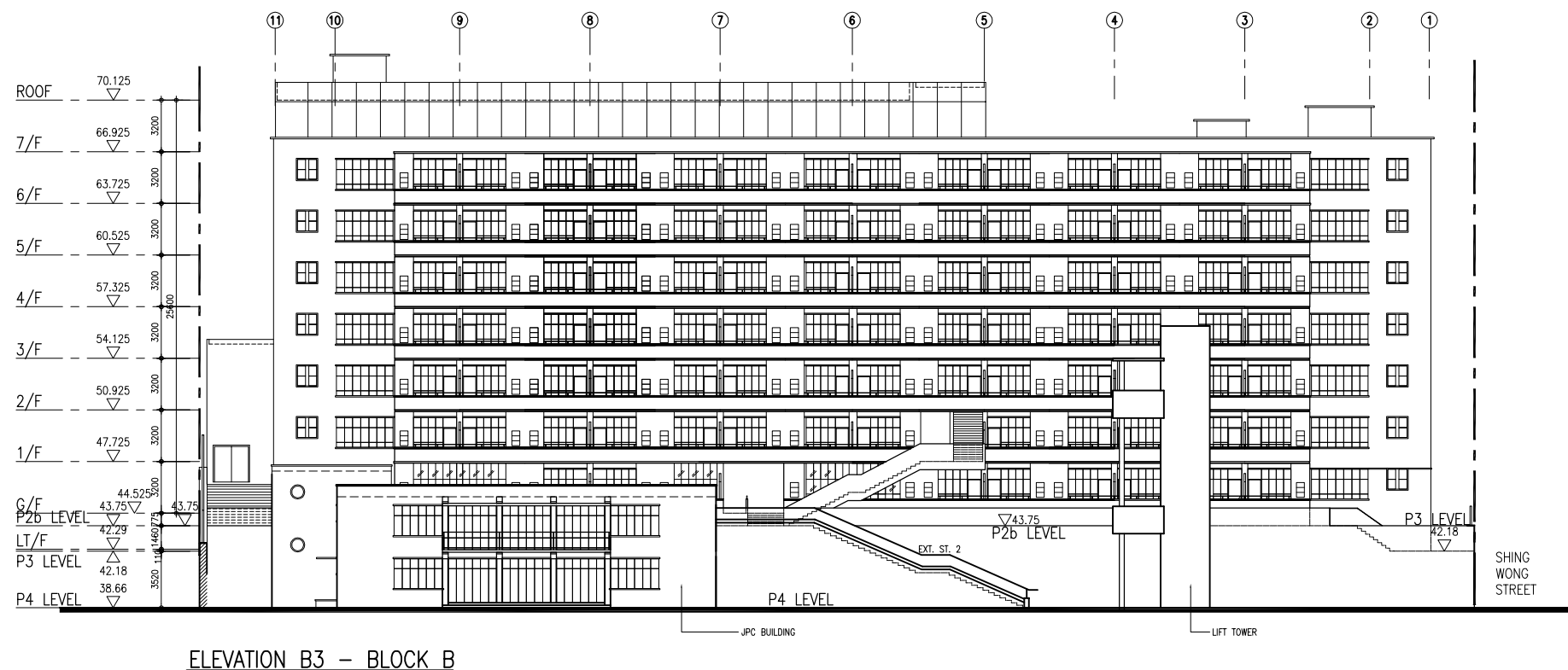
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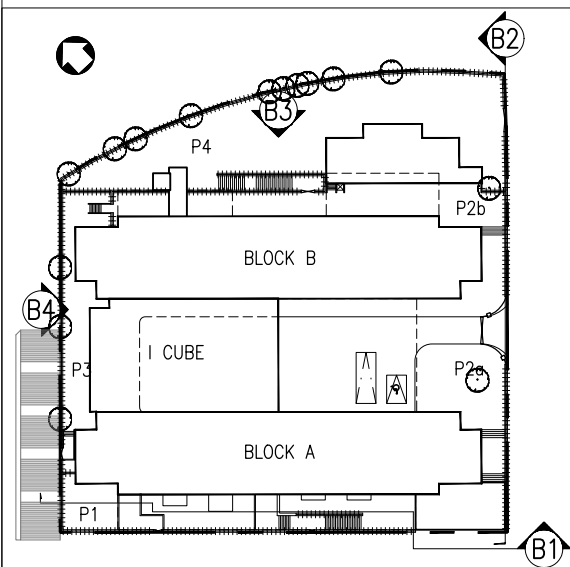
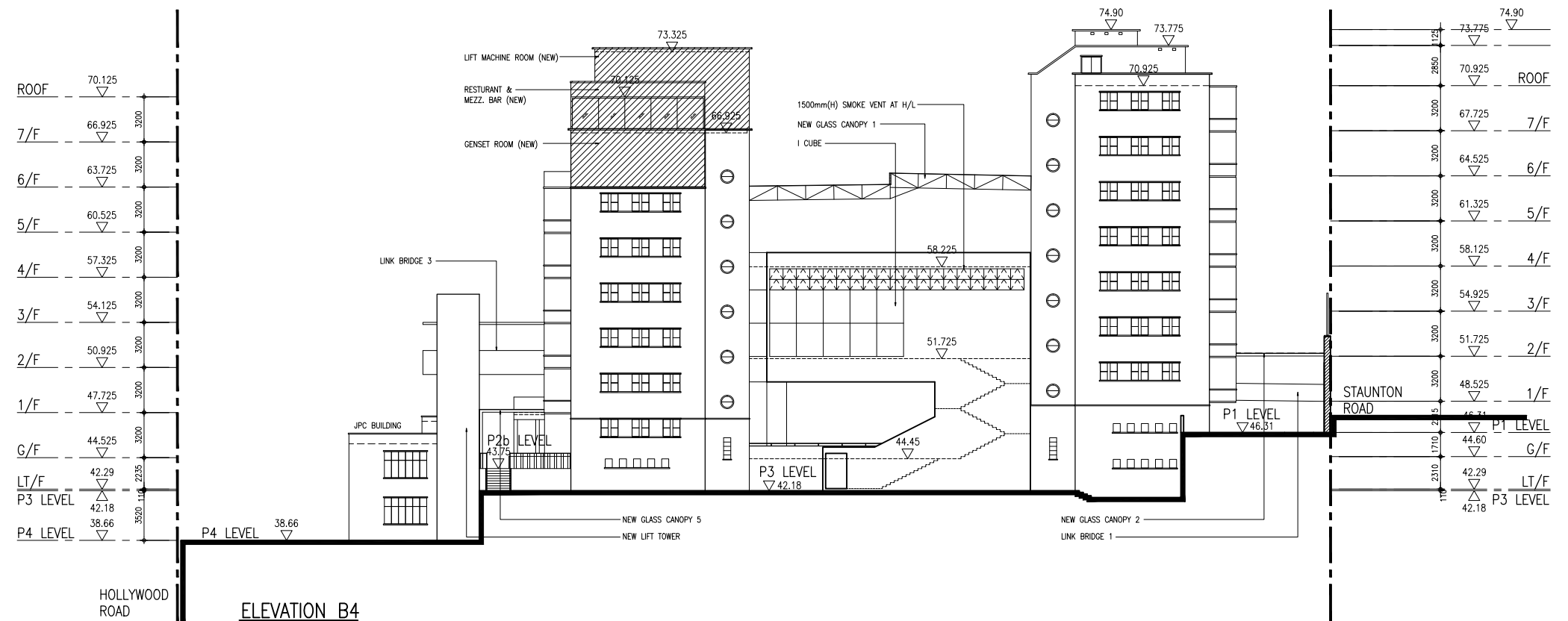
