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Heritage Impact Assessment for Revitalization of the Stone Houses at Junction Road, Kowloon City into Stone Houses Family Garden

June 2011



Wing Kwong So-Care Company Limited

CONSULTANCY FOR HERITAGE IMPACT ASSESSMENT FOR REVITALIZATION OF THE STONE HOUSES AT JUNCTION ROAD, KOWLOON CITY INTO STONE HOUSES FAMILY GARDEN

June 2011

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- Antiquities and Monuments Office
- Building Information Centre, Buildings Department
- Information Services Department
- The Land Registry
- Public Records Office
- Survey & Mapping Office, Lands Department

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1

INTRODUCTION

1.1 Background

The Advisory Committee on Revitalization of Historic Buildings (Advisory Committee) has completed assessment of the proposals submitted for revitalizing the 5 historic buildings under Batch II of the Revitalizing Historic Buildings Through Partnership Scheme (Revitalization Scheme). The Secretary for Development has accepted the Advisory Committee's recommendation and given the approval-in-principle to the selected non-profit-making organizations in September 2010.

The selected organization for the Stone Houses at Junction Road is Wing Kwong So-Care Company Limited, the social service arm of Wing Kwong Pentecostal Holiness Church, specialized in youth program and community services. Stone Houses and its site will be revitalized as a “石屋家園” (Stone Houses Family Garden) including a themed cafeteria-cum-Visitor Information Centre.

Stone houses were accorded as Grade 3 Historic Building by Antiquity and Advisory Board in May 2010. Following the recommendation of Chief Executive in the 2007-2008 Policy Address and the corresponding Technical Circular (Works) No. 6/2009 of Development Bureau, in order to fully implement heritage conservation, it is required that all public works projects involving historic built heritages and sites to undergo Heritage Impact Assessment (HIA).

The aim of this HIA report is to assess the impacts on the historic fabrics of Stone Houses at Junction Road arising from the implementation of proposed project so that adverse impacts could be avoided or minimized with appropriate mitigation measures.

1.2 Methodology

This Heritage Impact Assessment (HIA) report is prepared based on the Conservation Guidelines drawn by Antiquities and Monuments Office in the Resource Kit for the Stone Houses under the

Revitalization Scheme, the Guidance Note to HIA Submission for the Revitalisation Scheme, Technical Circular (Works) No. 06/2009 of Development Bureau, preliminary site inspections and desktop research.

International charters and standards are followed in this study report:

- James Semple Kerr, *The Conservation Plan*, Australian National Trust, 1996.
- *Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance*, Australia ICOMOS Incorporated, 2000.
- Neville Agnew and Martha Demas edited, *Principles for the Conservation of Heritage Sites in China*, The Getty Conservation Institute, 2002.

2

SIGNIFICANCE

2.1 Historic place

Stone Houses, formerly the Nos. 31-35 at Hau Wong Temple New Village, were a row of Chinese styled built of granite masonry walls and tiled timber roof at the foot of Pak Hok Shan 白鶴山 in the late 1940s.

2.1.1 Kowloon city in the 19th century

In the early 19th century, the present-day Kowloon City was a rural district where small villages, including Kau Lung Tsai 九龍仔, Ma Tau Chung 馬頭涌, Nga Tsin Long 衙前墾 and Ta Ku Ling 打鼓嶺 scattered among vast area of farmland¹ (Fig. 1)

Located to the southwest of Pak Hok Shan 白鶴山 is a temple dedicated to Hau Wong 侯王 was built by the locals in the 8th year of Yongzheng 雍正 era in the Qing Dynasty (1730). (Fig. 2 and Fig. 3) It is commonly said that Hau Wong refers to general Yeung Leung Jit 楊亮節 of Southern Sung Dynasty (1127-1279). He accompanied the young Sung emperor to fight against the Mongol invaders. Another local legend tells that the temple was built to commemorate a villager surnamed Yeung who cured Duanzong 端宗 when the Sung royal family fled to Kowloon City. The inscription on a stele commemorating the renovation in 1822 found inside the temple described the natural beauty of neighbourhood area. It reads,

松風繞韻，潤水流香

Wind whispers melodiously through the pines, and streams flow with fragrance.

¹ Wong Chongxi 王崇熙, *Xin'an xianzhi* 新安縣志 [Xin'an County Gazetteer], 1819, see edition in Hong Kong, s.n., 1979, p. 35 and *Map of the Sun-On-District*, 1868 as cited in Empson, Hal, *Mapping Hong Kong: a Historical Atlas*, Hong Kong, Government Information Services, 1992, pp. 114-115.

As seen on a sketch dated to 1845, there was a prosperous market place known as Kowloon Street stretched from the water front of Kowloon Bay toward Pak Hok Shan. (Fig. 4) Before starting a long journey to China, merchant boats temporarily anchored off Kowloon City for replenishing their supplements. The main market streets are constructed of stone blocks with two storey shops aligned on both sides. (Fig. 5)

After Hong Kong Island had been captured by the British in 1841, the Qing Government urged to strengthen defence in the Kowloon Peninsula. A garrison known as Kowloon Walled City was established to the south of Pak Hok Shan 白鶴山 in 1847. (Fig. 6 and Fig. 7) Guarded by six watchtowers cannons and high walls, the Walled City where 150 soldiers were stationed was commanded by Deputy Commodore of the Dapeng Brigade 大鵬協水師副將.

In the 12th year of Tongzhi 同治 era (1873) when the Kowloon Street became prosperous, a landing pier known as Longjin Bridge 龍津橋 was built by the Qing officers and merchants to facilitate the morring of increasing number of merchant boats among the shallow water in the bay. (Fig. 8) Constructed by granite slabs spanning on two pillars at each segment, the stone bridge originally measured about 213 metres long and 2 metre wide.



Fig. 1. Farmers in the field at Kowloon City in the early 20th century.
(from Lau Yun Wo 劉潤和, *Jiulongchengqu fengwuzhi* 九龍城區風物志 [A Guide to the Antiquities of Kowloon City District], 2005, p. 49.)



Fig. 2. Hau Wong Temple, Kowloon City, c. 1900.
 (from Zheng Baohong 鄭寶鴻, *A Century of Kowloon Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 146.)

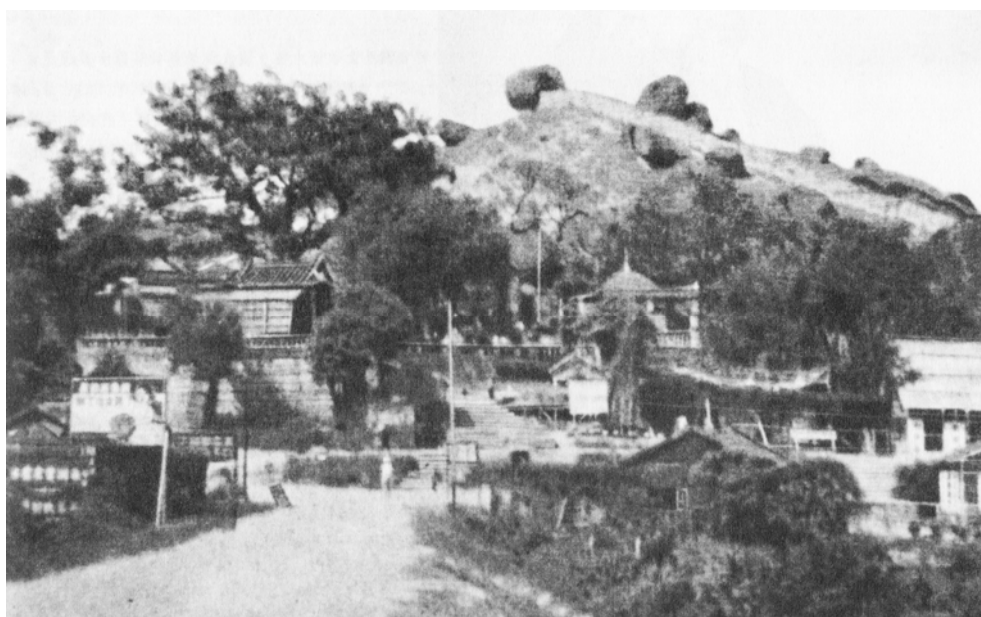


Fig. 3. Hau Wong Temple in the 1930s. Pak Hok Shan was located at its back.
 (from Chiu Yu Lok 趙雨樂 and Chung Po Yin 鍾寶賢, *Longchengleshan: zaoqi jiulongcheng yu leshantang yanjiu* 龍城樂善：早期九龍城與樂善堂研究 [The Benevolent Society: A Study of the Early Kowloon City and Lok Sin Tong], Hong Kong, Sunray Publishing Company Limited, 2000, p. 31.)

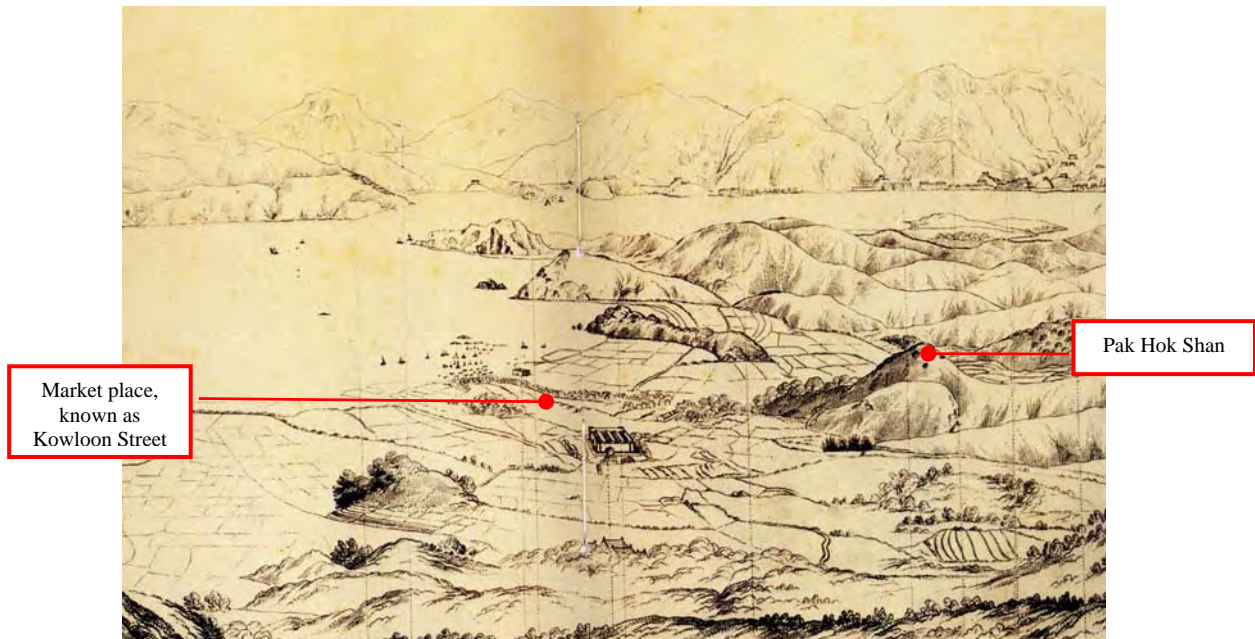


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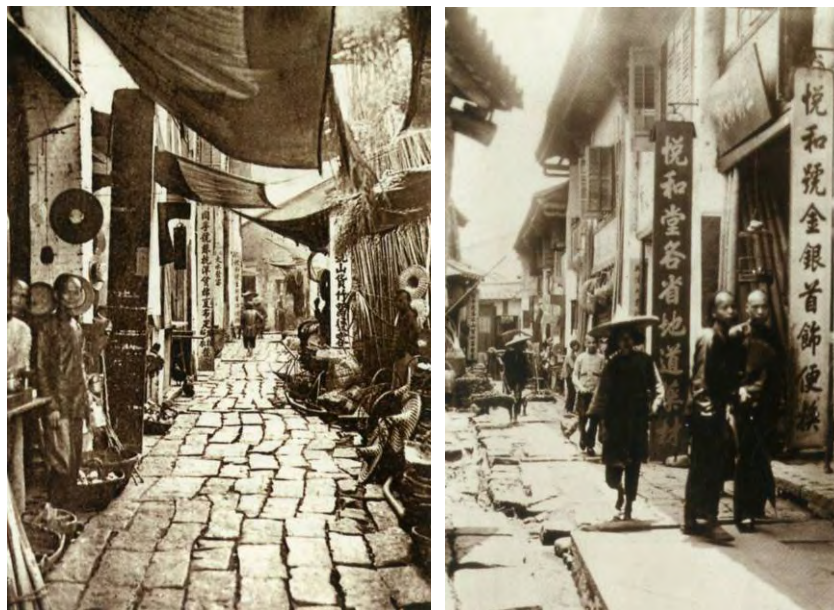


Fig. 5. Street scene in Kowloon Street in the early 20th century.
(from Lau Yun Wo 劉潤和, *Jiulongchengqu fengwuzhi* 九龍城區風物志 [A Guide to the Antiquities of Kowloon City District], 2005, p. 54.)

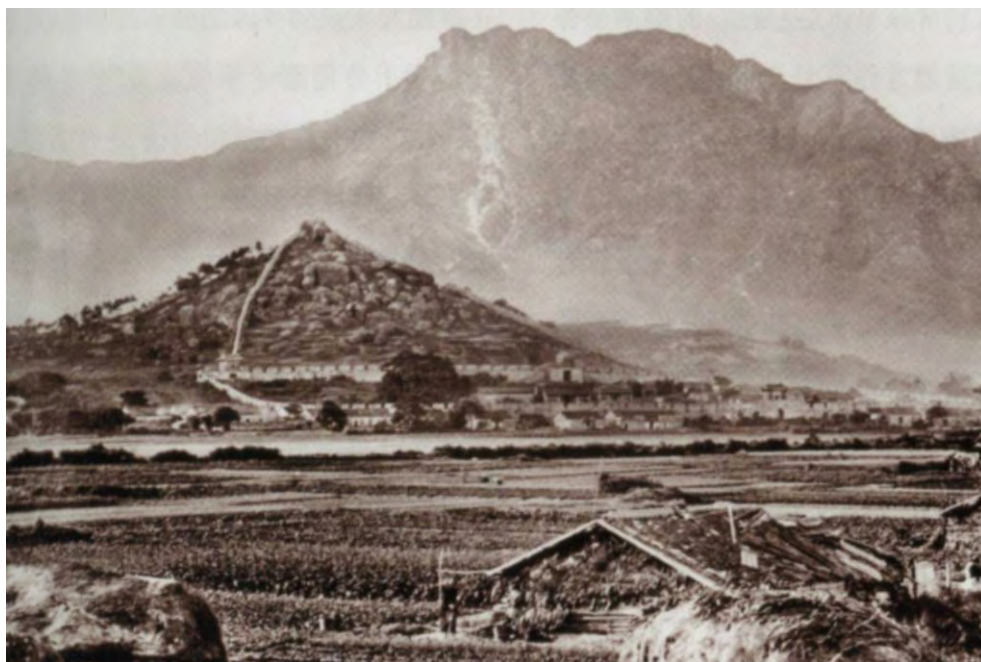


Fig. 6. Kowloon Walled City, c. 1868.
 (from Lau Yun Wo 劉潤和, *Jiulongchengqu fengwuzhi* 九龍城區風物志 [A Guide to the Antiquities of Kowloon City District], 2005, p. 25.)



Fig. 7. Kowloon Walled City in around 1920.
 (from Zheng Baohong 鄭寶鴻, *A Century of Kowloon Roads and Streets*, Hong Kong, Joint Publishing (Hong Kong) Company Limited, 2000, p. 12.)



Fig. 8. Longjin Bridge outside the Kowloon Street. Longjin Pavilion is located at the end of Longjin Bridge, c. 1910.
(from Lau Yun Wo 劉潤和, *Jiulongchengqu fengwuzhi* 九龍城區風物志 [A Guide to the Antiquities of Kowloon City District], 2005, p. 71.)

2.1.2 Rural neighbourhood in the early 20th century

Although the area of Kowloon City was leased as part of the New Territories to the British in 1899, the district was not developed by the colonial government and merchants until the early 1920s.

It is seen on a map dated to 1902-03 that the area where Stone Houses now located was still a sparsely populated rural neighborhood. (Fig. 9) Among which are only Hau Wong Temple and probably some building structures located to its immediate northwest. Standing approximately at the same site as present-day Stone Houses, these buildings were also shown on maps dated to the 20s and 30s. (Fig. 10) According to the Government Lease dated to 1st July 1898, this piece of land within land lot 6264 in Special District (S.D.) 1, where the buildings stood, was owned by Ho To Shing. It is likely that they are two rows of small village houses placed side by side. Collated with descriptions on newspaper in the 30s, they might be one of the two villages in this locality, known as Ho Ka Tsuen 何家村, literally Ho's village, where a few households were lived.² Subsequently, this land lot was sold to Mr. Choy Wai Hung, who eventually handed back the land to Government in 1932.³

Located to the northeast of Stone Houses is a cemetery established on Pak Hok Shan in the 1920s, which is now known as the Hong Kong Chinese Christian Churches Union Chinese Christian Cemetery, Kowloon. (Fig. 11)

² Wong Puikai 黃佩佳, *Xianggang Xinjie fengtu mingsheng daguan jianbaoji* 香港新界風土名勝大觀剪報集 [Collection of newspaper cutting on the scenery and social customs and sights in Hong Kong New Territories], ca. 1930s, p. 136.

³ Hong Kong Public Records Office, *N.K.I.L.No.1748-Grant of an Area in Exchange for Lots Nos. 576 and 6264, R.P., S.D.I.01.12.1931-19.12.1936, Reference File HKRS 58-1-171-56* from Hong Kong Public Records Office, Hong Kong SAR Government, p. 1.

In 1926, Kowloon Street and several villages in the surroundings of Kowloon Walled City were demolished to make way for the construction of new roads and streets. (Fig. 12) Grampian Road 嘉林邊道, Junction Road 聯合道, Fuk Lo Tsun Road 福老村道, Lion Rock Road 獅子石道, Hau Wong Road 侯王道, Nga Tsin Long Road 衙前望道, Nam Kok Road 南角路, Lung Kong Road 龍崗道, South Wall Road 城南道, Tak Ku Ling Road 打鼓嶺道, Po Kong Road 寶崗道, Sa Po Road 沙埔道, Shek Ku Lung Road 石鼓壟道, Hak Hang Tsum Road 隔坑村道 and Nga Tsin Wai Road 衙前圍道 were laid during the late 1920s and early 1930s.

Since the 1910s, the warlordism in Mainland led to massive flows of refugees into Hong Kong. The population of Kowloon Peninsula rocketed from 69,703 to 264,675 in 1931. Soon after the new roads had been completed in Kowloon City, tenement houses of 3-4 storey mushroomed all over the newly developed area, providing accommodations for these newcomers. (Fig. 13 and Fig. 14) On the other hand, low density European flats for the well-off class were built along Grampian Road and Junction Road around 1930.

In 1939, the new campus of Munsang College was constructed at No. 8 Dumbarton Road. The new school building consisted of a hall and 12 classrooms to cope with the increasing number of students.⁴

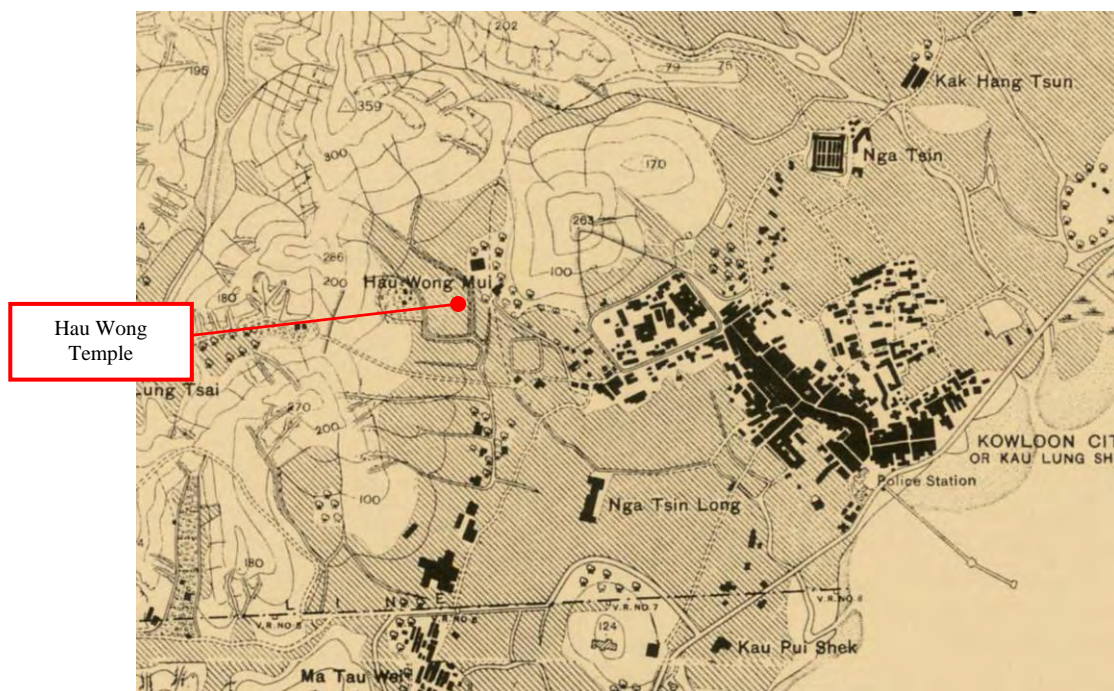


Fig. 9. An old map of 1902-03 showing the building structure located to the northwest of Hau Wong Temple.
(from Empson, Hal, *Mapping Hong Kong: a Historical Atlas*, Hong Kong, Government Information Services, 1992, p. 180.)

⁴ See *About Munsang*. Retrieved May 13, 2009, from Munsang School, Web Site: http://munsang.edu.hk/secondary/about_munsang/history.php.



Fig. 10. An old map of 1922-1935 showing the layout of building located to the northwest of Hau Wong Temple.
 (Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, survey sheet no.: CXXXVII-NE-6.)



Fig. 11. The cemetery on Pak Hok Shan 白鶴山. It is seen that a chapel was built at the foot of the hill.
 (from Zheng Baohong 鄭寶鴻, *Early Hong Kong's Kowloon Peninsula*, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2007, p. 165.)