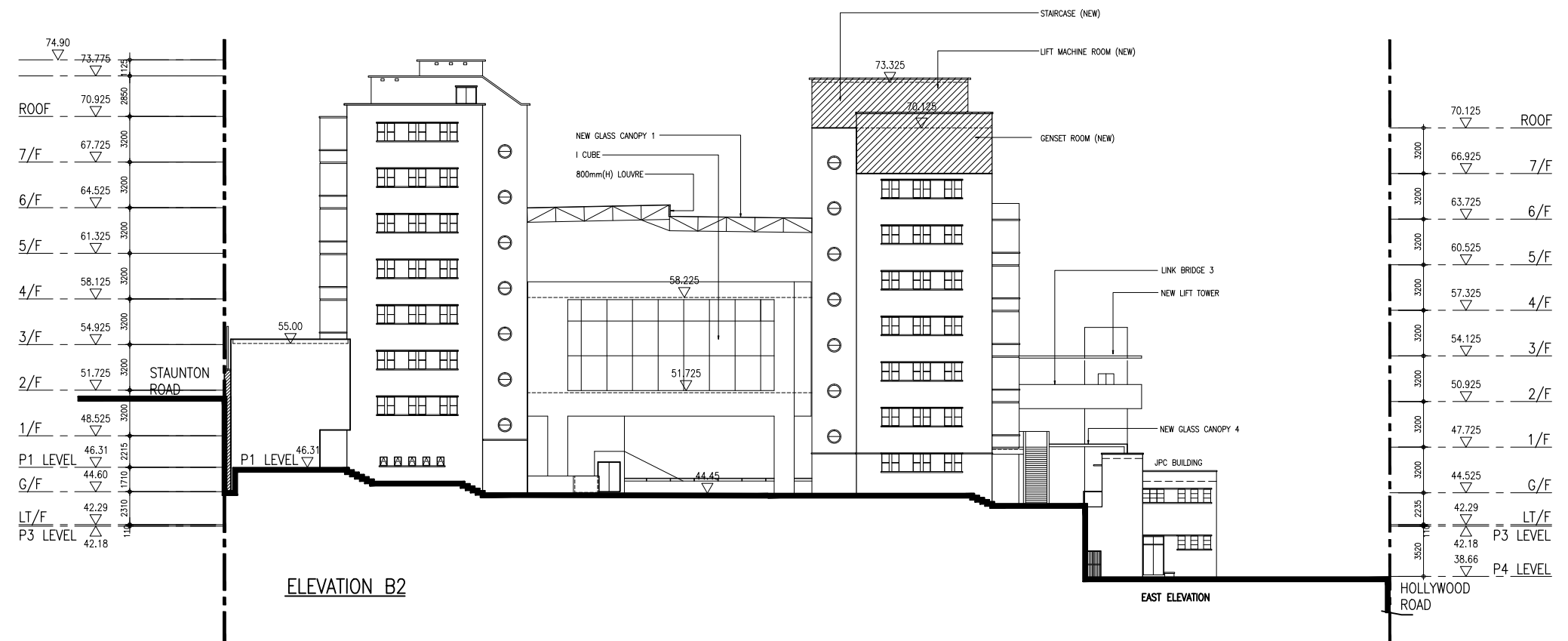
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TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK	
contract no.	
file no.	
project no.	104 ZX

DRAWING TITLE	
ELEVATION B1 & B3 (SCCU SUBMISSION)	
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drawing no.	AB/7955/SCCU/GP014a

OFFICE	
ARCHITECTURAL BRANCH	
ARCHITECTURAL SERVICES DEPARTMENT	






## KEY PLAN

## NOTES

LEGEND

	SITE BOUNDARY LINE
	STRUCTURAL FLOOR LEVEL

**KEY PLAN**

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a	01.2011	GENERAL REVISION	

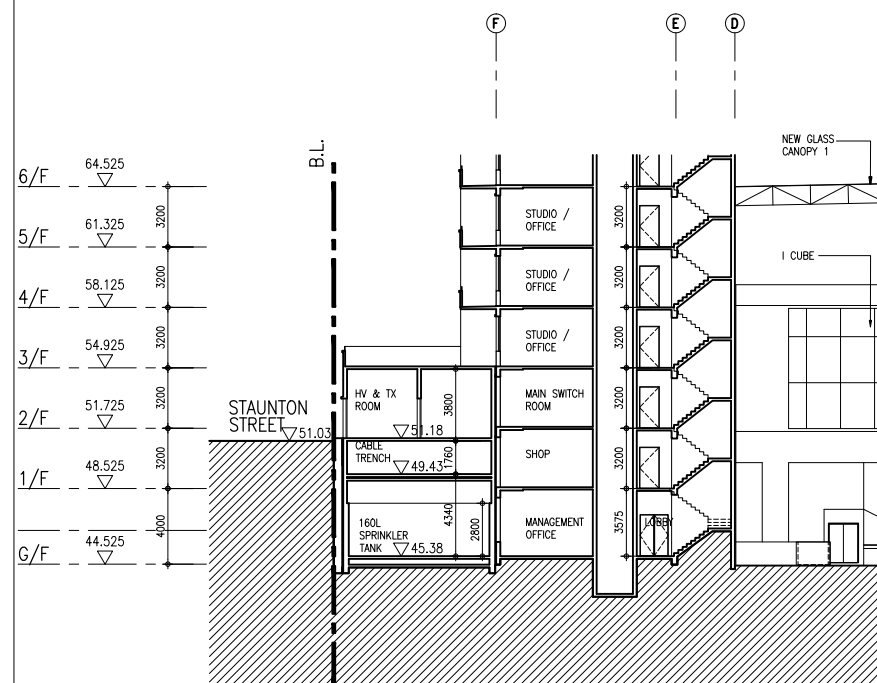
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C.A.	H.K. LI
S.A.	SA/23
P.A.	W.L. TSANG
designed	
drawn	H.M. TSANG
checked	C.C. CHO