Approximate
location of
Stone Houses



Fig. 12. Street layout in Kowloon City, 1941.
(from Zheng Baohong 鄭寶鴻, *Early Hong Kong's Kowloon Peninsula*, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2007, p. 225.)



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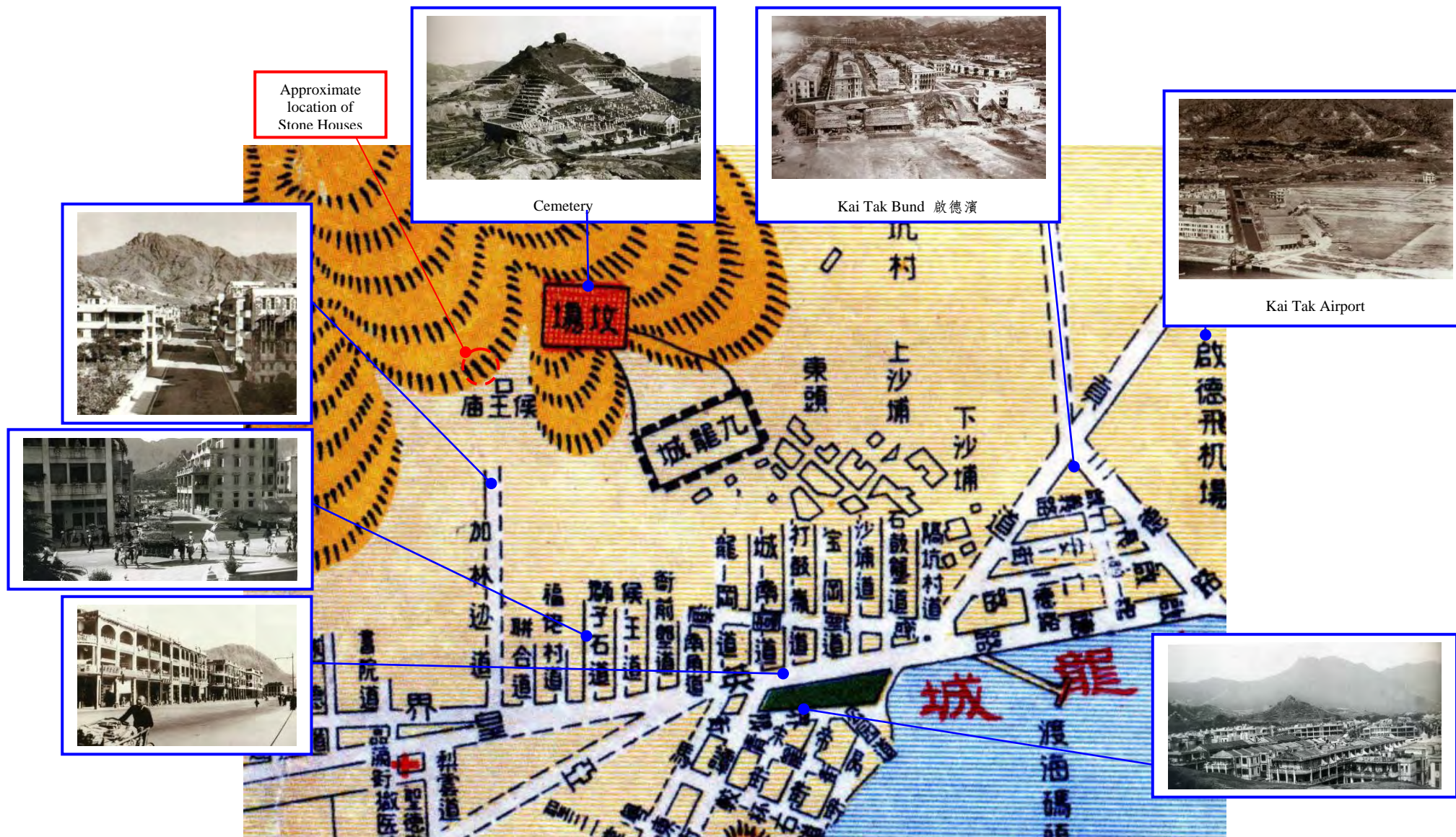


Fig. 15. Context of Kowloon City district in the pre-war period. (Map of 1941)
 (from Zheng Baohong 鄭寶鴻, *Early Hong Kong's Kowloon Peninsula*, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2007, p. 225.)

2.1.3 Stone Houses built in the 1940s

A few years after Kowloon Peninsula was captured on 12th December 1941, Japanese decided to expand Kai Tak Airport to establish an air base in Hong Kong.⁵ (Fig. 16) Over 24 villages originally located to the north of the airport were torn down to make way for the new construction in June 1942. Around 70,000 villagers were relocated to other places in Hong Kong or repatriated to the Mainland.⁶ The construction for the extension of airport started in September 1942 and was completed in 1945. (Fig. 17)

On 30th June, 1942, the Japanese authority announced to build so-called “Model Village” in Kowloon Tong and Sheung Shui to rehouse residents who lost their home.⁷ (Fig. 18 and Fig. 19) These two settlements could accommodate around only 1,000 people.⁸ A piece of land at today’s Renfrew Road in Kowloon Tong was allocated to build 120 houses for the resettlement.⁹ Each household was also given a piece of farmland of three acres (around 2,001 square meters) to cultivate crops for living. This area was very close to the Stone Houses area. Thus, it is very likely that the Japanese would treat the area along Junction Road as the easternmost part of the resettlement district. It is also said that about 20 small cottages were built by the Japanese along present-day Junction Road between the cemetery and Hau Wong Temple.

After the Japanese Occupation, the Stone Houses area was soon occupied by squatter settlements where cottages were built for those newcomers fleeing the civil war in China, and known as Hau Wong Temple New Village. (Fig. 20 and Fig. 21) Close to it are places still called Ho Ka Yuen and Lai Chi Yuen to the south and north on the same side of Junction Road, where cottages were gradually constructed.

As seen in the aerial photo dated to 1945, it is likely that the footprint of Ho Ka Tsuen was still occupied by structures with similar profile as before, probably the original village houses in a dilapidated state. (Fig. 27) However, Stone Houses as we seen day, a row of five units having a different layout and orientation, was clearly shown on an aerial photo of 1949. (Fig. 28)

⁵ 九龍模範村始末 [The origin of Model Villages in Kowloon], Ta Kung Pao, 30th July, 1948.

⁶ 九龍模範村始末 [The origin of Model Villages in Kowloon], Ta Kung Pao, 30th July, 1948 and Cheng Po Hung 鄭寶鴻, *Hong Kong During the Japanese Occupation*, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2006, p. 80.

⁷ Cheng Po Hung 鄭寶鴻, *Hong Kong During the Japanese Occupation*, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2006, p. 84.

⁸ *Ibid.*, p. 84.

⁹ 九龍模範村始末 [The origin of Model Villages in Kowloon], Ta Kung Pao, 30th July, 1948 and Ko Tim-keung, “二次大戰與啟德機場 [The Second World War and Kai Tak Airport]” as cited in Chiu Yu Lok 趙雨樂, Chung Po Yin 鍾寶賢, *Regional Study of Hong Kong History: Kowloon City*, Hong Kong, Joint Publishing (H.K.) Company Limited, 2001, p. 198 and Chiu Yu Lok 趙雨樂, Chung Po Yin 鍾寶賢, *Regional Study of Hong Kong History: Kowloon City*, Hong Kong, Joint Publishing (H.K.) Company Limited, 2001, p. 225.

On the other hand, Mrs. Lau Li 劉理, the owner of No. 31 at Hau Wong Temple New Village in 1957, made an appeal to the Colonial Secretariat for keeping her premises despite the construction of the new Junction Road.¹⁰ Lau claimed that she had spent all her savings on the building and furniture in 10 years' living there. Having collated these information, it is very likely that the Stone Houses were built between 1945 and 1947.

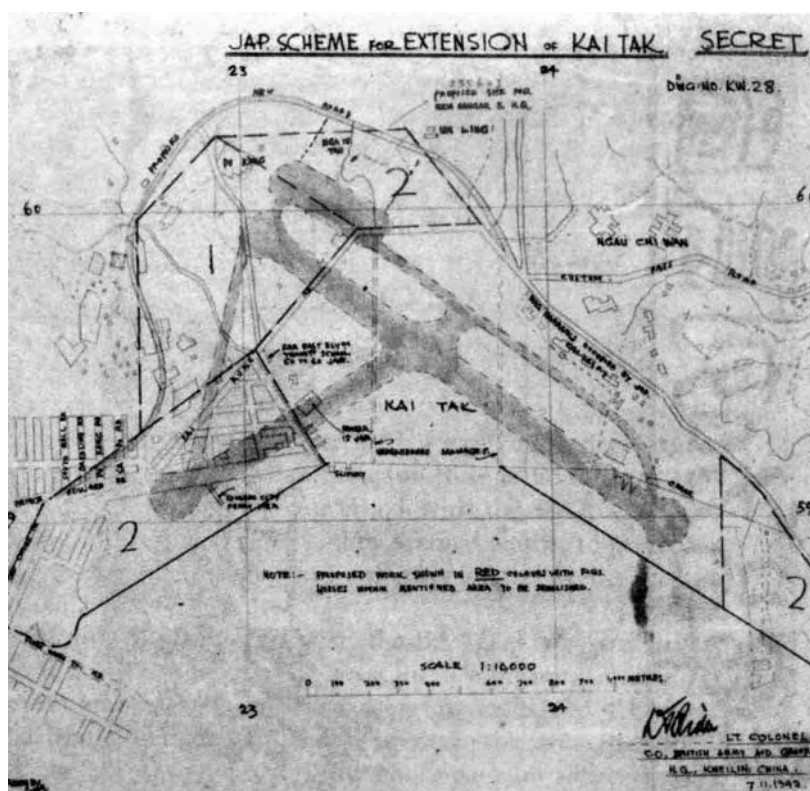


Fig. 16. The scheme for extension of Kai Tak Airport, 1942.

(from Lau Chi Pang 劉智鵬, *Tunshengrennyu: rzhishiqi Xianggangren de jitihuiyi* 吞聲忍語：日治時期香港人的集體回憶 [Quiet mouth: A collective memory of Hong Kong people under the Japanese Occupation], Hong Kong, Chung Hwa Book Co., 2009, p. 156.)

¹⁰ Hong Kong Public Records Office, *Crown Land Near Hau Wong Temple Kowloon - Clearance of Structures on - for Road Widening, 20.05.1957-30.07.1957, Reference File HKRS 156-1-5864* from Hong Kong Public Records Office, Hong Kong SAR Government, p. 2.



Fig. 17. Two new runways in Kai Tak Airport, 1945.
(from Lau Yun Wo 劉潤和, *Jiulongchengqu fengwuzhi* 九龍城區風物志 [A Guide to the Antiquities of Kowloon City District], 2005, p. 87.)

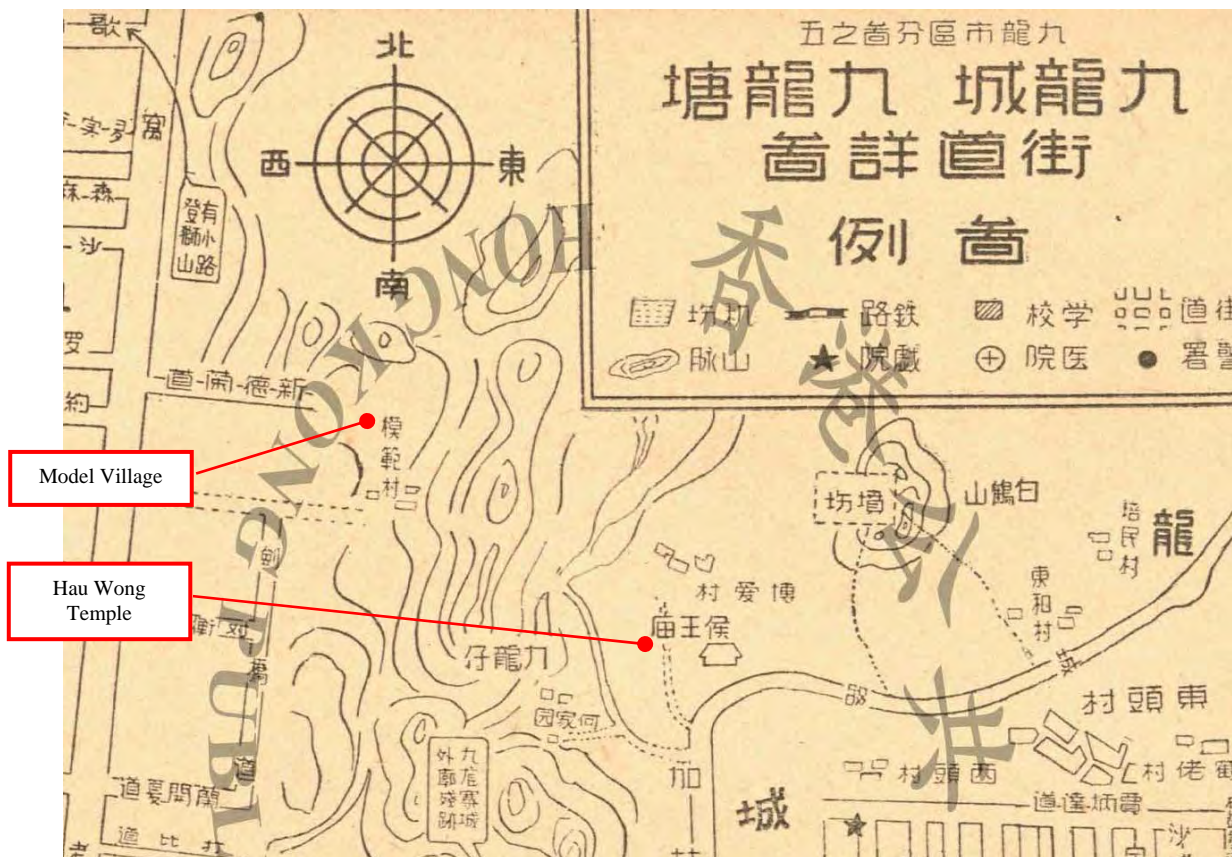


Fig. 18. An old map dated to 1953 showing the “Model Village” in Kowloon Tong, 1953.
(from the *Overseas Chinese Daily News*, 1953.)



Fig. 19. The “Model Village” in Kowloon Tong, 1966.
 (from Chiu Yu Lok 趙雨樂 and Chung Po Yin 鍾寶賢, *Longchengleshan: zaoqi jiulongcheng yu leshantang yanjiu* 龍城樂善：早期九龍城與樂善堂研究 [The Benevolent Society: A Study of the Early Kowloon City and Lok Sin Tong], Hong Kong, Sunray Publishing Company Limited, 2000, p. 93.)

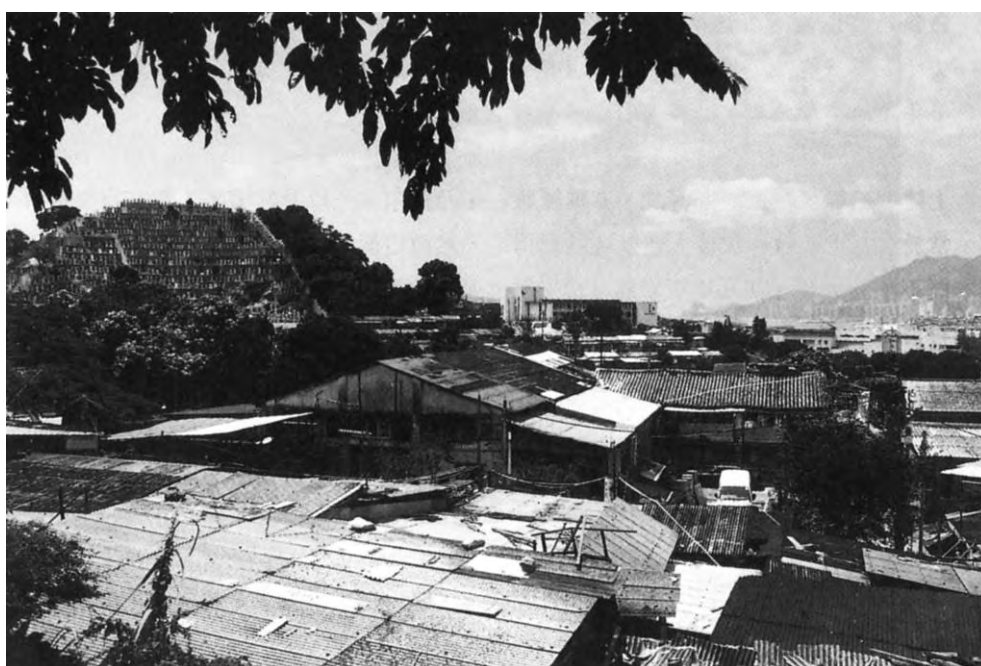


Fig. 20. Squatter huts in the surroundings of Pak Hok Shan 白鶴山.
 (from Chiu Yu Lok 趙雨樂, Chung Po Yin 鍾寶賢, *Regional Study of Hong Kong History: Kowloon City*, Hong Kong, Joint Publishing (H.K.) Company Limited, 2001, p. 226.)



Fig. 21. Refugees poured over the Hong Kong-China border in the post-war period.
(from Stephanie Holmes, *Asia's Finest: An Illustrated account of the Royal Hong Kong Police*, Hong Kong, Unicorn, 1983, p. 62.)

2.1.4 Hau Wong Temple New Village in the 1950s

In 1951, the Hong Kong Government decided to delineate some areas in which squatters could build cottages made of fire-resisting materials. The Hong Kong Settlers Housing Corporation was established in the following year to manage the construction of cottages. Blocks of cottages to the east of Stone Houses was incorporated into Tung Tau Cottage Area in 1952, where included Pok Oi Tsuen 博愛村, Pui Man Tsuen 培民村, Tung Wo Tsuen 東和村 and Chiu Ping San Tsuen 潮平新村.

In the late 1940s and 1950s, several film studios were established in the vicinity of Stone Houses. Sai Kwong Film Studio 世光片場 was located in Ho Ka Yuen¹¹ adjacent to Yau Kiu Film Studio 友僑片場, which were both combined later into Great Wall Film Production Companies 長城電影製片公司 operated in the Hau Wong Temple New Village. (Fig. 23 and Fig. 24) Famous actors, such as Chan Po Chu 陳寶珠, Siu Fong Fong 蕭芳芳 and Fung Po Po 馮寶寶 once worked in these film studios.¹²

¹¹ Chung Po Yin 鍾寶賢, *Xianggang yingshiye bainian 香港影視業百年 A Century of Hong Kong's Movies and Television Broadcasting Industry*, Hong Kong, Joint Publishing (H.K.) Company Limited, 2004, p. 128.

¹² Antiquities and Monuments Office, *Historic Building Appraisal – No. 31-35 Hau Wong Temple New Village, Kowloon City*, items 949.

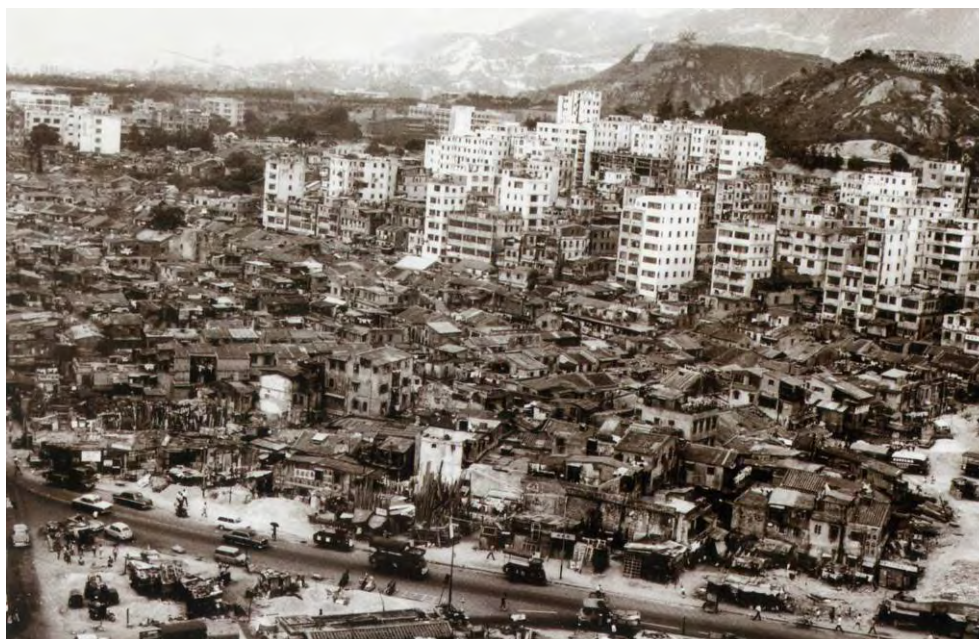


Fig. 22. The squatter settlements grew up around Kowloon Walled City in the 1960s.
(from Lau Yun Wo 劉潤和, *Jiulongchengqu fengwuzhi* 九龍城區風物志 [A Guide to the Antiquities of Kowloon City District], 2005, p. 42.)