date	PROJECT TITLE
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08.2010	contract no.
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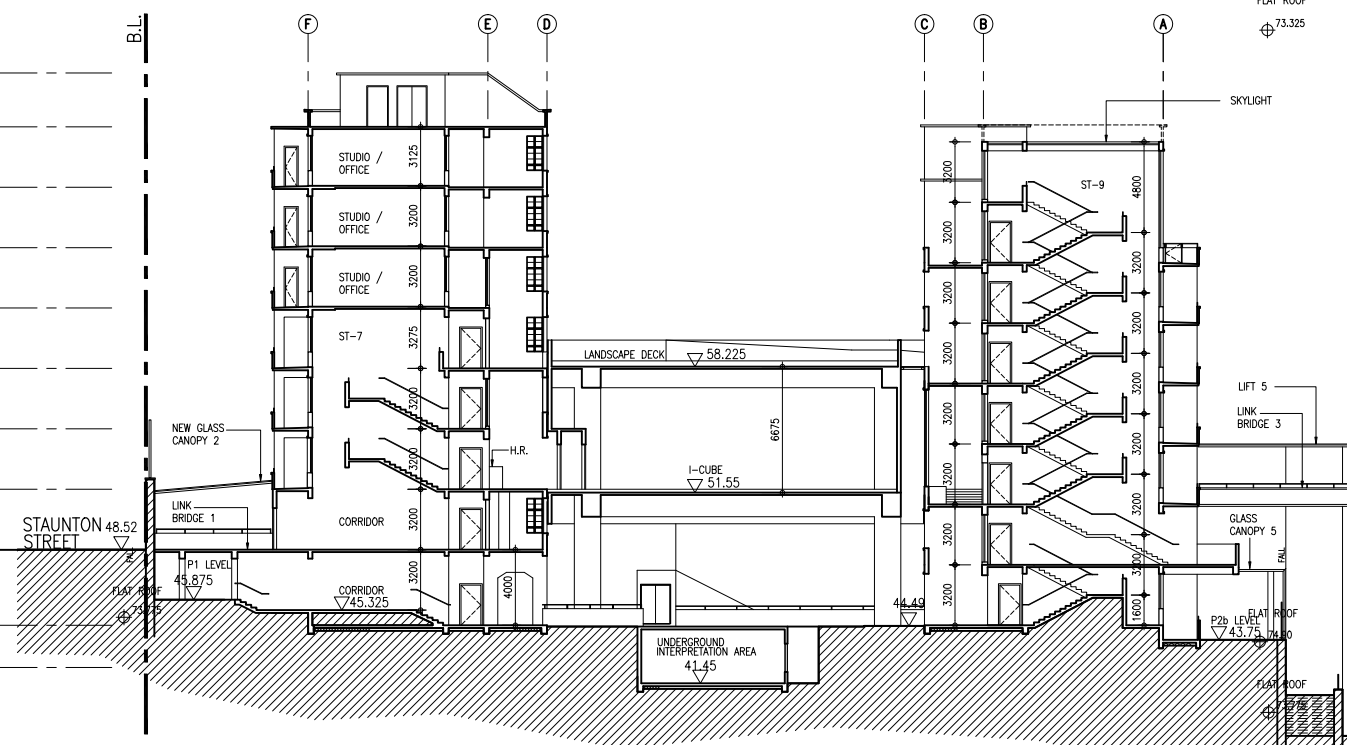
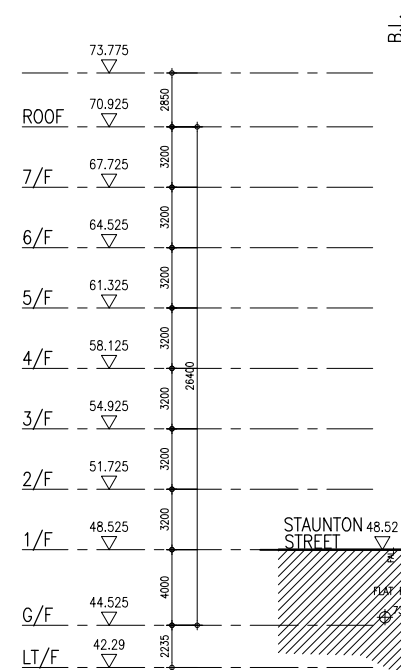
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OFFICE	
ARCHITECTURAL BRANCH	
	ARCHITECTURAL SERVICES DEPARTMENT