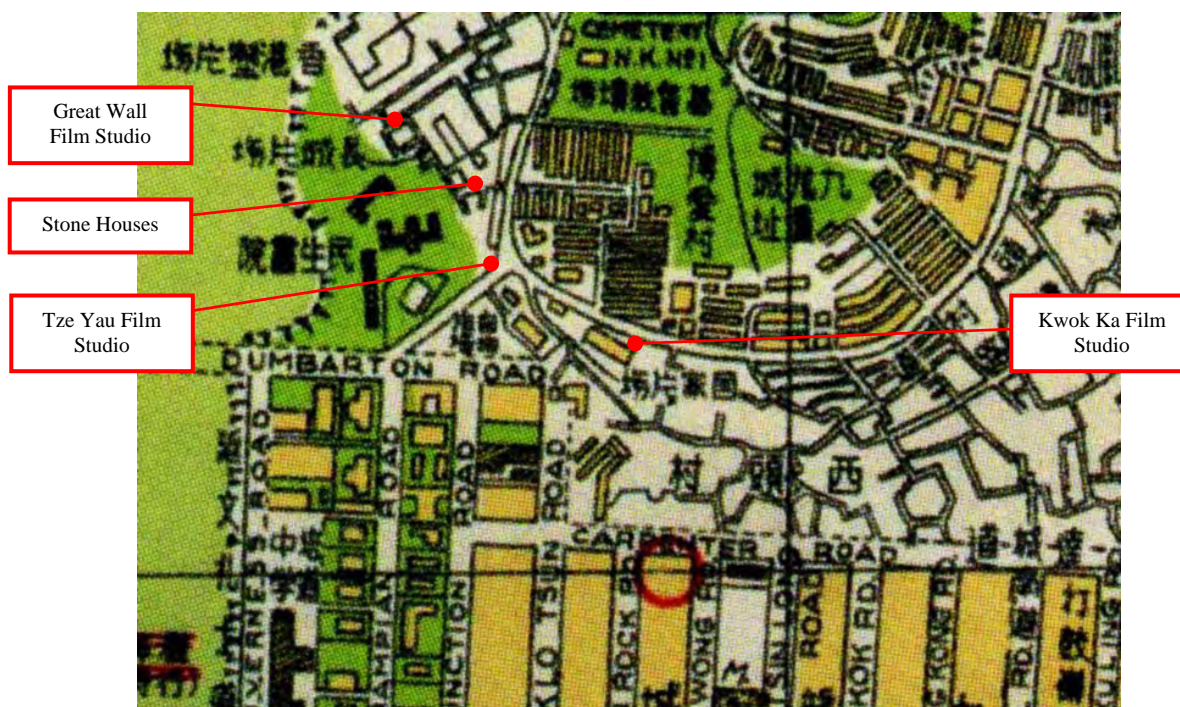


Fig. 23. Old map of 1960 showing several film studios in the vicinity of the Stone Houses.
(from Zheng Baohong 鄭寶鴻, *Early Hong Kong's Kowloon Peninsula*, Hong Kong, University Museum and Art Gallery, The University of Hong Kong, 2007, p. 227.)



Fig. 24. The building of former Cheung Shing Film Studio 長城片場 in Hau Wong Temple New Village, subsequently converted into Kam Yuen Factory.
(from Chiu Yu Lok 趙雨樂, Chung Po Yin 鍾寶賢, *Regional Study of Hong Kong History: Kowloon City*, Hong Kong, Joint Publishing (H.K.) Company Limited, 2001, p. 226.)

2.1.5 Demolition of Cottage Areas in 2001

Except Stone Houses at No.31- 35, the cottages built in Hau Wong Temple New Village, Ho Ka Yuen, and Lai Chi Yuen as well as Tung Tau Cottage Area were cleared by the Housing Authority for new development in 2001.

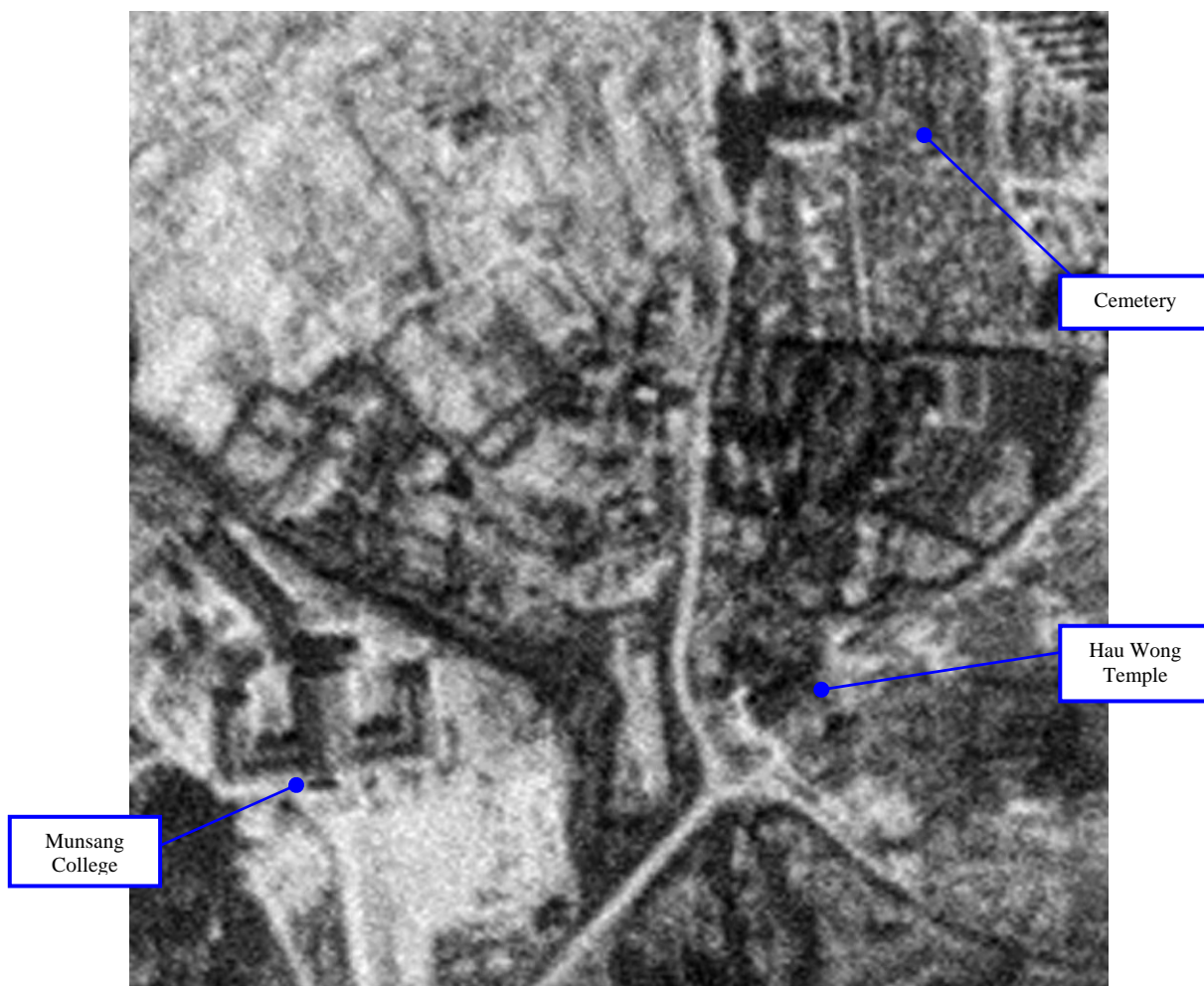


Fig. 25. The Stone Houses at Nos. 31-35 Hau Wong Temple New Village, 2000.
 (from *Tung Tau Cottage Area*, Retrieved 21 April, 2011 from hk-place, Web Site:
[http://www.hk-place.com/db.php?post=d002031.](http://www.hk-place.com/db.php?post=d002031))



Fig. 26. The Stone Houses at Nos. 31-35 Hau Wong Temple New Village, 2002.
 (from *Tung Tau Cottage Area*, Retrieved 21 April, 2011 from hk-place, Web Site:
[http://www.hk-place.com/db.php?post=d002031.](http://www.hk-place.com/db.php?post=d002031))

2.1.6 Aerial photos



**Fig. 27. An aerial photo of 1945 showing the site of Stone Houses.
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR
Government, photo ref. no. 4115.)**

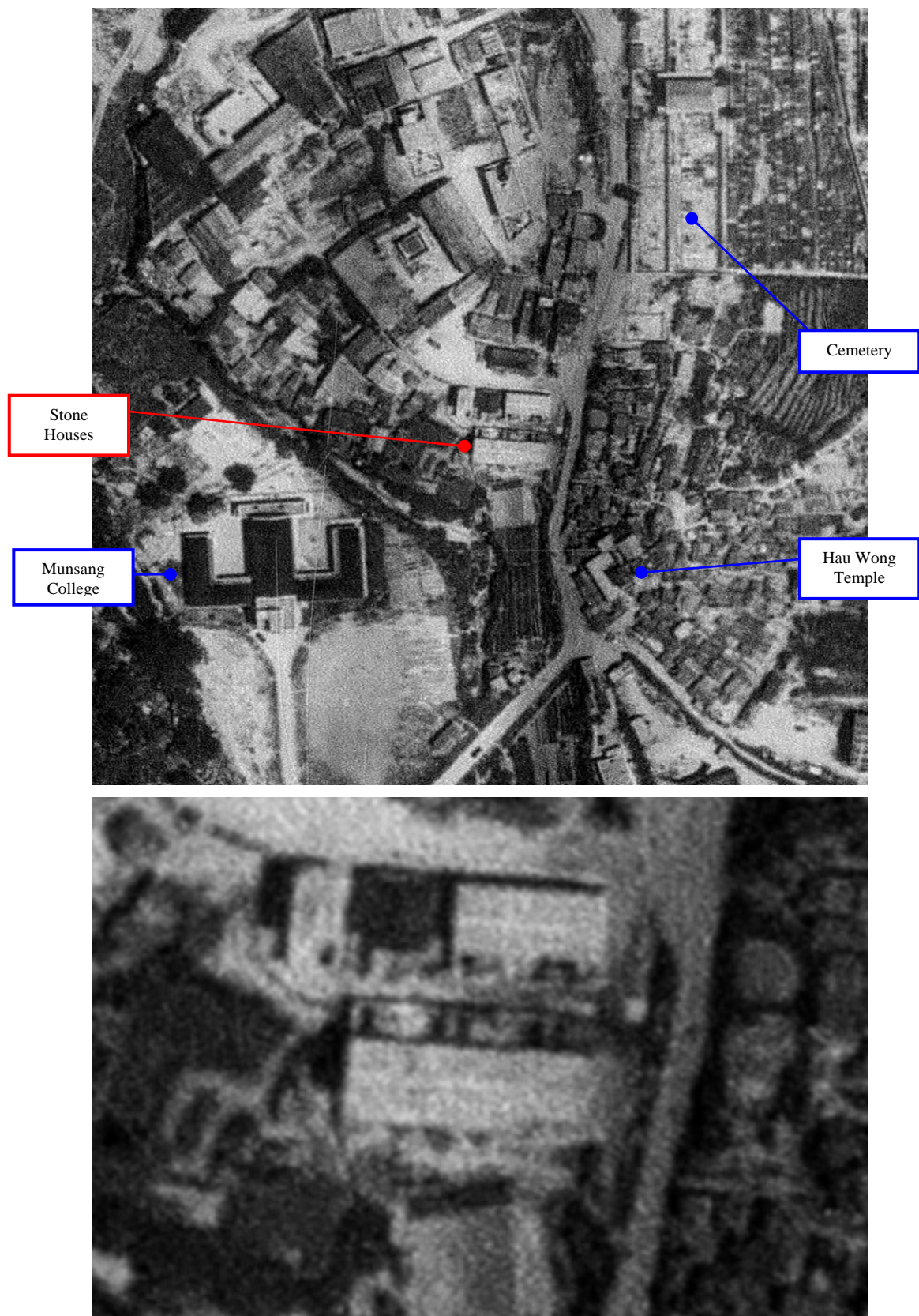


Fig. 28. An aerial photo of 1949 showing the site of the Stone Houses at Nos. 31-35 Hau Wong Temple New Village.
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, photo ref. no. 6089.)

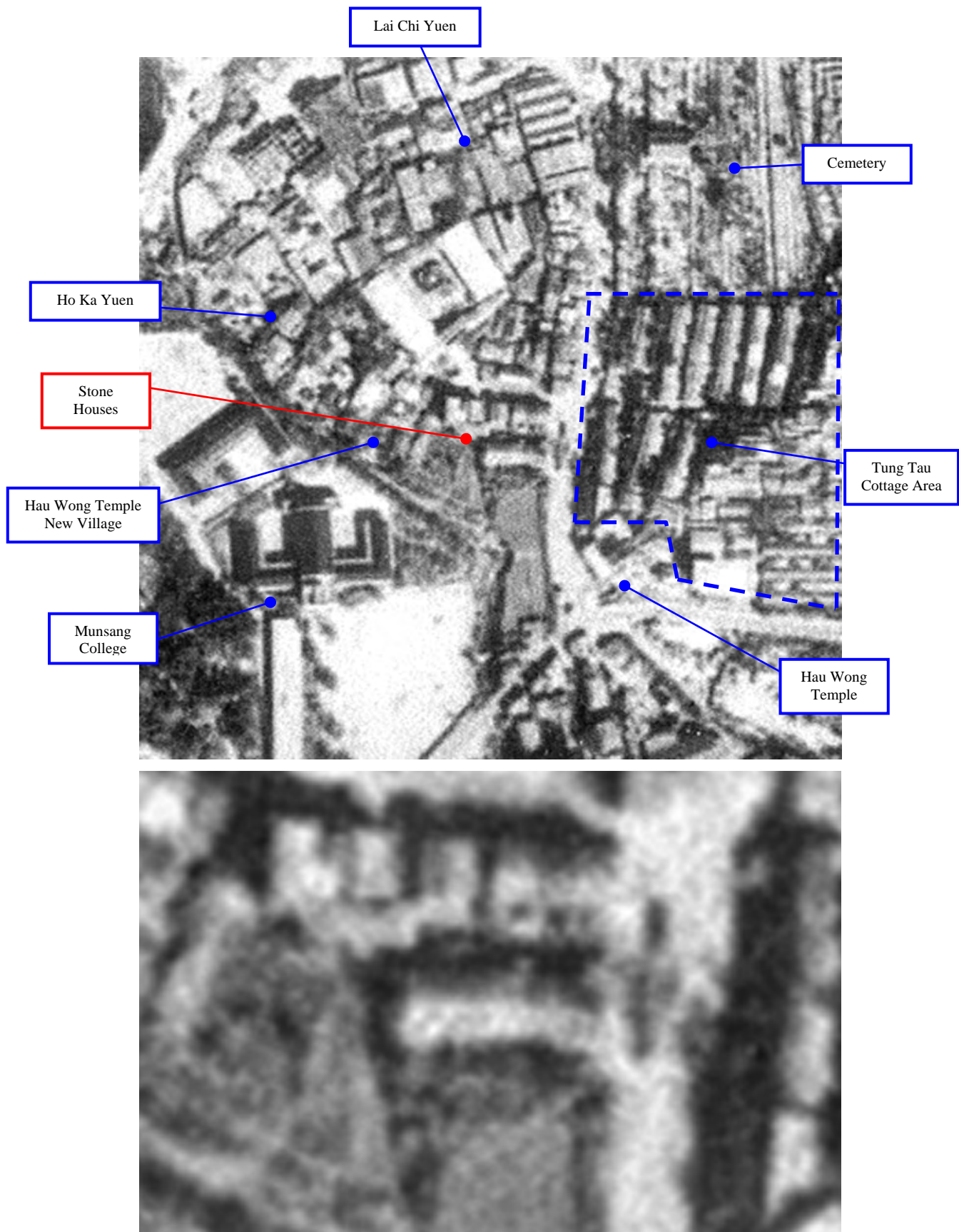
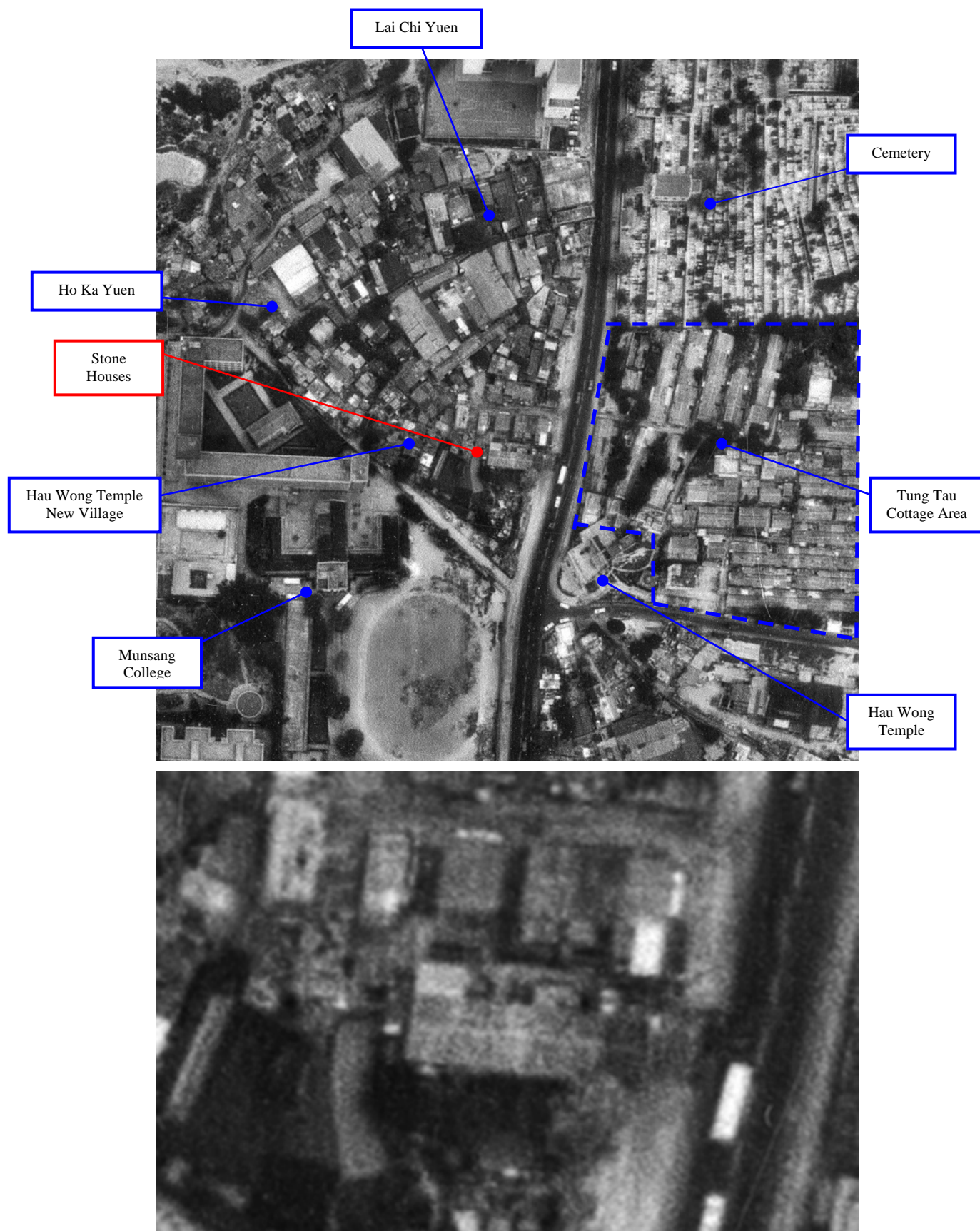


Fig. 29. An aerial photo of 1956 showing the site of the Stone Houses at Nos. 31-35 Hau Wong Temple New Village.
 (Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, photo ref. no. 0100.)



**Fig. 30. An aerial photo of 1967 showing the site of the Stone Houses at Nos. 31-35
Hau Wong Temple New Village.
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR
Government, photo ref. no. 5167.)**

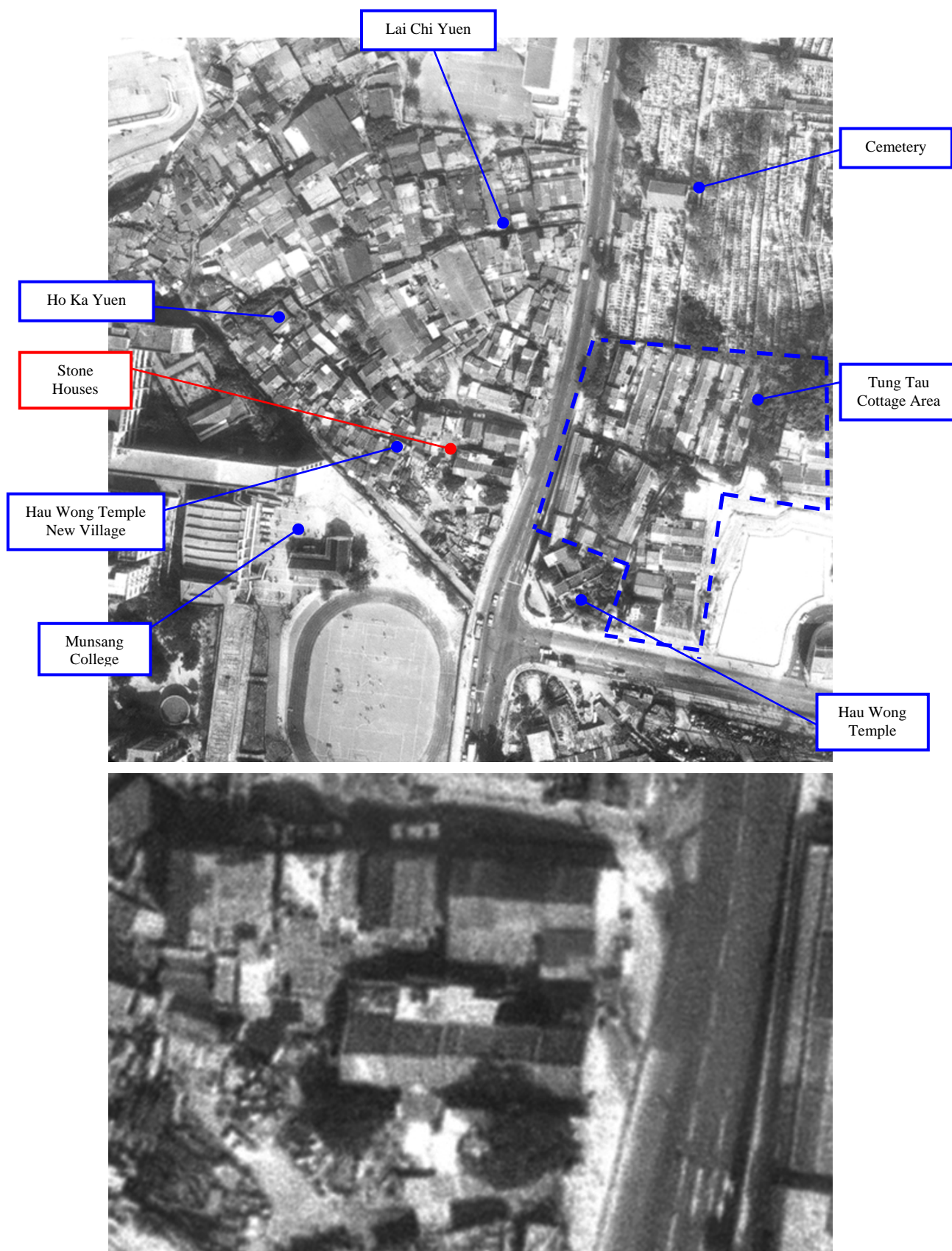
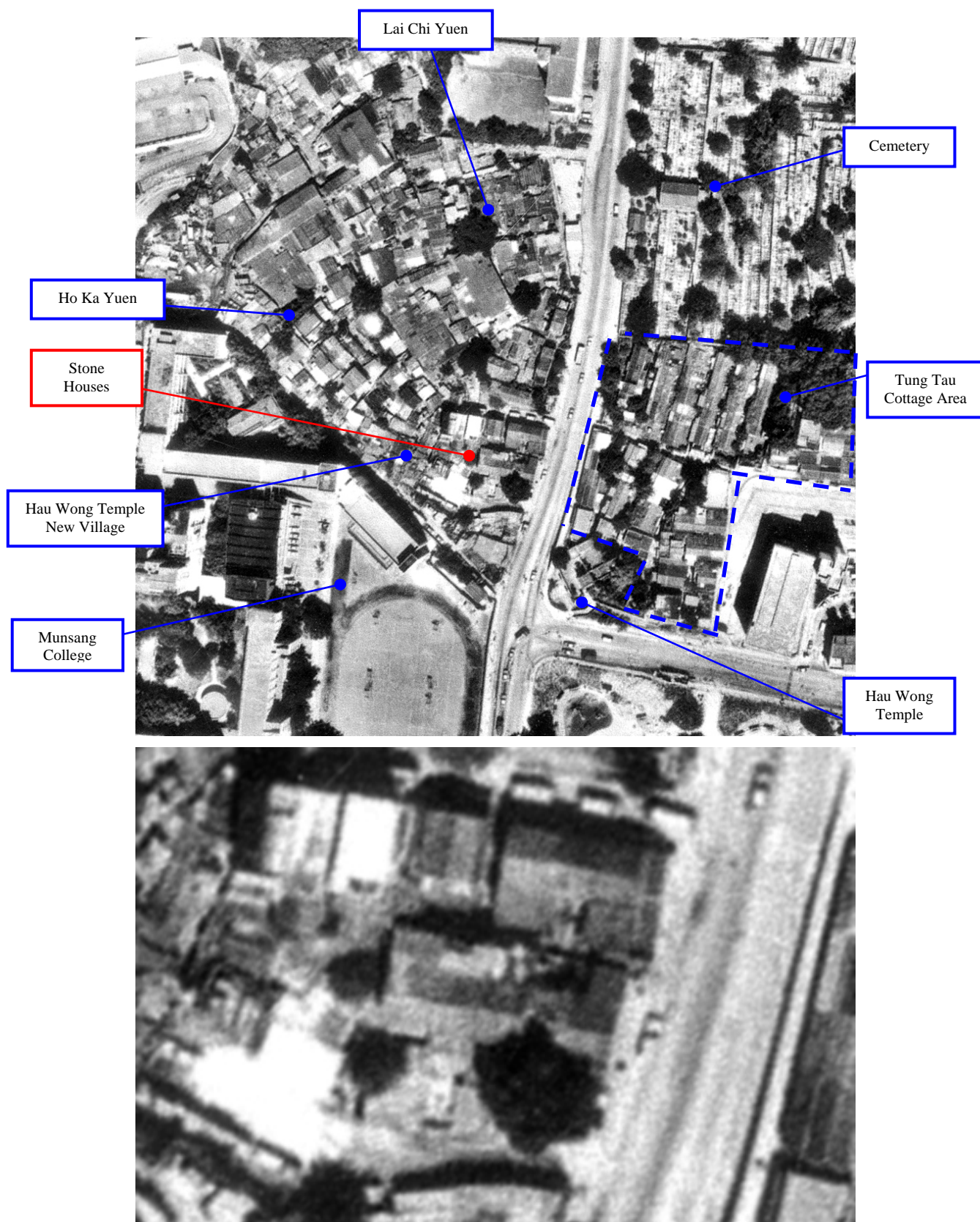


Fig. 31. An aerial photo of 1976 showing the site of the Stone Houses at Nos. 31-35 Hau Wong Temple New Village.
 (Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, photo ref. no. 12195.)



**Fig. 32. An aerial photo of 1984 showing the site of the Stone Houses at Nos. 31-35
Hau Wong Temple New Village.
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR
Government, photo ref. no. 56293.)**



Fig. 33. An aerial photo of 1993 showing the site of the Stone Houses at Nos. 31-35 Hau Wong Temple New Village.
 (Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR Government, photo ref. no. CN3186.)



**Fig. 34. An aerial photo of 2002 showing the site of the Stone Houses at Nos. 31-35
Hau Wong Temple New Village.
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR
Government, photo ref. no. CW38065.)**



**Fig. 35. An aerial photo of 2010 showing the site of the Stone Houses at Nos. 31-35
Hau Wong Temple New Village.
(Courtesy of Survey and Mapping Office, Lands Department, Hong Kong SAR
Government, photo ref. no. CS29709.)**

2.2 Heritage values

The Stone Houses at Nos. 31-35 Hau Wong Temple New Village are a row of residential units. In view of their structural integrity, this row of houses should be viewed as a single building consisting of five units of accommodation, each being separated by internal walls.

Architecturally, this row of units can be read as Chinese-styled cottage building. The frontal part of the building is two storey and covered with a pitched-roof, while backyard with kitchen and toilet enclosed by masonry walls was constructed at the rear of each units. The walls of entire building, which are constructed of granite blocks, support the pitched roof built by timber battens resting on purlins and covered with Chinese clay tiles. On the granite walls are rectangular timber framed windows with glazing. The main door to each living unit is in Chinese styled construction with timber panels, timber locks and granite sockets. Upper floor is formed by timber flooring supported by timber joists and reinforced concrete beams resting on granite masonry walls. The stair leading to upper floor is also in timber construction consisting of timber treads and risers supported on beams, as well as railings. Despite that the architecture of Stone Houses is humble and ordinary, from which we could have a glimpse of architectural style and construction commonly found in the 40s.










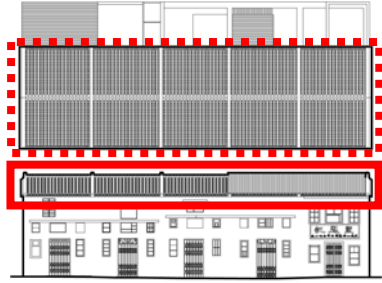
The significance of the Stone Houses also lies in its linkage to the historic evolution of the neighborhood area and Kowloon city district at different period of time: It was once part of the squatter area in the district where cottages were built for those newcomers fleeing the civil war in China in the 1940s. Later, the film industry boomed in the area where numerous film studios were established in the late 1940s and 1950s.


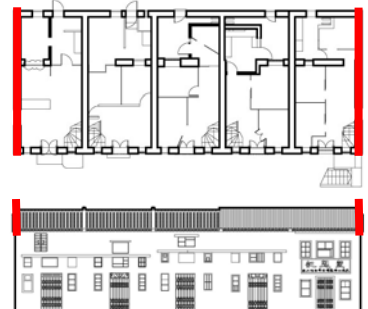

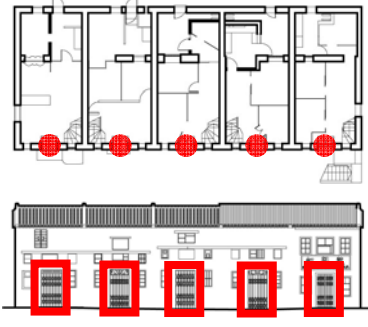




2.3 Character defining elements

The principal character defining elements are listed below, which means the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place, and which must be retained in order to preserve its heritage value¹³.



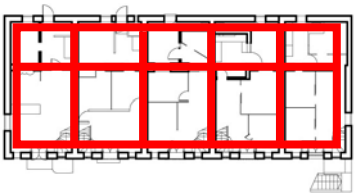

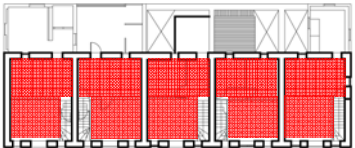

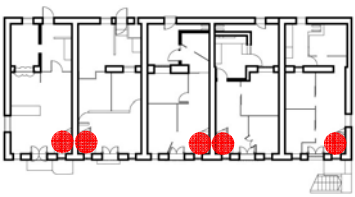

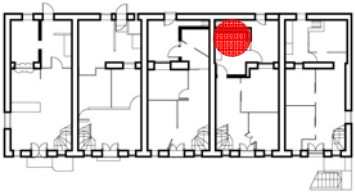
¹³ Definition extracted from *Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada*. Retrieved on December 15, from Parks Canada under Her Majesty the Queen in Right of Canada, Website: http://www.pc.gc.ca/docs/pc/guide/nldclpc-sgchpc/index_e.asp.


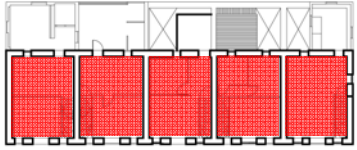
2.3.1 External area

	item	image	location
E-1	Rectangular massing formed by a row of building blocks		
E-2	Original building form and spatial layout		
E-3	Signage marked with Chinese character “藍恩記” (Lam Yan Kee) at House No. 31		
E-4	Masonry walls		
E-5	Chinese styled pitched roof laid with pan and roll tiles		


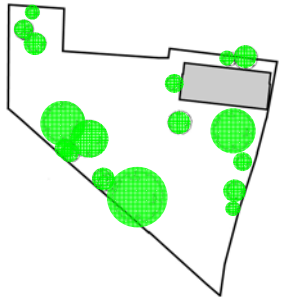

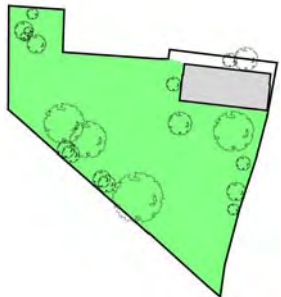
E-6	Gable walls with hanging ridge and moulding		
E-7	Door openings with concrete lintel, plastered surround, Chinese styled timber doors with timber locks and granite socket, and metal sliding Bostwick gates		
E-8	Window openings with concrete lintels and timber framed windows on front and side elevations		
E-9	Old metal mail boxes		

2.3.2 Internal area

	item	Image	location
I-1	Original spatial layout		
I-2	Internal walls		
I-3	Timber flooring of upper floor including timer planking supported on timber joists		
I-4	Timber staircase with railings and balustrades, and the last few steps		
I-5	Kitchen with original stoves at No. 32		

I-6	Timber battens and purlins at roof		
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2.3.3 Surroundings

	item	image	location
S-1	Mature trees		
S-2	Open space in front		

3

REVITALIZATION PROPOSAL

3.1 Project objectives

Wing Kwong So-Care Company Limited is planning to adaptive re-use the Stone Houses and its site as a “石屋家園” (Stone Houses Family Garden) with objectives as follows:

- To achieve conservation goal by restoring the Stone Houses into its original look and revitalise the “Ho Ka Yuen” site while adding carefully constructed facilities and green elements to convey a new spirit to the site;
- To promote the values treasured by the last generation to the youth through creative activities, programmes and events hosted in the site and an understanding of the changing context of the district.

3.2 Proposed use

Wing Kwong So-Care Company Limited is to establish a themed cafeteria-cum-Visitor Information Centre with a view to:

- Operating a themed cafe in part of the Stone Houses in the form of social enterprise to provide full time and part-time jobs and training opportunities to the underprivileged, specifically to meet the demand of youth group; and
- Turning the site into a youth hub and developing positive impact by offering ancillary services such as organising experiential training courses, alternative tours and providing facilities like the Interpretation Centre, labyrinth and open theatre.

3.3 User's requirement

- Strive to preserve the architectural features of the Stone Houses, such as the wooden structures, stone walls, pyramid roof, wooden door locks, etc. which helps to reflect the building characteristics of Hong Kong during the Second World War and substantially convey that part of the history to new generations;
- Convert Unit 32 into an Interpretation Centre for educational purpose, as the facilities at the rear annex (i.e., the kitchen and chimney) are generally kept intact and the wooden floor structure are in relatively good condition. Old-fashioned furniture will be placed in the restored unit to reconstruct the reminiscent atmosphere;
- Keep the wooden stairs and platform in Unit 32 and provide structural strengthening works at the same time to meet statutory requirements.
- Strengthen the wooden floor plates of other units by steel structures and provide minimum interior fitting out works. The wooden surfaces of stairs in other units will be kept but supported by new steel structures.
- Bring a unique and incomparable reminiscence to the visitors as the themed cafe is located right at the historic site of the Stone Houses and is literally nostalgic;
- Adopt a Labyrinth to form the surface pattern of the open space outside the Stone Houses which is based on an aerial photo taken for exactly the same location in 1964. The outline of the site is blended with labyrinth design in which people can have a meditative stroll.
- Construct a new building adjacent to the existing Stone Houses which compose of a multi-purpose room and toilets in order to cater for the functional needs and sustainable development.
- Construct a new building to house the new fire services installation for adaptive reuse of the historic buildings.
- Adopt a simple structure for the new building so that it will not overshadow the existing Stone Houses. The old and new will be blended in unity.
- Provide the exterior landscape with a theme of “home” and capture elements of history and culture. The tone is chiefly natural and simple.
- Build concrete steps along the open lawn on restored planters; keep the existing trees and create more greenery to attract patronage and bring to the community a backyard garden.

3.4 Statutory requirement

3.4.1 Planning and Land Requirement

The site is zoned “Open Space” (“O”) on the Kowloon Tong Outline Zoning Plan (OZP) No. S/K18/16 approved on 8 December 2009. The proposed use of the buildings may be regarded as “Place of Recreation, Sports or Cultural under Columns 2 of the OZP. A Section 16 planning application may be required to submit to the Town Planning Board (TPB) for the proposed use.

3.4.2 Compliance with the Buildings Ordinance

3.4.2.1 Means of Escape

- The existing double leaf doors having curbs and possible sub-standard width at the main entrance at ground floor might not meet current MOE requirement.
- The existing timber staircase leading from ground floor to the first floor could not satisfy current fire safety requirement.
- New external staircase connecting to the first floor shall be proposed as the means of escape.

3.4.2.2 Means of Access for Fire Fighting & Rescue

- There is no Emergency Vehicular access (EVA) for the building. Provision of EVA shall be complied with. Necessary means of access shall be provided.

3.4.2.3 Fire Resisting Construction

- Fire engineering study may be required to demonstrate fire safety for the existing timber structures.
- Subject to detailed study, fire rated glass might be required to be installed to existing timber windows.

3.4.2.4 Barrier free access

- There is no barrier free access connected from the ground floor to the first floor. An addition of a disabled lift shall be required to comply with current building regulation.

3.4.2.5 Fire Services Installation

- There is currently no fire service provision at the Stone Houses, such as wet Fire Protection System (i.e. F.H./HR & Sprinkler System), manual fire alarm (MFA), visual

fire alarm and automatic fire alarm system (AFA), exit sign / emergency lights found in the building.

- Additional fire service installation for the new use, including sprinkler system, hose reel system, fire alarm system, emergency back-up power supply, etc, shall be installed to meet current requirement, subject to approval and consideration of exemption or modification by the authority.

3.4.2.6 Sanitary fitment provisions

- The present sanitary fitments provision seems inadequate. New toilets, including disable toilets, shall be provided to comply with the statutory requirements.

3.5 Condition of fabric

3.5.1 Description

The external load bearing walls and the internal party walls are constructed of granite blocks, jointed with cement sand mortar and rendered with plaster on the interior. There are concrete lintels above the door and window openings.

The ground floor is of 50mm thick cement/sand screeding paved with floor tiles. The 1/F is constructed of softwood floor planks laid on timber joists. They are supported by either timber beams or concrete beams or rested on the masonry wall at the ends. There is a timber trimmer joist along the staircase void. The trimmer joist is quite small in size and is spanning between the front masonry wall and an r.c. beam across the centre of the unit.

The pitched roof consists of Chinese clay tiles laid on timber battens supported over timber log joists. The timber logs are spread across the sloping roof and built into the masonry walls at each side with a header thickening likely of masonry block.

The lower 3 or 4 risers of the staircase are either of timber or mass concrete construction. The rest are of timber with wooden treads and risers built over two stringer beams on each side. The balustrade and railing of the staircase are also of timber construction.

Later additions to the original building include:

- Decking over the rear court of some units to extend their 1/F and enclose them with metal sheeting; and
- Adding corrugated metal cover on light steel frame above the pitched roof areas as rain shelters at units 31, 32, 34 and 35.

3.5.2 Structural Appraisal

- On the front elevation, the continuous reinforced concrete projecting feature above the 1/F windows are dilapidated and some portion has fallen off.
- There are signs of dampness at the lower portion of some external walls. The dark colour jointing mortar indicates insufficient damp proof treatment.
- The existing stone masonry walls are of fair condition. The exterior masonry wall has some open joints showing weathering and softening of mortar at localized areas. Repointing is required to prevent water ingress. There are a few rotten wooden window frames with gaps along the wall opening. They are to be replaced and made good with waterproofing grouting.
- One of the timber roof joists collapsed and the joists adjacent to it are in the danger of collapsing at unit No. 33. In view of signs of serious water leakage to most of the roof soffit and rots on roof joists are observed, it is anticipated that there are detached and loosen roof tiles with defective bedding, resulting rain penetration and dilapidation of the roof structure.
- Some reinforced concrete beams on 1/F are found with spalling concrete with exposed rusty bars at the soffit.
- The external wall of No. 31, which is adjacent to Junction Road, is a retaining wall. The soil retaining height is about 1.2m. Also, problems of water leakage, water-ponding and surface water drainage around the building is evident during rainfall.
- There are trees adhere to and growing on the rear masonry fence walls of Nos. 31, 32 and 35. The continuous tree growth will render the walls unstable.

3.5.3 Structural Survey

In the previous structural survey completed by Architectural Services Departmental (ArchSD) in 2009, visual inspections, in-situ and laboratory tests have been carried out with a view to ascertaining the material, layout, condition and strength of the existing structural members.

It was found that the structural members in the main portion (i.e. the part of building under the pitched roof) are in poor condition. Firstly, severe corrosion was noticed in some reinforced concrete members. The concrete was also found carbonated and having low strength. Secondly, a number of timber joists were found to have severe fissures. It is recommended to repair and replace members with defects for the adaptive re-use.

The stone walls are found on fill material, with or without foundation stone. Out of the seven inspection pits, only one has revealed loose fill, others are on dense fill substrate. Ground water is not encountered.

3.5.4 Loading Assessment

- The capacities of the structural members were investigated based on the test data obtained during the previous structural survey.
- The existing reinforced concrete beams are of inadequate strength, they can be recast or strengthened by addition of steel beams.
- The masonry stone walls are structurally adequate for the adaptive reuse. Since the foundation construction does not satisfy current safety standard, any addition of load should be avoid. This can be achieved by adding steel posts supported on new footings to share the additional loadings.
- The existing timber staircase can be upgraded by adding a secondary supporting frame beneath and adding/replacing the railings by either glass panels or metal railing.
- The roof can also be repaired by replacing the dilapidated battens and purlins and relaying the missing pan and roll tiles.

3.5.5 Recommendations

- A more detailed and comprehensive structural investigation is to be conducted to record the current conditions and to identify the defective elements for repair, replacement or strengthening. The results will be incorporated into the detailed design.
- A comprehensive restoration plan should be prepared to reinstate all other defective roof. Appropriate repair and treatment to the other structures and architectural elements to prevent future deterioration is recommended.

3.6 Proposed layout and setting

3.6.1 Stone Houses No. 31 - 35

Floor / Unit	No. 31	No. 32	No. 33	No. 34	No. 35
G/F	旅遊資訊中心 Tourist Services Centre	文物探知中心 Stone Houses Interpretation Area	懷舊冰室 Themed Cafeteria	懷舊冰室 Themed Cafeteria	懷舊冰室 Themed Cafeteria
1/F	旅遊資訊中心 Tourist Services Centre	文物探知中心 Stone Houses Interpretation Area	文物探知中心 Stone Houses Interpretation Area	懷舊冰室 Themed Cafeteria	懷舊冰室 Themed Cafeteria
1/F Terrace	Sitting out area	N.A.	露天茶座 Themed Cafeteria	露天茶座 Themed Cafeteria	露天茶座 Themed Cafeteria

Function	Description
旅遊資訊中心 Tourist Services Centre	<ul style="list-style-type: none"> organizes guided tours to the heritages in Kowloon City and other districts displays visitor information on the sight-seeing points of cultural and heritage interest in the district
文物探知中心 Stone Houses Interpretation Area	<ul style="list-style-type: none"> displays old furniture, daily utensils, old photos and other artifacts for the interpretation of the residents' daily living in the past organizes exhibitions of various themes to introduce the historical and cultural values of Kowloon City.
懷舊冰室 Themed Cafeteria	<ul style="list-style-type: none"> provides catering provides board game services for young people

3.6.2 New Building 1 and 2

	Building 1	Building 2
Ground Floor	教育研究中心 Education / Visitor Center	FS water tank and pump room
	Lift for disable, Storage, Switch room, Toilet	
Roof	Roof top for maintenance	Roof top for greenery
First floor	Corridor / staircase	N.A.

Function	Description
教育研究中心 Education / Visitor Center	<ul style="list-style-type: none"> Organizes educational courses related to local cultural and historical context, leisure interests, arts, etc.