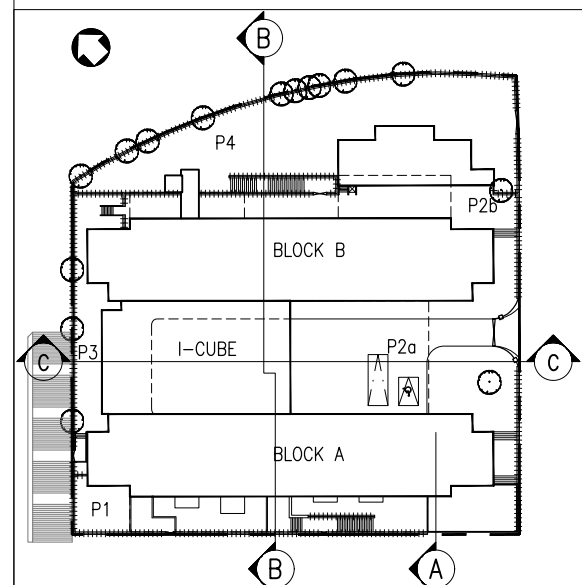
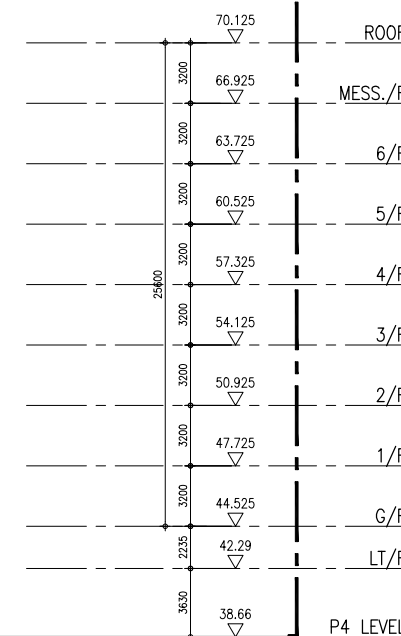




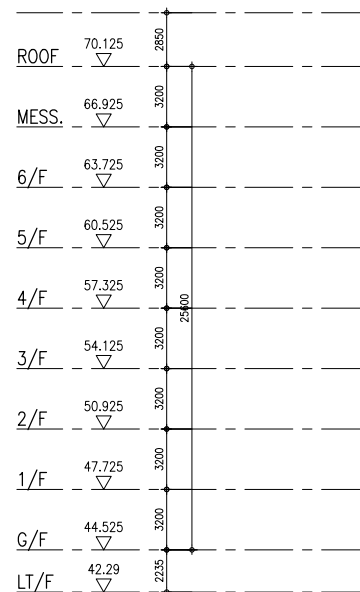
SECTION A-A



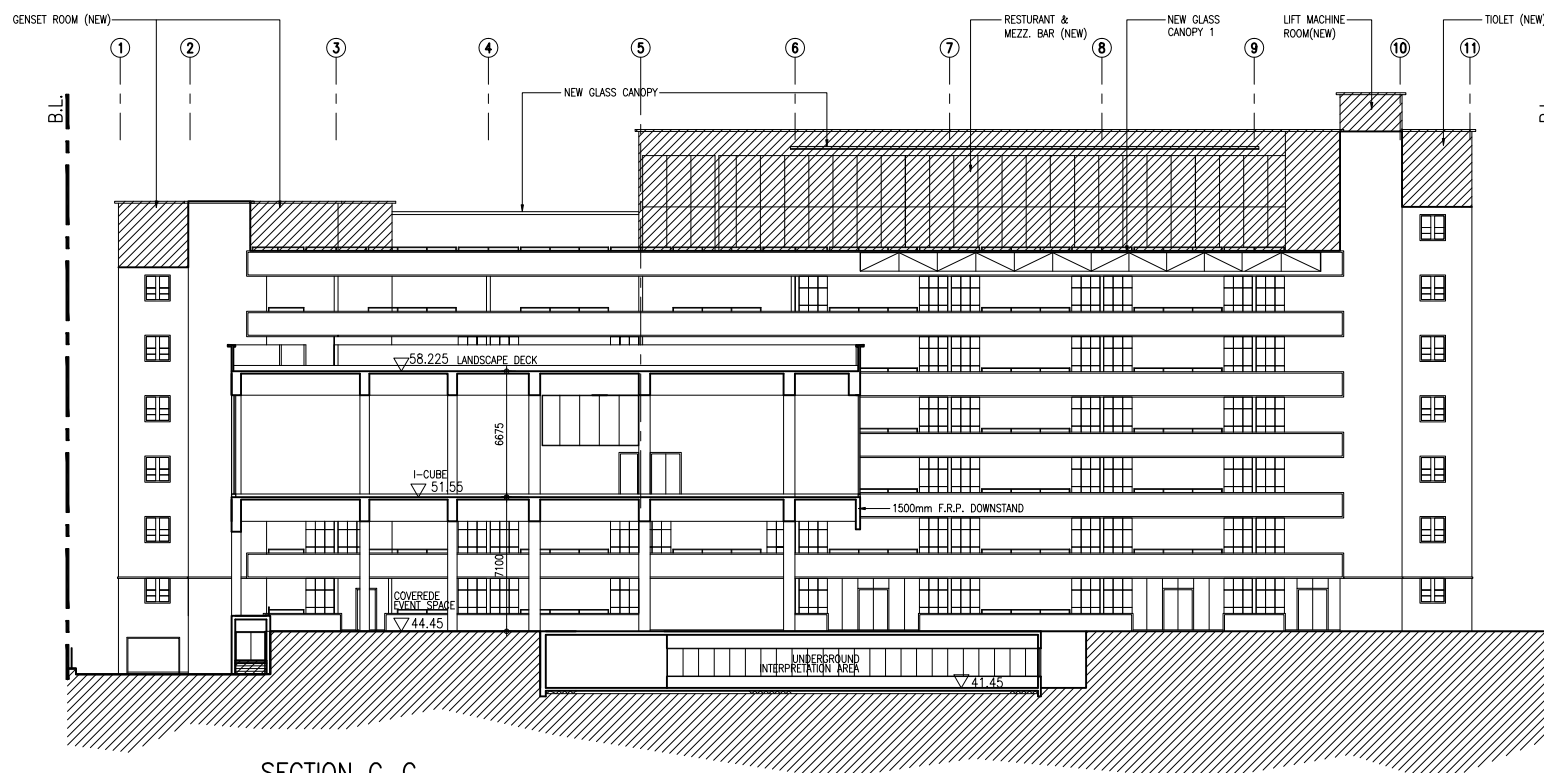
SECTION B-B



KEY PLAN



SECTION C-C



NOTES

--- SITE BOUNDARY LINE  
+42.04 STRUCTURAL FLOOR LEVEL

LEGEND

--- SITE BOUNDARY LINE  
+42.04 STRUCTURAL FLOOR LEVEL

KEY PLAN

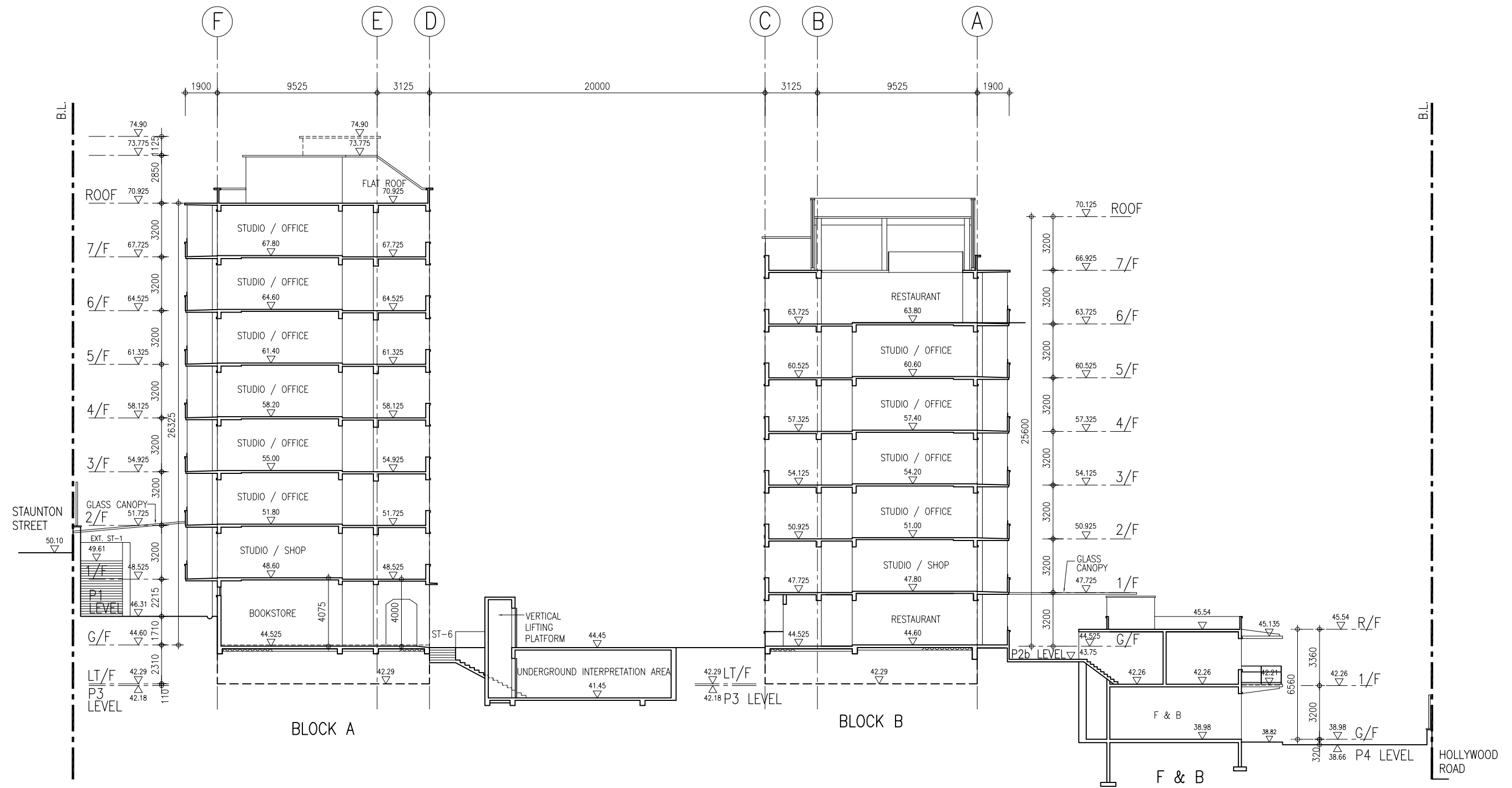
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C.A.	H.K. U	08.2010
S.A.	SA/23	08.2010
P.A.	W.L. TSANG	08.2010
designed		08.2010
drawn	H.M. TSANG	08.2010
checked	C.C. CHO	08.2010

PROJECT TITLE		date
TRANSFORMATION OF THE FORMER POLICE MARRIED QUARTERS SITE ON HOLLYWOOD ROAD INTO A CREATIVE INDUSTRIES LANDMARK		08.2010
contract no.		08.2010
file no.		08.2010
project no.	104 ZX	08.2010

DRAWING TITLE		scale
SECTION A-A, B-B & C-C (SCCU SUBMISSION)		1:200
drawing no.		AB/7955/SCCU/GP016a

OFFICE	
ARCHITECTURAL BRANCH	
ARCHITECTURAL SERVICES DEPARTMENT	



SECTION  
(GRID 7-8)

NOTES	<div>LEGEND</div> <div><div><div></div></div><div>SITE BOUNDARY LINE</div></div> <div><div><div>LEVEL</div><div>▽</div></div><div>STRUCTURAL FLOOR LEVEL</div></div>	KEY PLAN	REVISION				APPROVED		date	PROJECT TITLE	DRAWING TITLE		OFFICE <div>ARCHITECTURAL BRANCH</div> <div><div><div></div></div><div>ARCHITECTURAL SERVICES DEPARTMENT</div></div>
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