Fig. 36. Proposed Landscape Plan

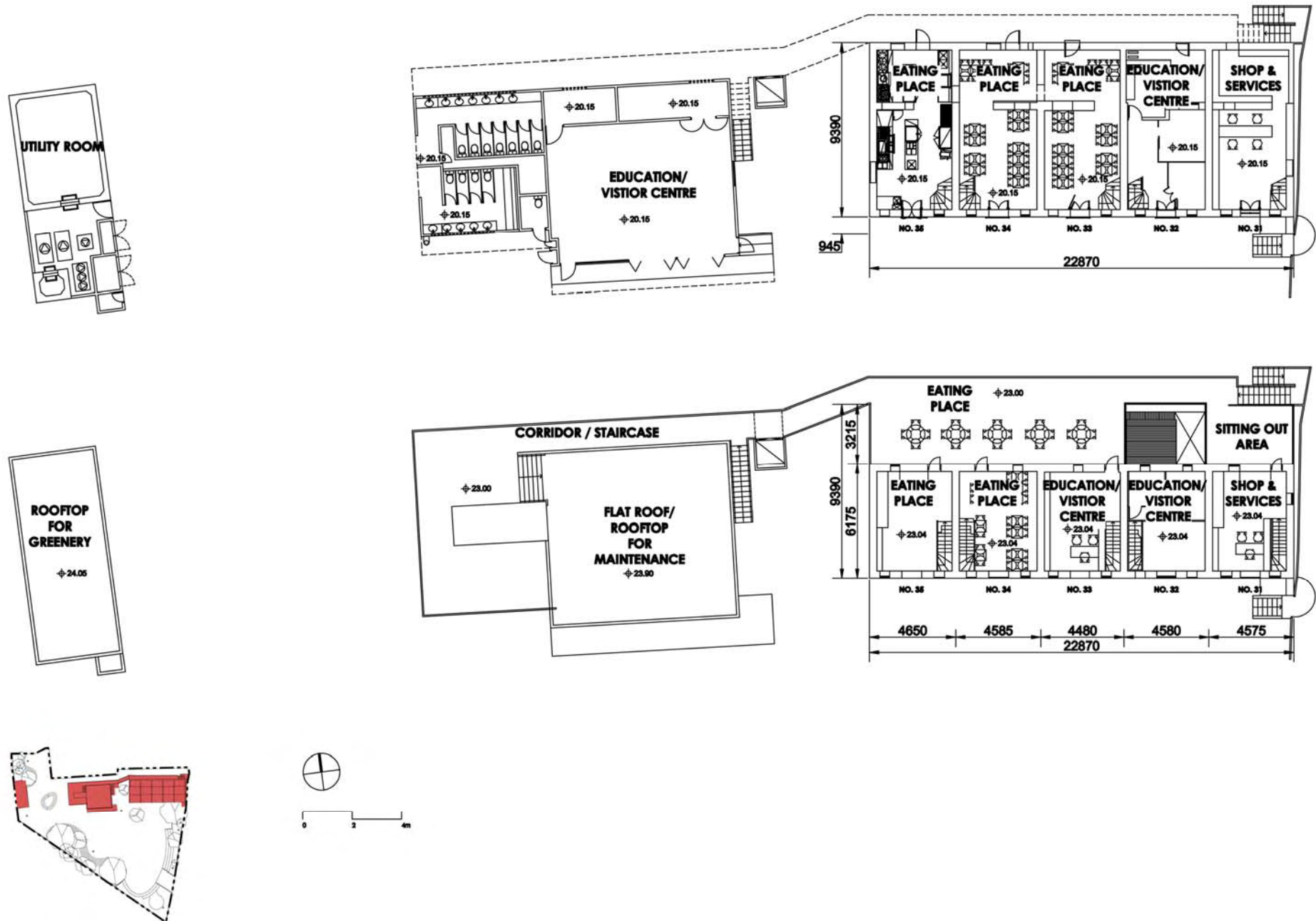


Fig. 37. Proposed General Layout Plan



Fig. 38. Artistic impression of the Stone Houses Family Garden (1).



Fig. 39. Artistic impression of the Stone Houses Family Garden (2).



Fig. 40. Proposed walkway at the rear of the historic building.

4

ASSESSMENT

4.1 Conservation Principles

The conservation process of making a possible compatible use for Stone Houses adopted the following guiding conservation principles in developing the appropriate treatments and level of intervention for character defining elements and other historic building fabrics with reference to international charters and other relevant conservation standards.

Conserve heritage value

- Respect its changes over time and its various uses that represent particular periods. Thus, it is not necessary to return its state to the original period when the building or the site was firstly erected. Only remove, and/or replace the physical fabric that has substantially altered the overall intactness of the buildings and the character defining elements.
- Restore any deformed, collapsed, or misplaced components, and later additions considered of no significance or intrusive should be removed.

Retain authenticity and integrity

- Respect the original character or architectural style of the building fabric and retain its traditional building materials or construction system as much as possible.
- Recognize each historic place as a physical record of its time, place and use.
- Do not create a false sense of historical development by adding elements from other historic places or by combining features of the same property that never co-existed.

Minimum Intervention

- Keep any treatment or intervention to building fabric to the minimum and respect the heritage value when undertaking an intervention.
- Use the gentlest means possible for any intervention.
- Make any intervention physically and visually compatible and identifiable upon close inspection, and document any intervention for future reference.

Repair rather than Replace

- Repair rather than replace character-defining elements.
- Only when such elements are too severely deteriorated to repair, and with sufficient physical evidence, replace them with new elements that match the forms, materials and detailing of the same elements.
- Where there is no sufficient evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

Reversibility

- Make any intervention or adaptation to the building fabric reversible, without causing any damage to the existing structure when such intervention is to be removed in future.
- Any new additions should be reversible and should not affect the essential form and integrity of the historic place, or that the building fabric should not be impaired if the new work is to be removed in the future.

Integrating old and new

- When adding new construction to heritage buildings, the proposed new works and developments should be sympathetic to the heritage place in terms of its compatible proportion, form, design and materials. Make the new works physically and visually compatible with and distinguishable from the original fabric of the historic place.

4.2 Potential Impact and mitigation measures

4.2.1 Definition of terms¹⁴

¹⁴ The definition of terms is developed based on James Semple Kerr, *Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*, National Trust, 2004.

Levels of Significance	Meaning
High	<p>Elements which make a major contribution to the overall significance of the place.</p> <p>Spaces, elements or fabric originally of substantial intrinsic quality, and exhibit high degree of intactness and quality, though minor alterations or degradation may be evident.</p>
Moderate	<p>Elements which make a moderate contribution to the overall significance of the place.</p> <p>Spaces, elements or fabric originally of some intrinsic quality, and may have undergone minor or extensive alteration or degradation.</p>
Low	<p>Elements which make a minor contribution to the overall significance of the place.</p> <p>Spaces, elements or fabric originally of little intrinsic quality, and may have undergone alteration or degradation.</p> <p>Original spaces, elements or fabrics of some quality, which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive.</p>
Neutral	Items which are of little consequence in terms of understanding or appreciating the site and its developments, without being actually intrusive
intrusive	Items which are visually intrusive or which obscure understanding of significant elements of the site, and may be identified for removal

Mitigation measures	- Practical advice is given to mitigation adverse impact affects.
Impact level	<p>- Overall level of impact on elements, after application of mitigation measures, is assessed as follows:</p> <p>High - an impact that significant alters or obliterates significant characteristics of the heritage resource;</p> <p>Medium - an impact that alters the character or surroundings of the heritage resource, but is consistent with existing and emerging trends;</p> <p>Low - an impact capable of measurement but with no alteration of significant characteristics; and</p> <p>Neutral - a change that does not affect the value of the heritage resource and/or its surroundings.</p>

4.2.2 Impact assessment

	Assessment Items	Affected CDEs / fabric	Level of significance	Impact Level	Treatment/ Mitigation Measures
General					
A-1	Convert the buildings and its site into a “Stone Houses Family Garden”	N.A.	N.A.	low	<ul style="list-style-type: none"> Photographic and cartographic survey of the buildings and its site shall be carried out before the commencement of works. Interpretation strategy shall be properly formulated and present the historic development and changes of the buildings and site to enhance and reinforce the understanding of the cultural significances of the historic place.
A-2	Convert the open space into a neighborhood garden	Open space in front	low	neutral	<ul style="list-style-type: none"> Such conversion work is considered beneficial as a more welcoming open space with designed landscaping is provided for public leisure use as well as appreciating the historic buildings. (refer to the assessment items in following section)
Site					
B-1	Addition of hard landscape paving including a labyrinth	Open space in front	low	neutral	<ul style="list-style-type: none"> The paving should be of compatible design, in terms of suitable design, colour and texture. The design of the labyrinth and the associated structure erected in the open area shall not overwhelm the appearance of the Stone Houses and create visual impact to the front façades of the Houses. They should be discernible from the original historic fabric and be understated in character.
B-2	Make good and improve the soft landscape	Open space in front	low	neutral	<ul style="list-style-type: none"> Such improvement work is considered beneficial as a more welcoming space is provided for public uses.

B-3	Addition of new concrete steps for outdoor seating	Openness and ambiance of the open space	low	neutral	<ul style="list-style-type: none"> Such new structure shall be of compatible design, in term of suitable material, colour and texture for the finishes. They should be placed in the open space so that the main facade of the stone houses can still be well conceived.
B-4	Addition of new outdoor furniture, lamp posts, signage, display stands and art works	Openness and ambiance of the open space	low	neutral	<ul style="list-style-type: none"> Such new structure shall be of compatible design, in term of suitable material, colour and texture for the finishes. They should be discernible from the original historic fabric and be understated in character. They should be placed in the open space so that the main facade of the stone houses can still be well conceived.
B-5	Addition of a new building block with a multi-purpose room for Education / Visitor Centre	Openness and ambiance of the open space	low	neutral	<ul style="list-style-type: none"> The Education / Visitor Centre shall offer potential to enhance and enrich the values of the place. Such new structure shall be of compatible design, in term of suitable material, colour and texture for the finishes. It should be discernible form the original historic fabric and be understated in character. Its location should be selected with least visual impact to the historic building away from the historic building without blocking the front facade. Its location should be away from the historic buildings, i.e., at the peripheral location of the site. Its height should not exceed the roofline of the historic buildings. The overall width of the new structure shall be compatible to the historic buildings.
B-6	Addition of a new building block for new E&M installations for adaptive reuse	Openness and ambiance of the open space	low	neutral	<ul style="list-style-type: none"> Such new structure shall be of compatible design, in term of suitable material, colour and texture for the finishes. It should be discernible form the original historic fabric and be understated in character. Its location should be away from the historic buildings as far as possible to avoid adverse visually impact.

B-7	Replace the existing fencing around the building premises with new fencing for better security	N.A.	N.A.	neutral	<ul style="list-style-type: none"> The design of the new fencing shall be understated in character and would not induce any serious visual impact to the historic buildings.
Exterior of Stone Houses					
C-1	Repair and restore the timber roof with Chinese styled roofing consisting of pan and roll tiles supported by timber battens and purlins	Chinese styled pitched roof laid with pan and roll tiles; Gable walls with hanging ridge and moulding	high	medium	<ul style="list-style-type: none"> Subject to statutory requirement and approval, the restored roof shall match with exiting with reference to the traditional Chinese styled architectures and available information. The design of the roof restoration shall be submitted to AMO for approval. Documentation should be prepared during the course of the restoration works. Information should be provided in-situ clarifying the authenticity of the newly added timber roof structure, for example, the date of restoration could be branded on each timber member.
C-2	Demolish the later-added structures to the rear annex of the historic buildings	N.A.	intrusive	neutral	<ul style="list-style-type: none"> Such improvement works is considered beneficial as the original building form and spatial layout is revealed.
C-3	Repair, restore and clean the external masonry walls	external masonry walls	high	neutral	<ul style="list-style-type: none"> Such improvement works is considered beneficial as the original appearance and textures of the external wall could be revealed. The mortar shall be raked out and the joints shall be repointed with ribbon pointing using a suitable mortar mix. Later added rendering on masonry surface shall be hacked off. The external masonry walls should not be painted or treated with permanent coating system.

C-4	Restore the signage marked with Chinese characters “藍恩記” (Lam Yan Kee) at House No. 31 and preserved in-situ	signage marked with Chinese character “藍恩記”	high	neutral	<ul style="list-style-type: none"> Such restoration works is considered beneficial and acceptable provided that the works is minimal and carried out by experienced workmen under the guidance of conservationists. The Chinese characters “藍恩記” (Lam Yan Kee) and associated descriptive wordings shall be re-painted if necessary to match with existing. Coating of protective paint may be applied provided that it is reversible with causing damage to the signage.
C-5	Restore and repair the door openings with concrete lintel, plastered surround, Chinese styled timber doors with timber locks and granite socket, and metal sliding Bostwick gates	Door openings with associated components	high	neutral	<ul style="list-style-type: none"> Such restoration works is considered beneficial and acceptable provided that the works is minimal and carried out by experienced workmen under the guidance of conservationists. Existing openings to front and side elevations should not be altered. The metal gate shall be cleaned, repaired and treated with corrosion protection as appropriate. The timber components shall be treated with preservative paint against decay and insect attack. Information should be provided in-situ clarifying the authenticity of the newly added timber framed windows, for example, the date of restoration could be branded on the each timber window.
C-6	Restore and repair the window openings with concrete lintels and timber framed windows on front and side elevations	window openings with concrete lintels and timber framed windows	high	low	<ul style="list-style-type: none"> Such restoration works is considered beneficial and acceptable provided that the works is minimal and carried out by experienced workmen under the guidance of conservationists. All later added items, including metal sheet canopies, window type air-conditioners with supports and exhaust fans should be removed.
C-7	Repair the old metal mail boxes and preserve in-situ	old metal mail boxes	moderate	neutral	<ul style="list-style-type: none"> Such repair works is considered beneficial and acceptable provided that the works is minimal and carried out by experienced workmen under the guidance of conservationists. The metal mail boxes shall be repaired by de-dusting if necessary. The existing wordings painted on the mail boxes should not be covered up or erased.

C-8	Addition of a new walkway and connecting platform at the rear of the historic building for barrier free access	Original building form	moderate	high	<ul style="list-style-type: none"> Such new walkway is acceptable providing it is of compatible design, in term of suitable material, colour and texture. Such addition should be reversible without causing permanent damage to the historic fabric. The new structure should be discernible from the original historic fabric and be understated in character. It should be structurally independent and will not disturb to the historic fabrics. The rear annex at Unit 32 will be preserved in-situ and restored to include in the “Stone Houses Interpretation Area”. A viewing well shall be left on the outdoor walkway for public appreciation.
C-9	Existing trees (5 nos.) at the rear and immediate front of the historic buildings will be transplanted	trees	low	low	<ul style="list-style-type: none"> The transplantation shall be carried out with adequate guidance from tree specialist.
C-10	Existing Ficus trees (6 nos.) at the rear of the historic buildings will be fell	trees	intrusive	neutral	<ul style="list-style-type: none"> The aggressive and extensive root system of these trees are imposing structural problem to the building structure. New trees shall be planted in the open space as compensation.
C-11	Addition of split-type air conditioning unit and pipe works to enhance the comfort of visitors	Masonry external walls	high	low	<ul style="list-style-type: none"> The outdoor units should be placed at the rear of the building to minimize visual impact to the front façade. They shall be placed under the new walkway and concealed with cover of subtle design to minimize the visual impact to the rear of the building from Junction Road.

C-12	Form new openings on walls for installation of new building services such as electrical system, fire services system, plumbing and drainage system, air conditioning system, etc.	Masonry external walls	high	medium	<ul style="list-style-type: none"> ▪ All the pipes and ducts of all kinds of building services installation should be grouped together when entering the building so that minimum number of holes will be made on the walls surfaces. ▪ Instead of forming new holes, existing openings on granite walls should be utilized. ▪ Location of new openings for passage of piping shall be agreed prior the works. ▪ Disturbance to the historic granite walls shall be minimized as far as possible. ▪ The openings shall be formed by removal of granite masonry or coring at the joint and shall be subject to the advice from Registered Structural Engineer. ▪ Coring of holes in the middle of granite masonry block should be avoided. ▪ No window-type air conditioner is allowed to be used at the Stone Houses.
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Interior of Stone Houses

D-1	Repair internal walls, including spalling plaster, cracks and deteriorated finishes	Internal walls	low	neutral	<ul style="list-style-type: none"> ▪ Such repair works is considered beneficial. ▪ Structural condition of the walls shall be checked. ▪ The defects at internal walls shall be repaired with materials matching original without adverse impact on the historic fabrics.
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D-2	Form new door openings between units (2 nos.) at the rear annex for functionality	Internal walls	low	low	<ul style="list-style-type: none"> Investigation on the structural condition of the building shall be carried out. The structural stability of the building should not be affected by such alteration which should be subject to the advice from Registered Structural Engineer. Disturbance to historic fabrics shall be minimized. New structural support shall be minimized in size without overwhelming the interior. Documentation should be prepared during the course of such alteration works.
D-3	Addition of structural strengthening works to the timber flooring at No. 32 to comply with modern day safety standards (see Appendix II)	Timber joists and planking	high	medium	<ul style="list-style-type: none"> All the original timber joists and planking shall be retained in situ. Numbers of the new structural members should be limited to basically suit the strengthening purpose. The original timber elements, including the joists, top and soffit of timber planking, shall be exposed for public appreciation unless being covered-up due to the structural strengthening elements which are in the minimum extent. New structures shall be discernible from the original historic fabric and minimized in size as far as practicable without overwhelming the interior. Portion of the original timber structures shall be retained without being covered up for display and interpretation. Documentation should be prepared during the course of such alteration works.
D-4	Convert the timber flooring of inadequate structural integrity at No. 31, 33, 34 and 35 into metal decking for functionality (see Appendix II)	Timber joists and planking	high	high	<ul style="list-style-type: none"> New structures shall be minimized in size without overwhelming the interior and shall be in compatible design to the historic ambience of the historic buildings. The existing timber planks shall be inspected and salvaged as much as possible for reuse on the new metal decking to form the new flooring of the 1/F. Disturbance to historic fabrics shall be minimized. Documentation should be prepared during the course of such alteration works.

D-5	Addition of strengthening works to all timber staircases to comply with modern day safety standards (see Appendix II)	Timber staircase with railings and balustrades	high	medium	<ul style="list-style-type: none"> ▪ The original timber members (e.g., railings and steps) shall be retained. ▪ New structures shall be concealed at the underside and minimized in size without adverse visual impact to the historic fabrics. ▪ Disturbance to original timber members shall be minimized. ▪ Documentation should be prepared during the course of such alteration works. ▪ The structural strengthening framework shall be installed underneath the timber staircase or at a position which will not overwhelm the appearance of the staircases. The upgrading works for the balustrade could also be connected to such structural strengthening framework in subtle design. Thus, the visual impact to the timber stair can be minimized.
D-6	Replace exiting floor screeding with on-grade concrete slab to support the structural strengthening works (see Annex II)	N.A.	low	low	<ul style="list-style-type: none"> ▪ The new internal decoration should be compatible to the historic ambience of the interior. ▪ The floor tiles in good condition should be salvaged for reuse as necessary.
D-7	Repair and restore the kitchen with original stoves at No. 32.	Kitchen with original stoves	high	neutral	<ul style="list-style-type: none"> ▪ Such restoration works is considered beneficial and acceptable provided that the works is minimal and carried out by experienced workmen under the guidance of conservationists. ▪ The structural integrity of the stoves, chimney, and working bench shall be checked. They shall be repaired as necessary with materials to match with original. ▪ The brickworks shall receive proper preservative treatment, such as cleaning, application of moss retardant and protective coating, prevention of rising damp, etc.

D-8	Repair and restore the timber roofing	Timber battens and purlins	high	medium	<ul style="list-style-type: none"> ▪ Subject to statutory requirement and approval, the restored roof shall match with existing with reference to the traditional Chinese styled architectures and available information. The design of the roof restoration shall be submitted to AMO for approval. ▪ Documentation should be prepared during the course of the restoration works. ▪ Information should be provided in-situ clarifying the authenticity of the newly added timber roof structure, for example, the date of restoration could be branded on each timber member.
D-9	Installation of new building services such as light fittings, electrical trunking and conduits, air conditioning units, visual fire alarms, socket outlets, etc.	Internal walls	low	medium	<ul style="list-style-type: none"> ▪ All the pipes and ducts of all kinds of building services installation should be grouped together when entering the building so that minimum number of holes will be made on the walls surfaces and floor. ▪ Cable trunking should be used instead of individual electrical conduits. ▪ Disturbance to historic granite walls shall be minimized to avoid adverse visual impact and affect the structural integrity of the building. ▪ Instead of forming new holes, existing openings on granite walls should be utilized.

4.3 Interpretation

Stone Houses Family Garden aims to promote the values treasured by the last generation to the youth through creative activities, programmes and events hosted in the site and an understanding of the changing context of the district.

It is recommended that the focus of interpretation of Stone Houses shall be its linkage to the historic evolution of the neighborhood area and Kowloon city district at different period of time:

- Stone Houses area are part of the cottage area in the district where refugees from mainland settled during the Chinese Civil War in 1947-49.
- Several film studios were established in the vicinity of Stone Houses in the late 1940s and 1950s.
- Small workshops were operated in the cottage area, such as the tombstone factory at Stone Houses, reflecting the mixed industrial and residential use in the grassroots class area during the 1960s-70s.

Clever and imaginative interpretation of the historic changing uses of the heritage building and grounds as well as the people involved will set the context for a comprehensive understanding of cultural and social evolution of Kowloon City district and greater Hong Kong. Activities and programs in the Garden shall be designed to forge a sense of belonging and serve the community of Kowloon City district.

The conceptual framework of the interpretation is proposed to tie in with the different uses of the buildings as follows:

Location	Interpretation	Presentation
旅遊資訊中心 Tourist Services Centre	<ul style="list-style-type: none"> ▪ organizes guided tours to the heritages in Kowloon City and other districts ▪ displays visitor information on the sight-seeing points of cultural and heritage interest in the district 	<ul style="list-style-type: none"> ▪ guiding map ▪ informational panels ▪ leaflet
文物探知中心 Stone Houses Interpretation Area	<ul style="list-style-type: none"> ▪ displays old furniture, daily utensils, old photos and other artifacts for the interpretation of the residents' daily living in the past ▪ organizes exhibitions of various themes to introduce the historical and cultural values of Kowloon City. 	<ul style="list-style-type: none"> ▪ exhibits ▪ informational panels ▪ audio visual installations

Open Space	<ul style="list-style-type: none"> ▪ adopts a Labyrinth to form the surface pattern which is based on an aerial photo taken for exactly the same location in 1964. ▪ includes some small art works reflecting different period of time in the history of Kowloon city district or signage displaying textual information on the historic evolution of the district. ▪ organizes weekly performance to introduce the historical and cultural interest to the visitors. 	<ul style="list-style-type: none"> ▪ art work ▪ informational panels ▪ performances ▪ community activities
教育研究中心 Education / Visitor Center	<ul style="list-style-type: none"> ▪ organizes educational courses related to local cultural and historical context, leisure interests, arts, etc 	<ul style="list-style-type: none"> ▪ educational programme ▪ lectures ▪ training
懷舊冰室 Themed Cafeteria	<ul style="list-style-type: none"> ▪ operates a hangout café that once existed at the site. ▪ displays old photos for the interpretation of the daily living and surrounding context in the past ▪ sells old-fashioned snacks 	<ul style="list-style-type: none"> ▪ themed café with restored setting and old-fashioned menu ▪ historic photographs

5

MANAGEMENT AND IMPLEMENTATION

5.1 Maintenance management plan

Once the conservation and adaption work is completed on a historic and significant building, ongoing maintenance is necessary to keep the building in good order. Maintenance is an essential part of the conservation/preservation process.

Repairs required as part of ongoing maintenance should be undertaken to match the existing materials, colour or texture of existing, and must blend in with existing fabric. Maintenance work should be governed by the Burra Charter principle of **“Do as much as necessary and as little as possible”**.

A maintenance schedule should be developed which includes:

- Regular inspection to check the degree of deterioration of all Character defining elements
- Annual inspection of the condition of the roof
- Quarterly monitoring of the termite control and eradication system to the timber roof structures
- Regular inspection of internal finishes and fittings
- Regular monitoring of site drainage
- Regular maintenance to the plants and garden

The maintenance management plan will be reviewed annually by building management professionals, conservationists and professionals with thorough understanding of managing a historic building to ensure the execution of a proper maintenances programme.

A maintenance manual or handbook delineating the recommended procedures of carrying out necessary maintenance works and identified conservation items will be compiled and provided to future frontline maintenance staffs to ensure their adequate understanding of their duties and necessity in better maintaining the historic building.

5.2 Property management proposal

The conservation and adaption of the building is only the first stage in an ongoing process of care and management. It is important that everyone involved with the use of the building is aware of its value and the level of care which must be taken when any works are proposed.

Damaging and often irreversible changes can inadvertently occur through ill-considered actions or ignorance. To avoid this situation occurring, all staff involved in any aspect of the management of the Stone Houses must be briefed on the significance and appropriate management of the building and its setting. An operation manual detailing the significance and appropriate management of the building and its setting, as well as the identified conservation items will be compiled and provided to future users for guiding the operation of the building without degrading its heritage significance in any aspect.

No new work, however minor or seemingly insignificant should occur without approval and checking. For example, nothing should be fixed on or into internal or external walls without prior approval.

The property management plan will be reviewed annually by building management professionals, conservationists and professionals with thorough understanding of managing a historic building to ensure the execution of a proper management programme.

5.3 Future development

For any future development to the historic building and site, including renovation works, alterations and additions, is intended, prior consultation and consent should be sought from the Wing Kwong So-Care Company Limited, Development Bureau and Antiquities & Monuments Office. The proposed works should follow the internationally recognized conservation principles and be designed by qualified conservationists such as a Conservation Architect or a Heritage Consultant.

5.4 Documentation

Before the commencement of any works on site, a detailed photographic and cartographic survey will be conducted by experienced surveyors/conservationist to provide important reference to all later restoration and renovation works. Besides, as-built drawings and photos to the historic buildings upon the completion of the restoration works will be prepared for record purpose. These survey reports and all conservation studies, site inspection records will be kept at the site office and made available to the users and professionals who are responsible for up-keeping the historic building and managing the changes of the historical place.

Documentation of the whole conservation process, from conceptualization to implementation stage will also be required, so that an understanding of the changes to the historic fabrics is recorded to inform future care and maintenance. Such documentation, say measured drawings and photos of the conservation works in process, may also form educational materials displayed to the public as part of the interpretation strategies. Upon the completion of conservation works, all these documentations should be well kept in the future exhibition rooms.

5.5 Financial resources

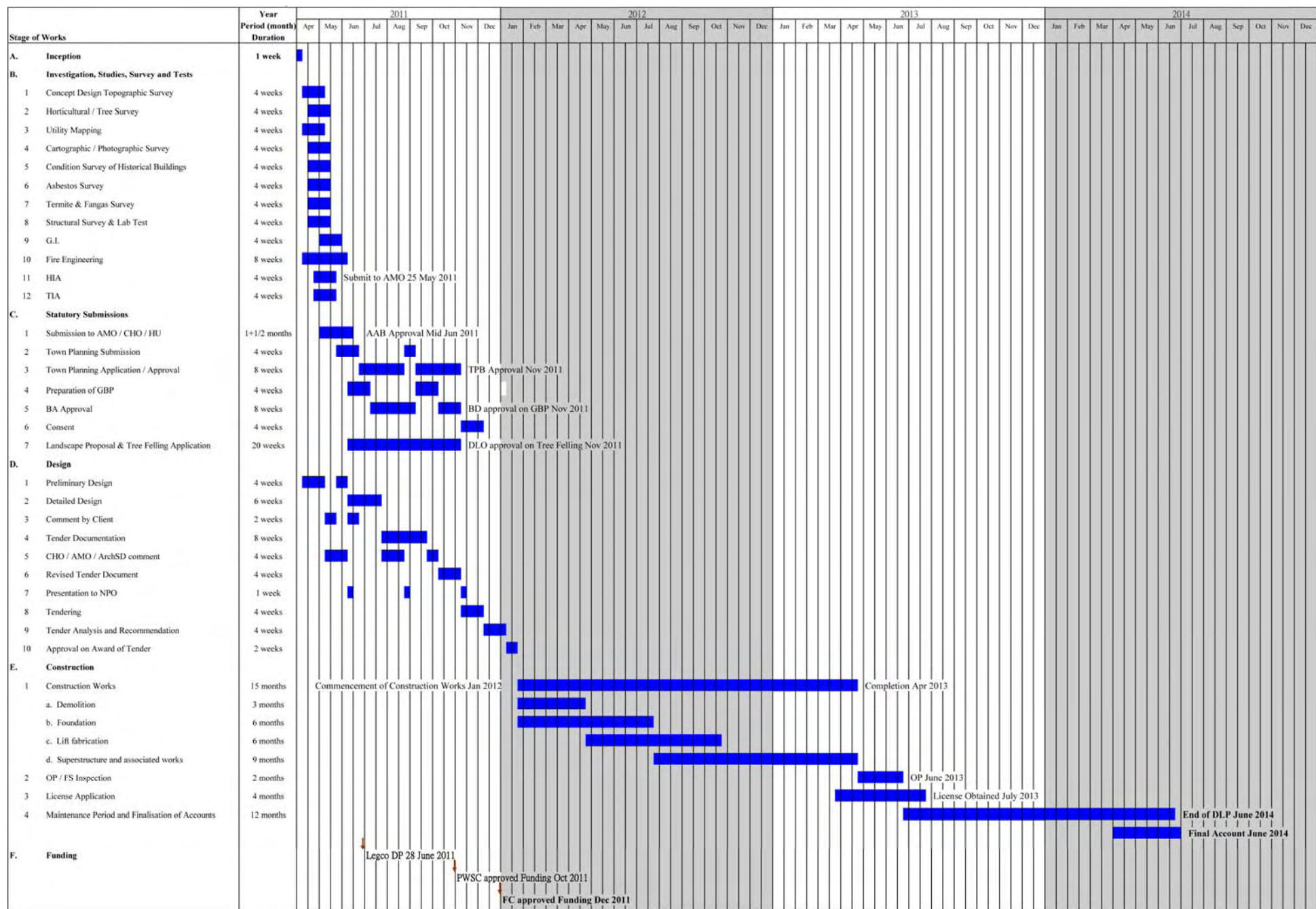
Under the Revitalizing Historic Buildings through Partnership Scheme, budget is allocated for the general maintenance work of the buildings in coming 3 years. The maintenance cost will be allocated from the operational surplus after the first 3 years.

5.6 Staffing and management structure

- A heritage expert should be appointed in the project team during the design and construction stage to ensure that the conservation policies stated in the conservation management plan can be appropriately and effectively executed.
- A project officer/curator should be appointed for the interpretation strategy.
- A management committee consisting of building professionals will be set up to oversee the implementation and operation of the scheme as well as draw the operation manual and maintenance manual.

5.7 Implementation programme

The proposed work programme for the revitalization of the Stone Houses into Stone Houses Family Garden is as follows:



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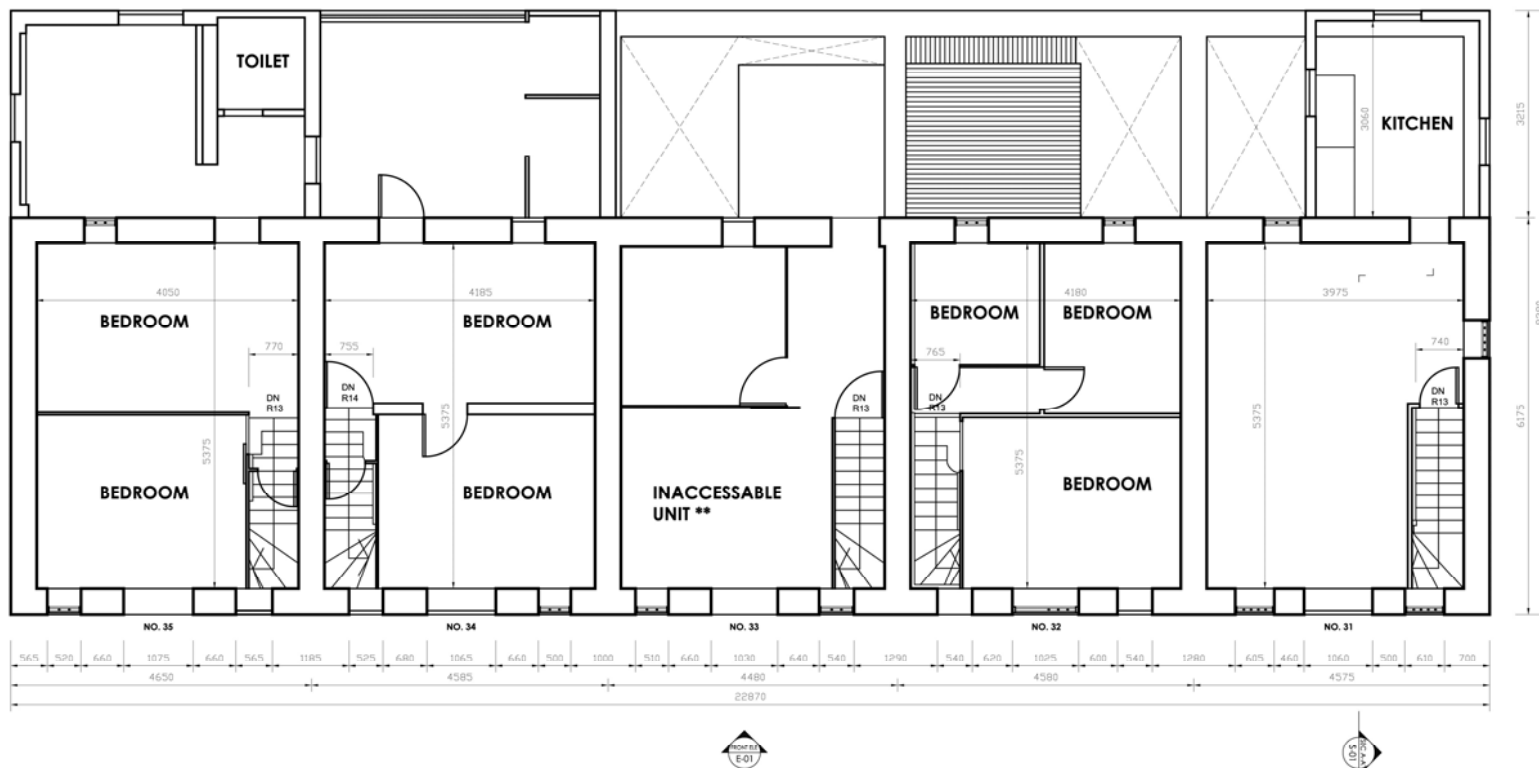
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APPENDIX I

Architectural Drawings	
Drawing No.	Title
SH-P-01	Site Plan
SH-P-02	Ground Floor Plan, 31-35 Hau Wong Temple New Village
SH-P-03	First Floor Plan, 31-35 Hau Wong Temple New Village
SH-P-04	Roof Plan, 31-35 Hau Wong Temple New Village
SH-E-01	Front Elevation, 31-35 Hau Wong Temple New Village
SH-S-01	Section A-A', 31-35 Hau Wong Temple New Village
SH-S-02	Section B-B', 31-35 Hau Wong Temple New Village



FIRST FLOOR PLAN
31-35 HAU WONG TEMPLE NEW VILLAGE

* UNITS MARKED WITH "IN" ARE INACCESSIBLE. RELEVANT INTERIOR LAYOUTS ARE BASED ON ACCESSIBLE NEIGHBOURING UNITS.

* ALL LEVELS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO VERIFICATION ON SITE. DO NOT TAKE LEVELS AND MEASUREMENTS DIRECTLY FROM THIS DRAWING.

* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.

* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.

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project
 CARTOGRAPHIC SURVEY OF
 STONE HOUSE,
 KOWLOON CITY

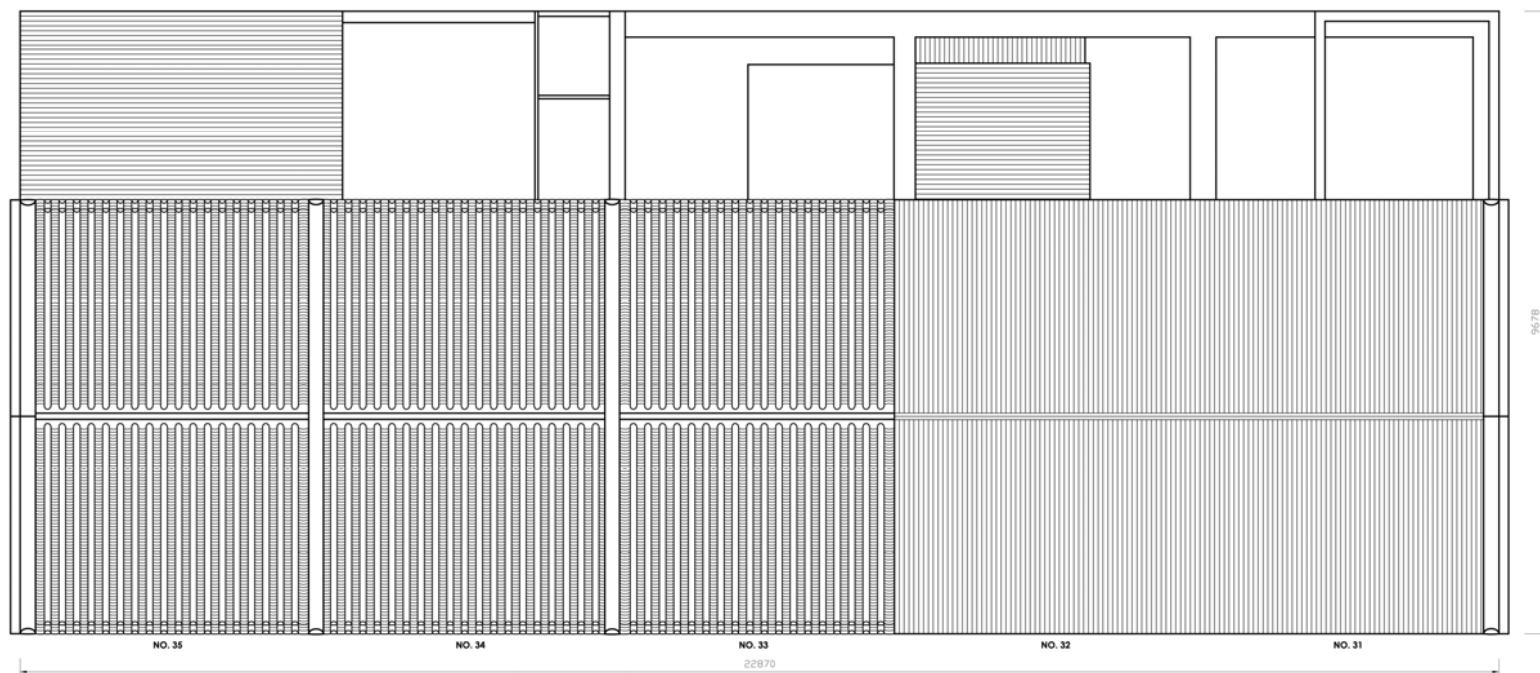
drawing title
 FIRST FLOOR PLAN
 31-35 HAU WONG TEMPLE NEW VILLAGE

scale
 1:75 (A3)

drawing no.
 SHAP-03

date
 5 MAY 2009

submitted by
 建築文化遺產研究中心
 CENTRE FOR
 ARCHITECTURAL HERITAGE RESEARCH
 香港中文大學
 THE CHINESE UNIVERSITY OF HONG KONG



ROOF PLAN
31-35 HAU WONG TEMPLE NEW VILLAGE



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project
CARTOGRAPHIC SURVEY OF
STONE HOUSE,
KOWLOON CITY

drawing title
ROOF PLAN
31-35 HAU WONG TEMPLE NEW VILLAGE

scale
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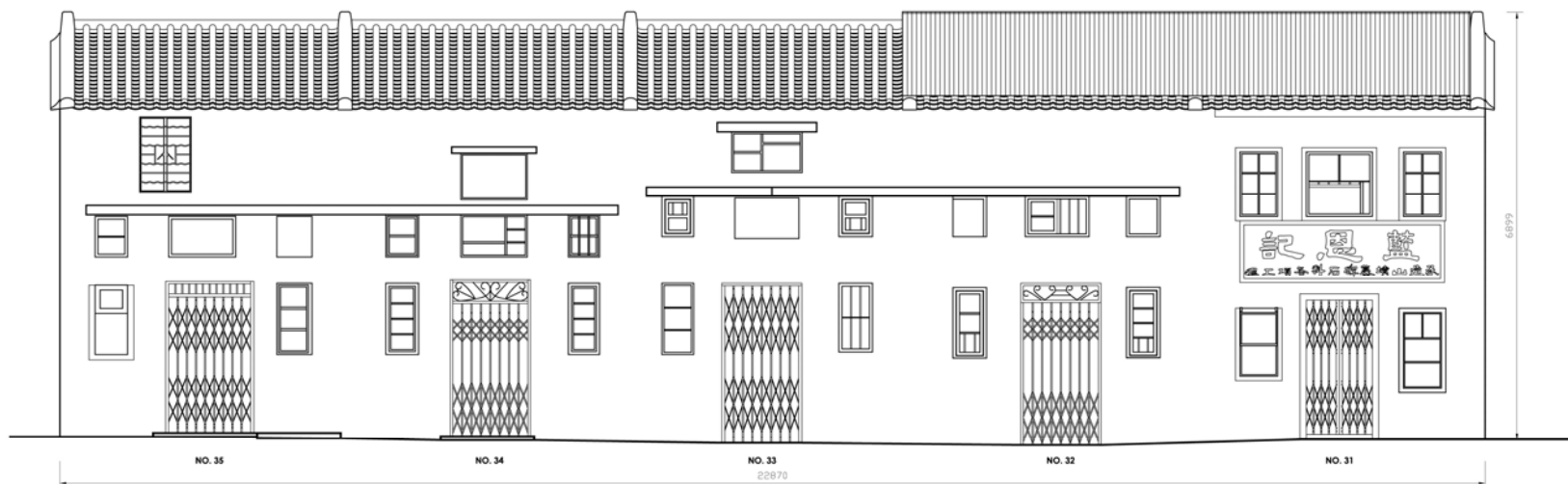
drawing no
SH-SP-024

date
5 MAY 2009

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THE CHINESE UNIVERSITY OF HONG KONG



FRONT ELEVATION
31-35 HAU WONG TEMPLE NEW VILLAGE



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SERVICES
DEPARTMENT

project
CARTOGRAPHIC SURVEY OF
STONE HOUSE,
KOWLOON CITY

drawing title
FRONT ELEVATION
31-35 HAU WONG TEMPLE NEW VILLAGE

scale
1:75 (A3)

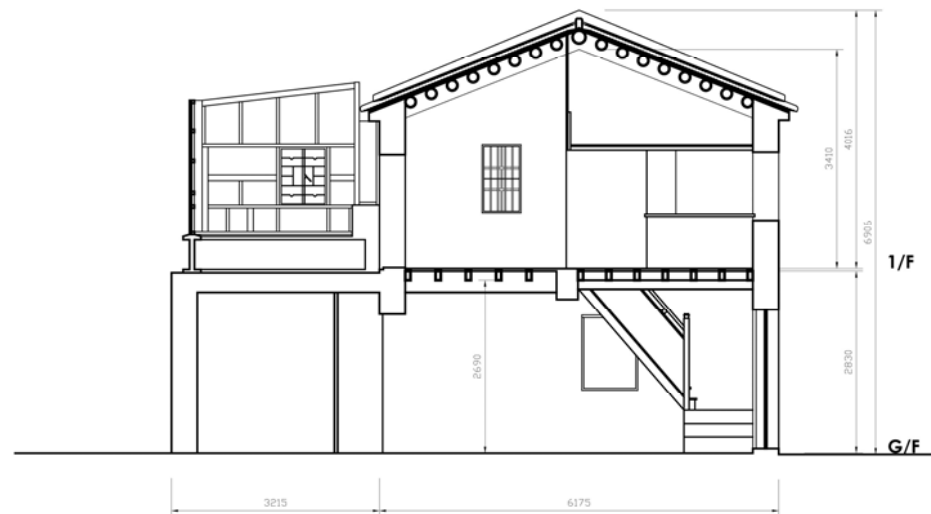
drawing no.
SHA-E-011

date
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SECTION A-A'
31-35 HAU WONG TEMPLE NEW VILLAGE



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* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS. * NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.



project
CARTOGRAPHIC SURVEY OF
STONE HOUSE,
KOWLOON CITY

drawing title
SECTION A-A'
31-35 HAU WONG TEMPLE NEW VILLAGE

scale
1:75 (A3)

drawing no.
SHA-SL-01

date
5 MAY 2009

submitted by
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CENTRE FOR
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香港中文大學
THE CHINESE UNIVERSITY OF HONG KONG



SECTION B-B'
31-35 HAU WONG TEMPLE NEW VILLAGE

* UNITS MARKED WITH " " ARE INACCESSIBLE. RELEVANT INTERIOR LAYOUTS ARE BASED ON ACCESSIBLE NEIGHBOURING UNITS.

* ALL LEVELS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO VERIFICATION ON SITE. DO NOT TAKE LEVELS AND MEASUREMENTS DIRECTLY FROM THIS DRAWING.

* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.

* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.

 ARCHITECTURAL
SERVICES
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project
CARTOGRAPHIC SURVEY OF
STONE HOUSE,
KOWLOON CITY

drawing title
SECTION B-B'
31-35 HAU WONG TEMPLE NEW VILLAGE

scale
1:75 (A3)

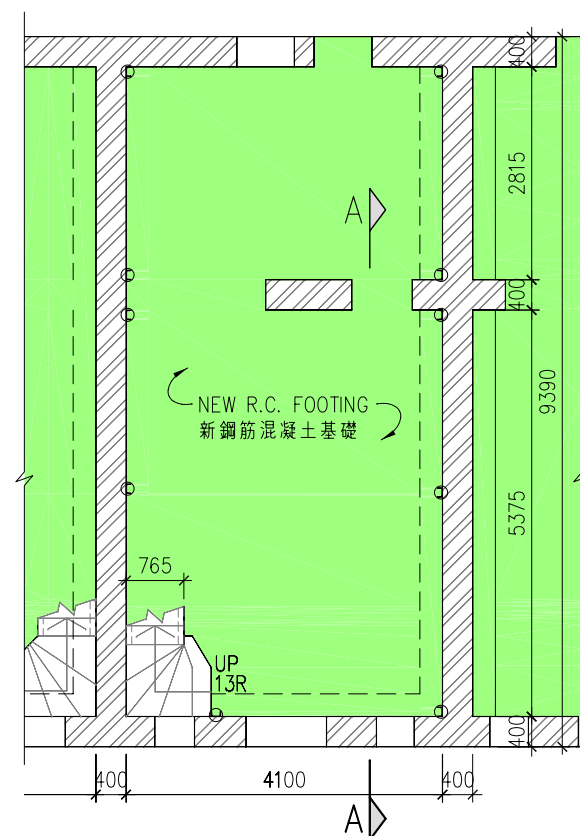
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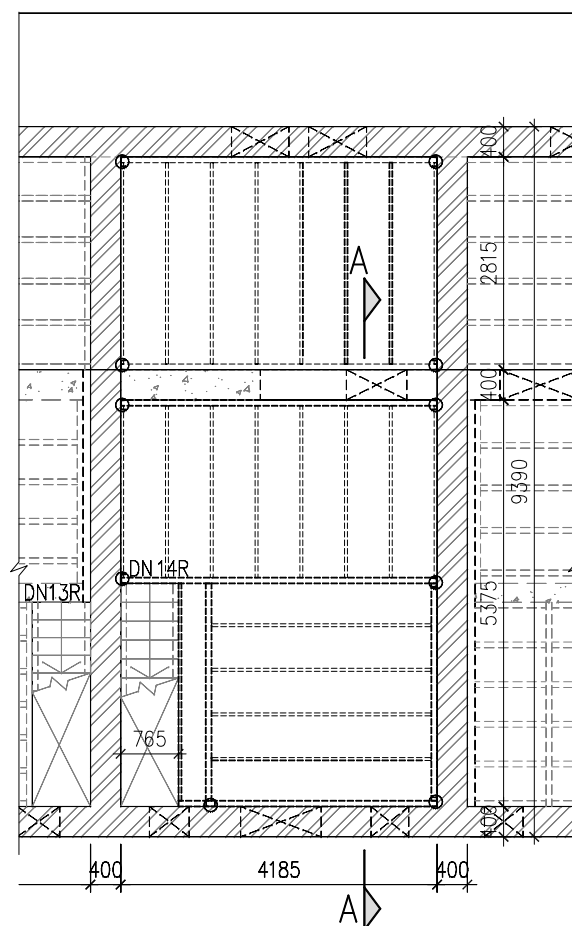
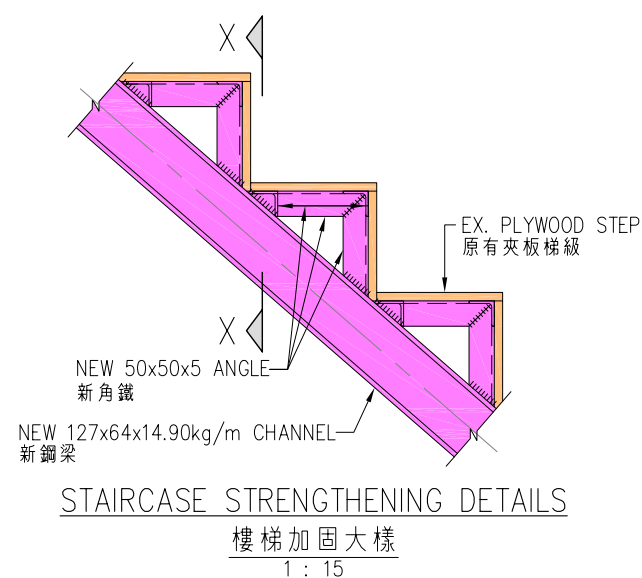
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APPENDIX II

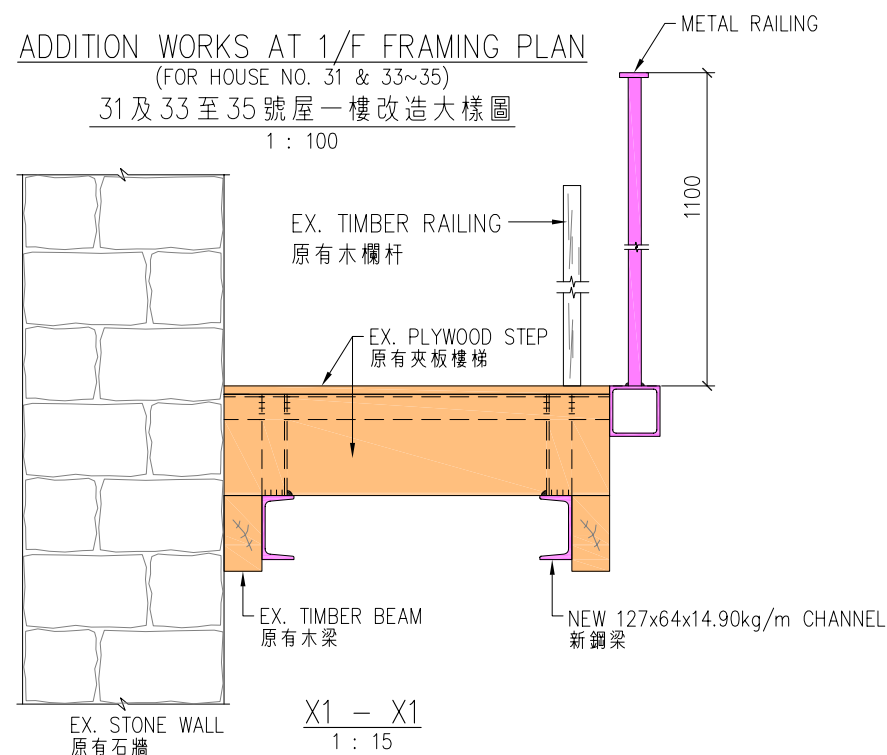
Proposed structural scheme	
Drawing No.	Title
0930/1/AA/FIG/01(A)	Addition and alteration details for House no. 31 and 33 – 35
0930/1/AA/FIG/02(B)	Addition and alteration details for House no. 32
0930/1/AA/EX/01(B)	Footing details
0930/1/AA/FIG/04(A)	Structural details for new wall opening



ADDITION WORKS AT G/F FRAMING PLAN
(FOR HOUSE NO. 31 & 33~35)
31及33至35號屋地下改造大樣圖
1 : 100



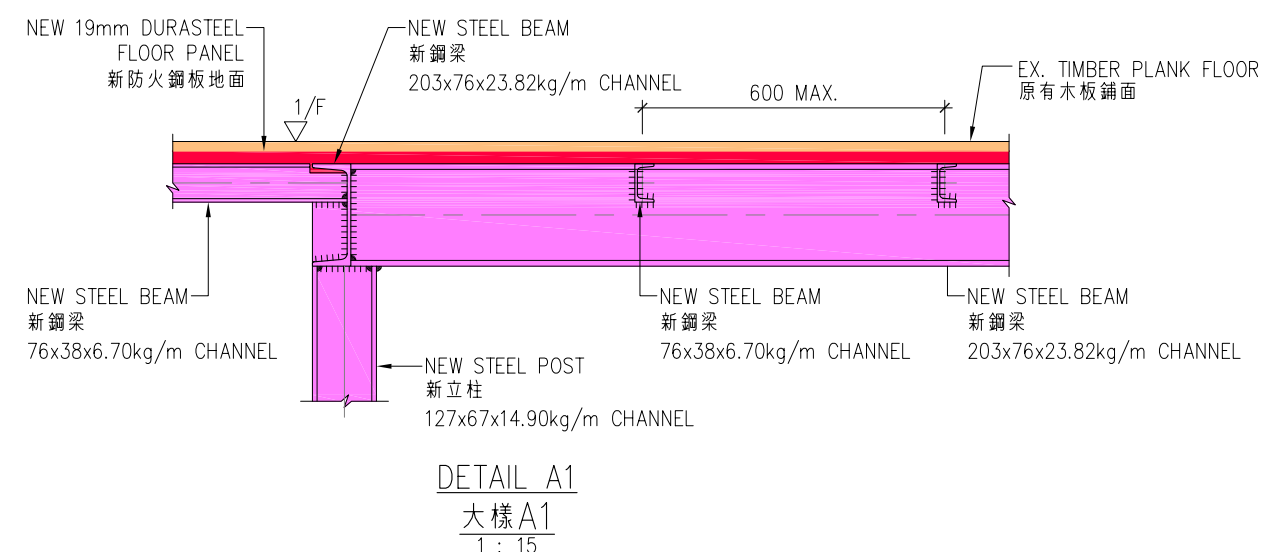
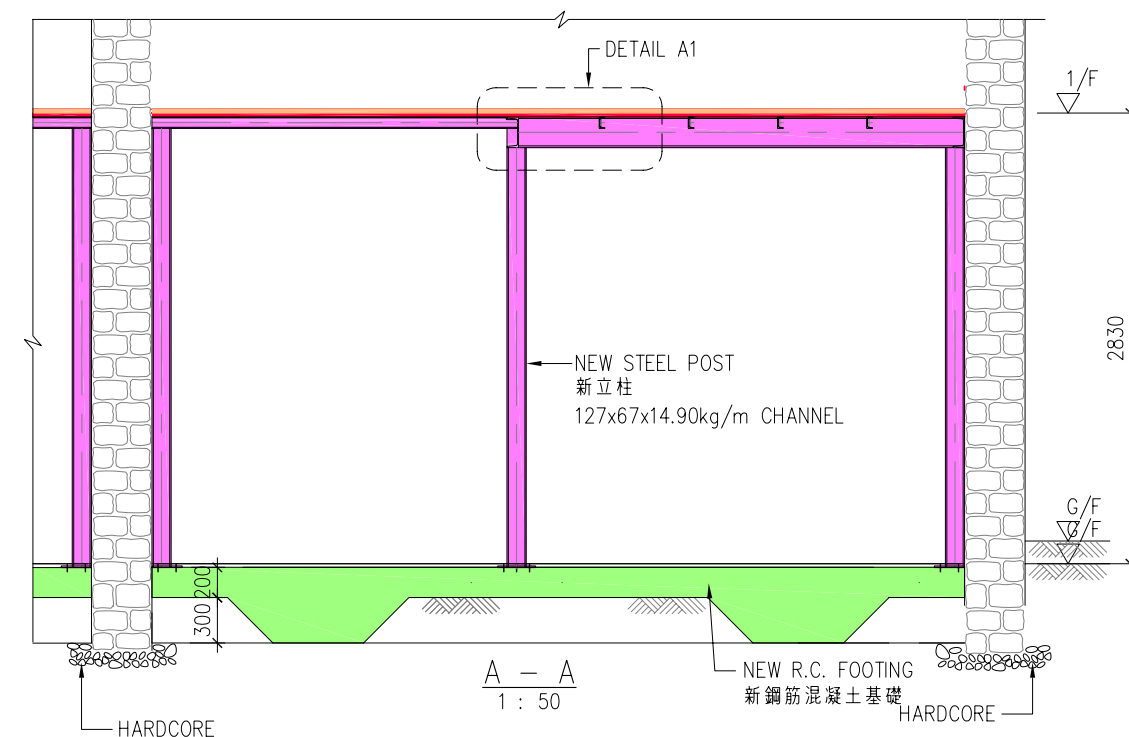
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31及33至35號屋一樓改造大樣圖
1 : 100

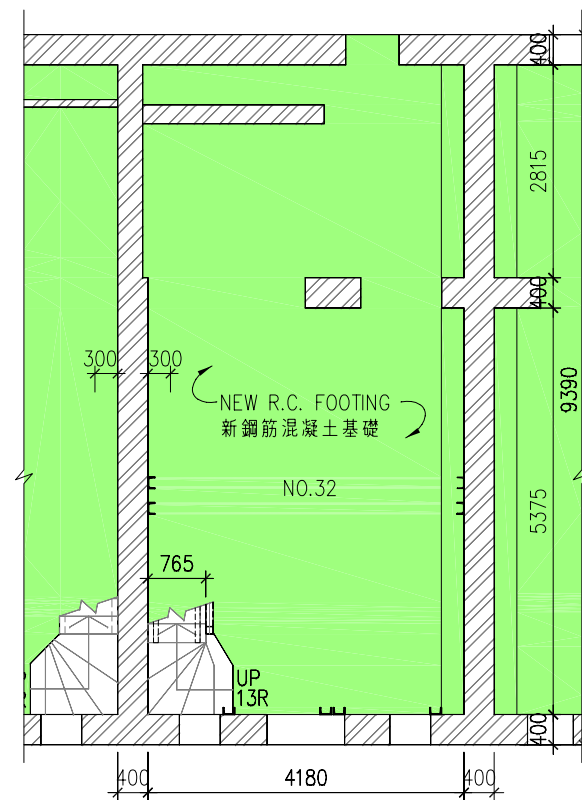


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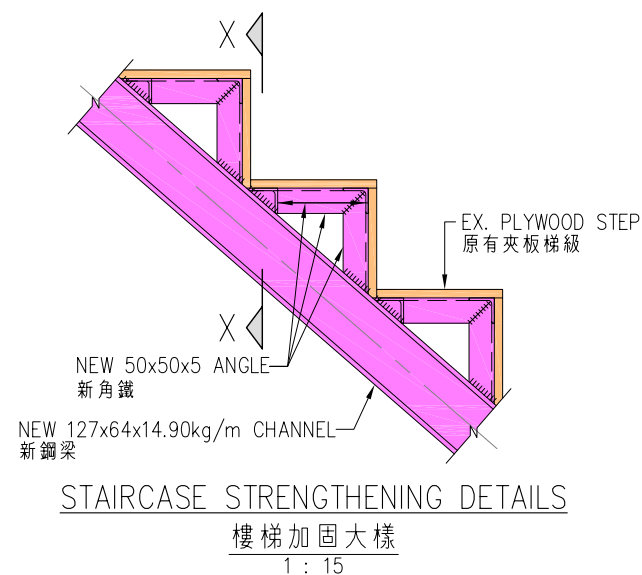
圖例:

- EXISTING MASONRY WALL
原有砌塊牆
- EXISTING R.C. BEAM
原有鋼筋混凝土梁
- NEW STEEL POST
新立柱

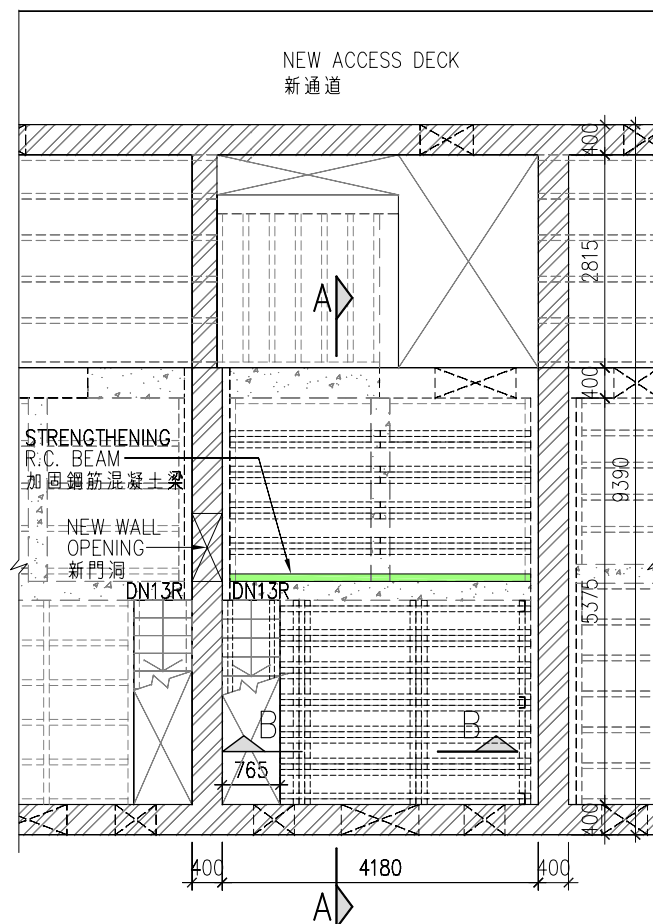




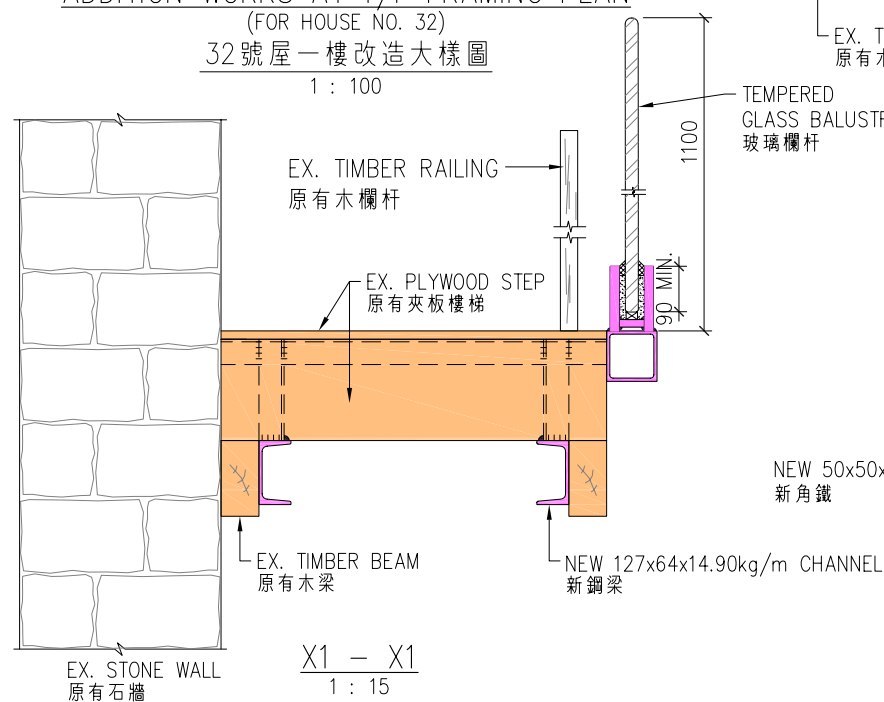
ADDITION WORKS AT G/F FRAMING PLAN
(FOR HOUSE NO. 32)
32號屋地下改造大樣圖
1 : 100



STAIRCASE STRENGTHENING DETAILS
樓梯加固大樣
1 : 15



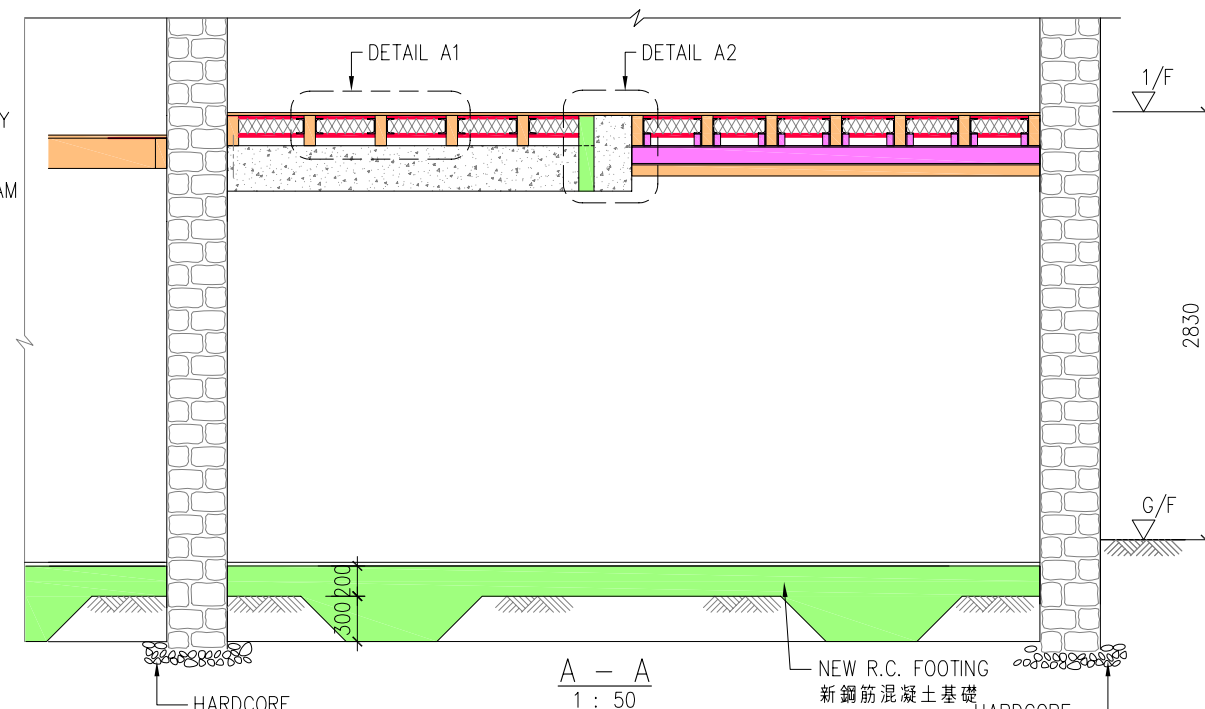
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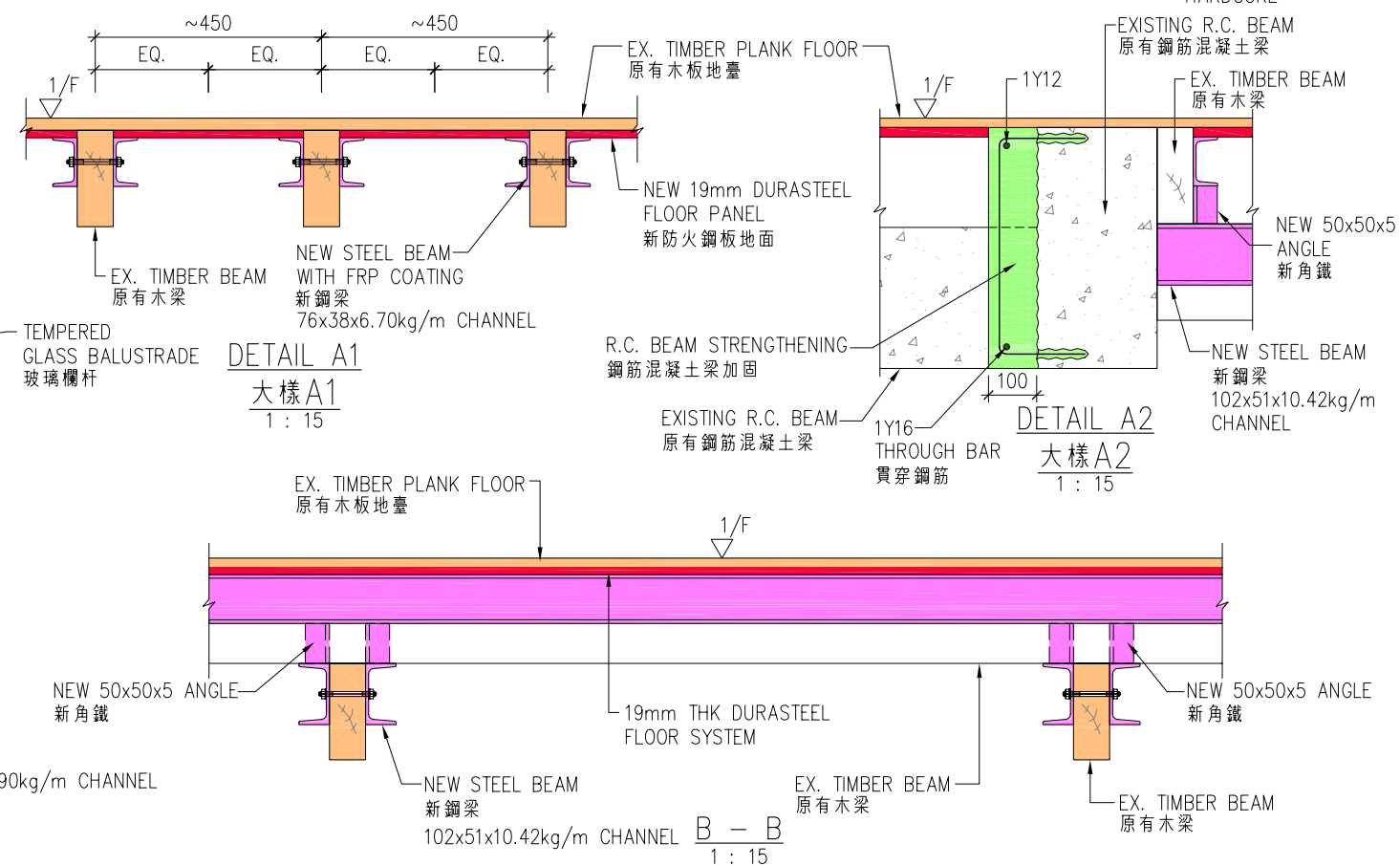
X1 - X1
1 : 15

LEGENDS:
圖例:

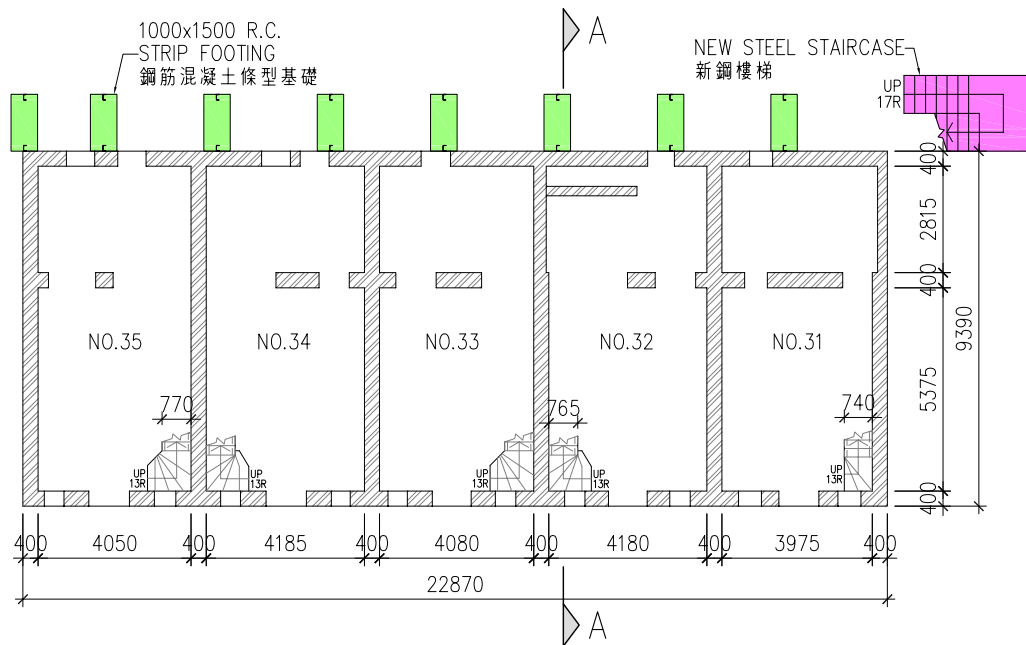
EXISTING MASONRY WALL
原有砌塊牆
EXISTING R.C. BEAM
原有鋼筋混凝土梁



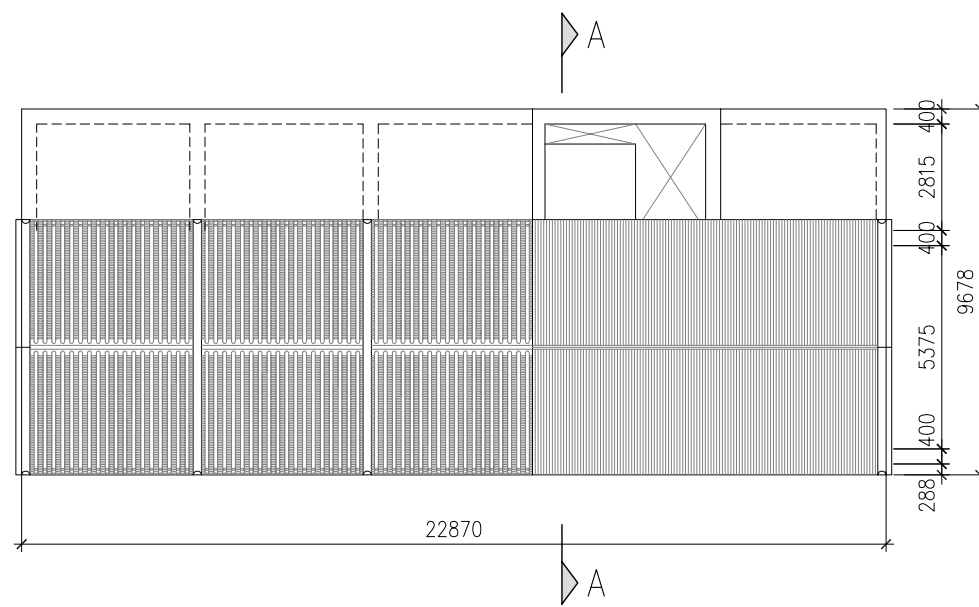
A - A
1 : 50



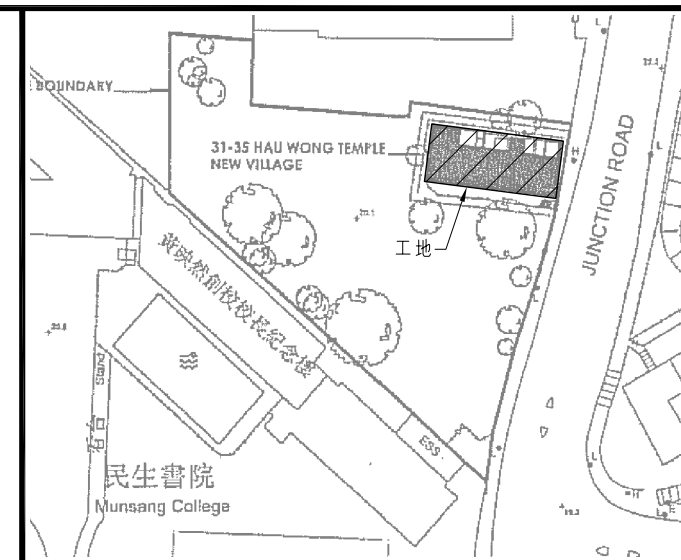
B - B
1 : 15



G/F FRAMING PLAN 1 : 200
地下結構平面圖



ROOF FRAMING PLAN 1 : 200
屋頂層結構平面圖

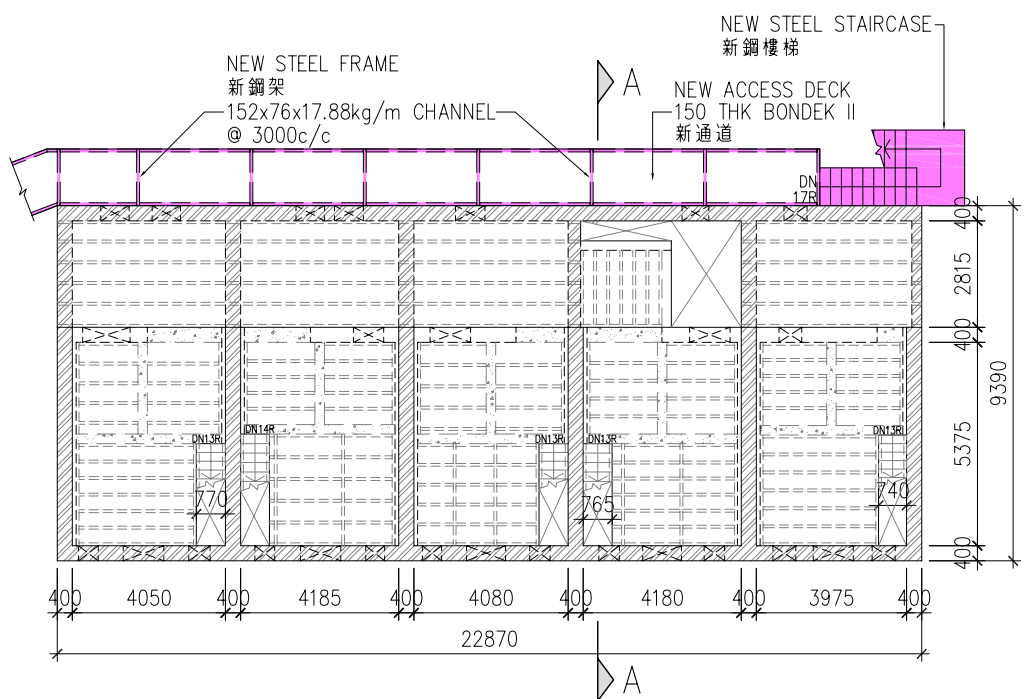


KEY PLAN

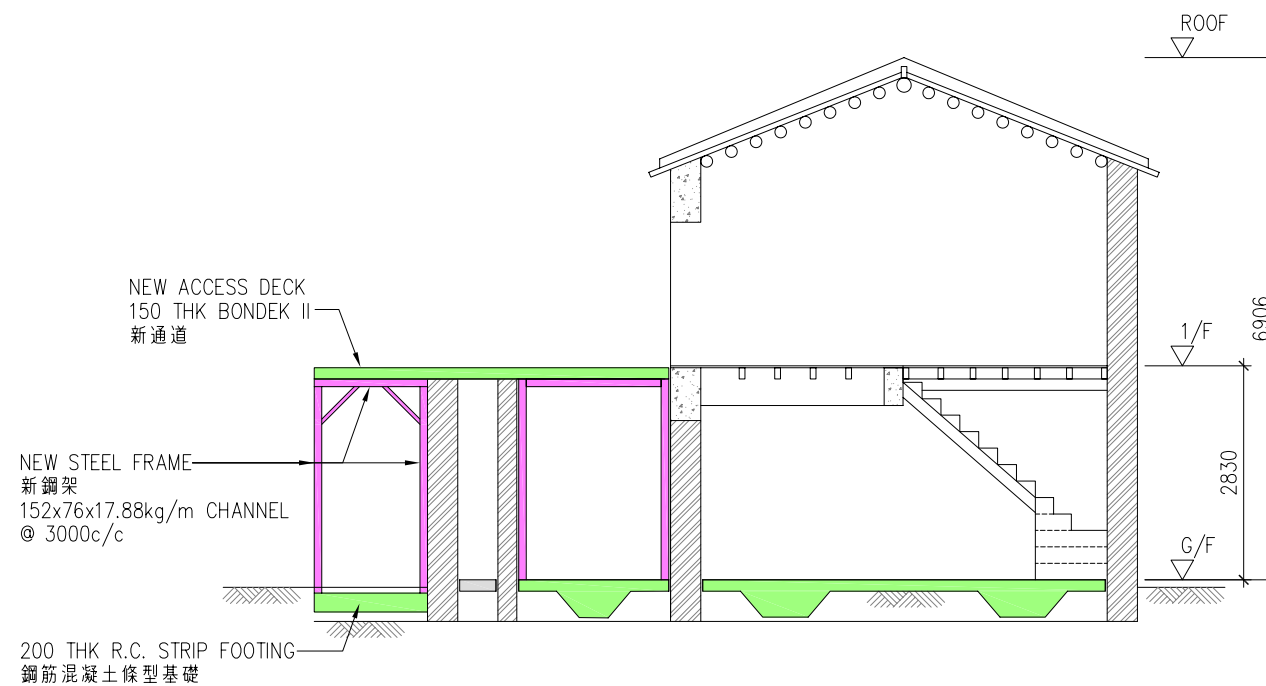
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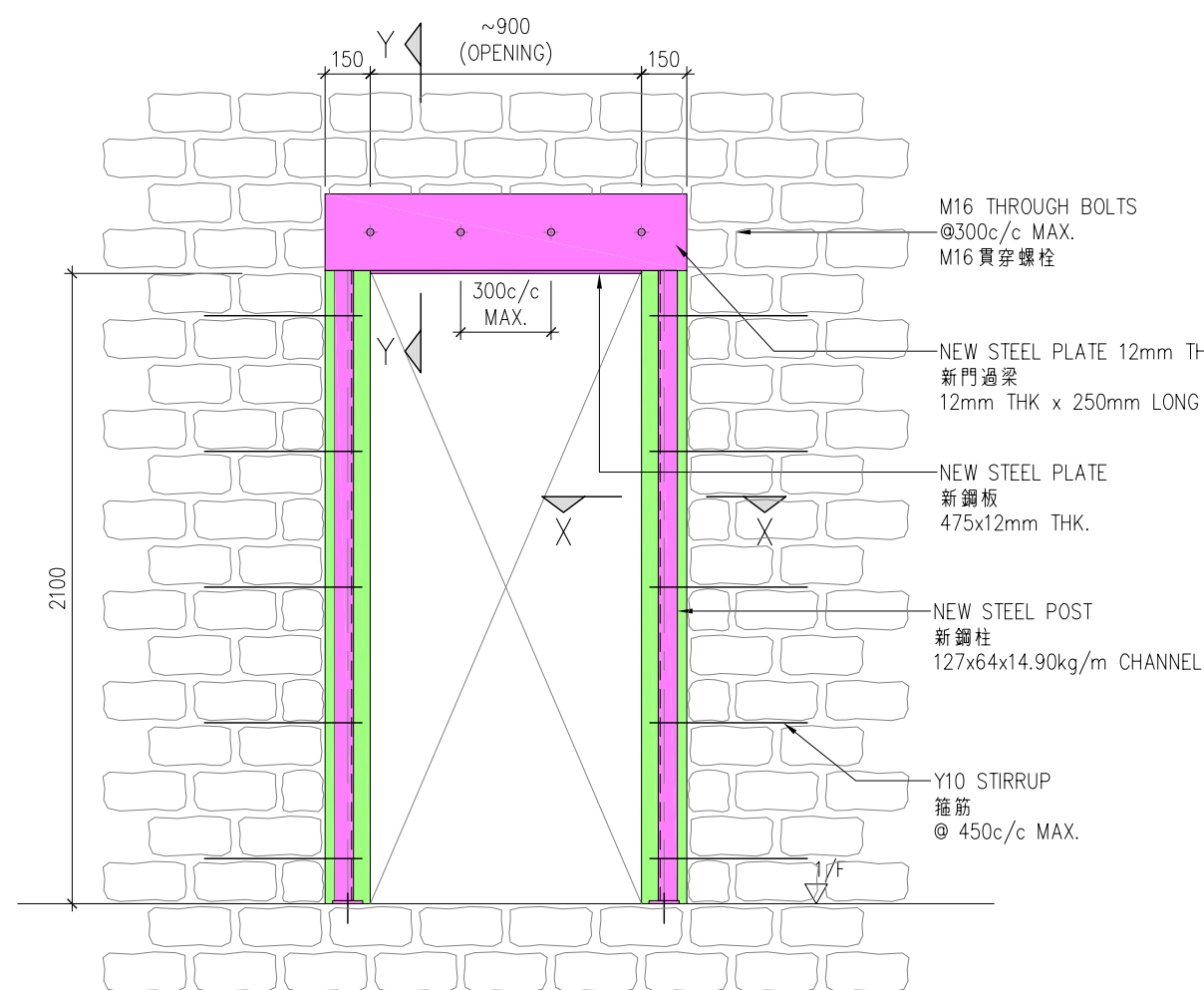
- MASONRY WALL
砌塊牆
- R.C. BEAM
鋼筋混凝土梁



1/F FRAMING PLAN 1 : 200
首層結構平面圖



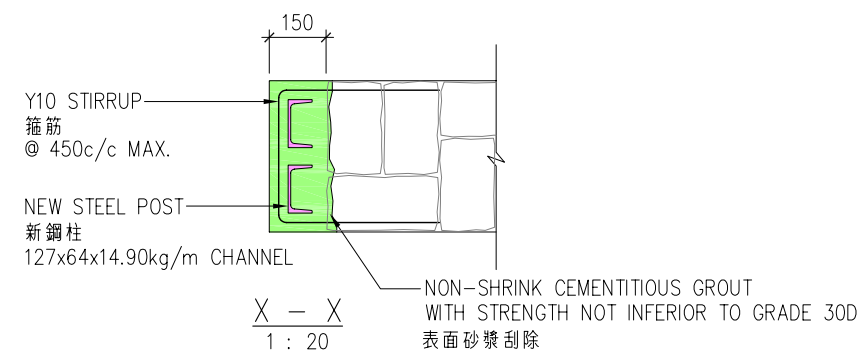
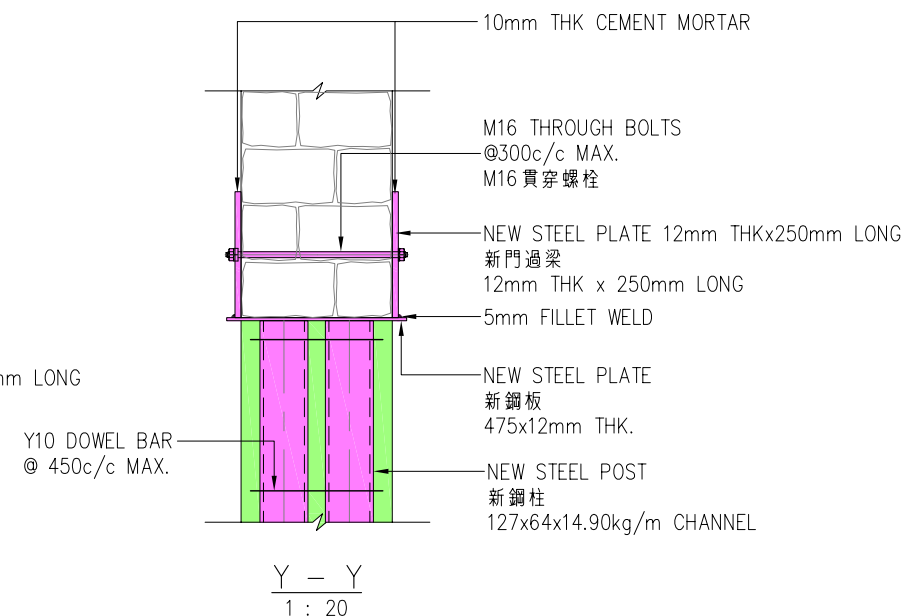
A - A
1 : 100



STONE WALL OPENING DETAILS
石牆開洞大樣圖
1 : 25

METHOD STATEMENT

1. SET IN DRILLED HOLES AND INSTALL THROUGH BOLT ON WALL. GROUT WITH NON-SHRINK CEMENTITIOUS MATERIAL OF GRADE NOT INFERIOR TO 20MPa COMPRESSIVE STRENGTH.
2. INSTALL NEW STEEL LINTEL PLATE.
3. REMOVAL WORKS SHALL BE CARRIED OUT BY HAND TOOLS. ALL REMOVAL AND INSTALLING WORKS SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO THE ORIGINAL MASONRY WORKS.
4. INSTALL THE STEEL PLATE UNDER THE LINTEL PLATE.
5. INSTALL STEEL CHANNEL POSTS AT EACH SIDE OF THE OPENING.
6. GROUT ALONG THE EDGE AND DOWEL BAR OF THE OPENING.



METHOD STATEMENT

施工方法

1. 於石牆砂漿縫中鑽孔, 安裝貫穿螺栓, 對原有石塊盡量完整保留
2. 裝上新門洞鋼過梁
3. 開鑿門洞時用人手逐件移除石塊
4. 裝上過梁底鋼板
5. 裝上兩旁鋼柱
6. 灌上水泥砂漿修好洞口邊沿